

Agenda
HAILEY PLANNING & ZONING COMMISSION
Monday, March 30, 2020
Virtual Meeting
5:30 p.m.

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Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Meeting Minutes of March 16, 2020. **ACTION ITEM**

Public Hearing

PH 1 Consideration of a Preliminary Plat Subdivision Application (Phase I) by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase I of Block 2 is subdivided into 14 sublots consisting of seven (7) live-work units, one (1), ten-unit condominium and two (2), three-plex townhomes for a total of 23 residential units. This project is located on the corner of Shenandoah Drive and Countryside Boulevard within the Limited Business (LB) Zoning District. **ACTION ITEM**

PH 2 Consideration of a Planned Unit Development (PUD) Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a PUD to construct two multi-family housing buildings, one Senior Community Housing Building, and one Family Community Housing Building. Each building will contain 30 units for a total of 60 units. The majority of the units will be rent-restricted. The project includes parking, outdoor gathering space, and a play area. 0.27 acres is proposed to be dedicated to Hailey for a partial road connecting to a future road along the southern property boundary of Wertheimer Park Block 1 Lot 1. The applicant is requesting a waiver the Business Zone Maximum Multi-Family Units per Acre. Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density

(units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B. **ACTION ITEM**

PH 3 Consideration of a Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building. The Senior Apartment Building will consist of thirty (30) apartment units and the Family Apartment Building will consist of thirty (30) apartment units, for a total of sixty (60) apartment units. This project will be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

- Community Development End of Year PowerPoint Presentation by Lisa

SR 2 Discussion of the next Planning and Zoning meeting: April 6, 2020

- DR: Tanner Investments, Block 86 Woodside
- DR: Lena Cottages
- PP: Lena Cottages
- DIF Advisory
- PP Quigley Homes

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Monday, March 16, 2020
Hailey City Hall
5:30 p.m.

Present

Owen Scanlon, Richard Pogue, Dustin Stone, Dan Smith
Chris Simms, Lisa Horowitz, Jessica Parker

5:30:16 PM Vice Chair Pogue called to Order.

5:30:30 PM Public Comment for items not on the agenda

Consent Agenda

- CA 1** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Kiki Tidwell and Gary Poole represented by Susan Scovell Architects for a sixteen (16) unit residential project, three stories in height, to be known as Silver River Residences. The proposed project will be located at 17 West Silver Street (Lots 18-20, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO); however, the Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code. **ACTION ITEM**
- CA 2** Adoption of Findings of Fact, Conclusions of Law and Decision of a Planned Unit Development (PUD) Application (Phase I) for Sunbeam Subdivision by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, for development of a Two-Phased PUD totaling 145 units, with 90 units in Phase 1, to be located on Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey. **ACTION ITEM**
- CA 3** Adoption of Findings of Fact, Conclusions of Law and Decision of Preliminary Plat Subdivision Application (Phase I) by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, where Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey, is subdivided into 90 units on 71 lots. The project is to be known as Sunbeam Subdivision and will consist of two (2) phases of development. This application is concurrent with a Planned Unit Development (P.U.D.) Application. **ACTION ITEM**

Horowitz noted a change to page 25 of Sunbeam Preliminary Plat Findings of Fact.

5:30:56 PM Smith motioned to approve CA 1 through CA 3, as amended. Stone seconded. All in favor, Scanlon abstained.

Public Hearing

- PH 1** **5:32:27 PM** Consideration of a Design Review Application by Tanner Investments, LLC represented by Samantha Stahlnecker of Galena Engineering for a six (6), two-story four-plex units. Each four plex will include two (2) two-bedroom units, 1,040 square feet in

size, and three (3) three-bedroom units, 1,324 square feet in size. The proposed project will be located on Lots 1-6, Block 86, Woodside Subdivision No. 25 (east side of Woodside Blvd. between Antelope Drive and Baldy View Drive), within the General Residential (GR) Zoning District. The proposal also includes: 39 covered parking spaces and 33 uncovered parking spaces. **THIS ITEM WILL BE CONTINUED ON THE RECORD TO APRIL 6, 2020.**

ACTION ITEM

5:32:52 PM Scanlon motioned to continue PH 1 to April 6, 2020. Smith seconded. All in favor.

PH 2 Consideration of a Preliminary Plat Subdivision Application (Phase I) by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase I of Block 2 is subdivided into 14 sublots consisting of seven (7) live-work units, one (1), ten-unit condominium and two (2), three-plex townhomes for a total of 23 residential units. This project is located on the corner of Shenandoah Drive and Countryside Boulevard within the Limited Business (LB) Zoning District. **ACTION ITEM**

PH 3 Consideration of a Planned Unit Development (PUD) Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a PUD to construct two multi-family housing buildings, one Senior Community Housing Building, and one Family Community Housing Building. Each building will contain 30 units for a total of 60 units. The majority of the units will be rent-restricted. The project includes parking, outdoor gathering space, and a play area. 0.27 acres is proposed to be dedicated to Hailey for a partial road connecting to a future road along the southern property boundary of Wertheimer Park Block 1 Lot 1. The applicant is requesting a waiver the Business Zone Maximum Multi-Family Units per Acre. Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B. **ACTION ITEM**

PH 4 Consideration of a Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building. The Senior Apartment Building will consist of thirty (30) apartment units and the Family Apartment Building will consist of thirty (30) apartment units, for a total of sixty (60) apartment units. This project will be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

5:33:43 PM Smith motioned to continue PH2, PH 3, and PH 4 to March 30, 2020. Scanlon seconded. All in favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

- Community Development End of Year PowerPoint Presentation by Lisa

SR 2 Discussion of the next Planning and Zoning meeting: April 6, 2020

- DR: Tanner Investments, Block 86 Woodside
- DR: Lena Cottages
- PP: Lena Cottages
- DIF Advisory
- PP Quigley Homes

5:36:06 PM Smith motioned to adjourn. Scanlon seconded. All in Favor.

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STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of March 30, 2020

To: Hailey Planning & Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Preliminary Plat Application by Kilgore Properties, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase I of Block 2 is subdivided into 14 sublots consisting of seven (7) live-work units, one (1), ten-unit condominium and two (2), three-plex townhomes for a total of 23 residential units. This project is located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District.

Hearing: March 30, 2020

Applicant: Kilgore Properties, LLC

Project: Sweetwater P.U.D. Subdivision

Request: Preliminary Plat Application

Location: Block 2, Sweetwater P.U.D. Subdivision (Phase I)

Size: 6.50 acres (283,188 square feet)

Zoning: Limited Business (LB) Zone District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 26, 2020, and mailed to property owners on February 26, 2020. This project was continued on record at the March 16, 2020 public hearing to March 30, 2020.

Background: Consideration of a Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase I of Block 2 is subdivided into 14 sublots consisting of seven (7) live-work units, one (1), ten-unit condominium and two (2), three-plex townhomes for a total of 23 residential units. This project is located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District. All driveways are oriented toward internal alleys (Heartland Way, Hopper way and Herder's Way); all onsite parking is located below grade or within the proposed structures.

A 69,696 square foot park is existing and meets the park requirements of the Hailey Municipal Code. The project is located in the Limited Business (LB) Zone District.

Procedural History: The Application was submitted on January 8, 2020 and certified complete on January 17, 2020. A public hearing before the Planning and Zoning Commission was planned for March 16, 2020, in the meeting room of Hailey City Hall. This project was continued on record at the March 16, 2020 public hearing to March 30, 2020.

This property is subject to a P.U.D. Development Agreement dated January 10, 2005 and Amendments to the Development Agreement dated December 12, 2009, December 20, 2010 and November 6, 2012. Design Review for the project (Phase I through IV) was approved December 16, 2019.

| Standards of Evaluation for a Subdivision | | | | |
|-------------------------------------------|--------------------------|--------------------------|------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: <i>No comments at this time.</i> |
| | | | | Life/Safety: <i>No comments at this time.</i> |
| | | | | <p>Water and Sewer: <i>The Water and Wastewater Divisions, and Applicant Team have been working to resolve and/or solidify design details prior to issuance of a Building Permit. The items noted below have either been resolved and/or made Conditions of Approval (the Applicant's response to said issues are noted in bold and italics):</i></p> <p>Water Division:</p> <ul style="list-style-type: none"> <i>The plans do not show where the meter vaults will be set or show that there will be meter vaults going in. It appears a fire system will be going into Building #18. No isolation valve on the water main has been shown. A second line is going into the same building. Is this a separate domestic line? Please clarify. Water meter cans are now shown on water service lines, as well as Plan and Profile Sheets (Sheet C-300). The 4" water service for the condominium building is noted as typical, with valve shown on service. All 2" water services for condominium buildings are noted as typical.</i> <p>Wastewater Division:</p> <ul style="list-style-type: none"> <i>Are sewer services connected to the center of each unit? Sewer laterals for townhouse units have been moved to the center of each unit.</i> <i>There was no indication that the mainline going into the existing manhole SSMH 103 would need to be core drilled at a different angle than it currently exists. A note has been added to remove existing sewer main stub (Sheet C-300). A new main to be installed at proposed angle.</i> <i>Any and all meter vaults that are located in asphalt or concrete shall have metal collars on them for the meter vault lids. This has been made a Condition of Approval.</i> <p><i>To ensure all items have been resolved, a final review and approval will be conducted prior to issuance of a Building Permit.</i></p> |

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| | | | | Building: <i>No comments at this time.</i> | |
| | | | | <p>Streets: <i>The Streets Division and Applicant Team have been working to resolve and/or solidify design details prior to issuance of a Building Permit. The items noted below have either been resolved and/or made Conditions of Approval (the Applicant's response to said issues are noted in bold and italics):</i></p> <ul style="list-style-type: none"> - <i>Continental crosswalks shall be installed instead of 12" lines. The crosswalk on Shenandoah Drive in Phase I has been changed and noted as a continental pattern (Sheet C-600). Future crosswalk in Phase II on Shenandoah Drive and Maple Leaf Drive have also been updated to be continental pattern.</i> - <i>The stop bar located on Countryside Boulevard in the east bound lane seems to be out of place. Please remedy. This stop bar has been removed (Sheet C-600).</i> - <i>The Signage and Striping Plan doesn't call out all of the signs along Shenandoah Drive. There need to be accessible parking signs adjacent to the accessible on-street parking. Accessible parking signage has been shown by accessible parking stall(s) (Sheet C-600).</i> - <i>Will there be no parking fire lane at the entrances into the project? "No Parking – Fire Lane" Signage, noted as typical on entrances (Sheet C-600).</i> - <i>Crosswalk Signs shall be provided at the Shenandoah Drive and Maple Leaf crosswalks on Shenandoah Drive. These signs have been added in our base files' signage will be installed with crosswalks in Phase II of constructions.</i> - <i>An R7-203a Sign pertaining to snow routes shall be installed. "Snow Route – No Parking" signs have been shown on the Signage and Striping Plan (Sheet C-600).</i> <p><i>To ensure all items have been resolved, a final review and approval will be conducted prior to issuance of a Building Permit.</i></p> | |
| | | | | Landscaping/Parks: <i>No comments at this time.</i> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.010 Development Standards | <p>Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.</p> | |
| | | | Staff Comments | <p><i>Please refer to the specific standards as noted herein.</i></p> | |
| 16.04.020: Streets: | | | | | |
| Compliant | | | Standards and Staff Comments | | |
| Yes | No | N/A | City Code | City Standards and Staff Comments | |
| | | | 16.04.020 | <p>Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.</p> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.</p> | |
| | | | Staff Comments | <p><i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private roads, Heartland Way (an</i></p> | |

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| | | | | <p><i>extension of the existing alley), Hopper Way and Herder's Way, are proposed to service the townhouses, condominium units and live/work units. Hopper Way will extend into future phases of the proposed development.</i></p> <p><i>All driveways are oriented toward these private alleys; all onsite parking is located below grade or within the proposed structures.</i></p> <p><i>Street alignments for Shenandoah Drive, Heartland Way, Hopper Way and Herder's Way are adequate to safely accommodate existing and anticipated vehicular traffic.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no cul-de-sacs or dead-end streets and alleys are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | <p>Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.</p> |
| | | | <i>Staff Comments</i> | <i>Access to the site can be achieved from Shenandoah Drive. Vehicle congestion, terrain and other factors that could limit access are not anticipated.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. | <p>Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</p> |
| | | | <i>Staff Comments</i> | <p><i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private roads, Heartland Way (an extension of the existing alley), Hopper Way and Herder's Way, are proposed to service the townhouses, condominium units and live/work units. Hopper Way will extend into future phases of the proposed development.</i></p> <p><i>No three-way intersections are proposed at this time and it appears that all streets are intersecting at 90-degree angles.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | <p>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</p> |

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| | | | Staff Comments | <i>N/A, as Shenandoah Drive and Countryside Boulevard are existing. Heartland Way, Hopper Way and Herder's Way are proposed to be 26'-wide and private alleys. No traffic calming measures are proposed at this time.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | F. | Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street. |
| | | | Staff Comments | <i>The private alleys, Heartland Way, Hopper Way and Herder's Way, meet the minimum City Standard of 24' in width. The private alleys are proposed to be 26'-wide.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | G. | Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction. |
| | | | Staff Comments | <i>Heartland Way, Hopper Way and Herder's Way are proposed as private alleys. Shenandoah Drive and Countryside Boulevard are existing. Roadway travel surfaces and widths meet City Standards.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. | Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope. |
| | | | Staff Comments | <i>The site is generally flat. Road grades appear to be at least two (2%) percent or greater, but not more than six (6%) percent.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | I. | Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre. |
| | | | Staff Comments | <i>The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | J. | Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards. |
| | | | Staff Comments | <i>Stop signs will be required and are shown to be installed and/or relocated at the corner of Countryside Boulevard and Shenandoah Drive. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | K. | Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County. |
| | | | Staff Comments | <i>The streets within the proposed project are existing platted streets, including: Shenandoah Drive and Countryside Boulevard. The internal alleys, Heartland Way, Hopper Way and Herder's Way, are private alleys, which will be privately maintained.</i> |

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| | | | | <i>The proposed alley names have been confirmed with the Blaine County Assessor as being new alley names, not similar to other streets within Blaine County.</i> |
| | | | L. | Private Streets: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | L. 1. | Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association. |
| | | | <i>Staff Comments</i> | <i>N/A, as Heartland Way, Hopper Way and Herder's Way are private alleys and will be maintained by the homeowner's association. The private alleys meet the minimum total width of 26'-wide and shall be constructed to meet City Standards.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 2. | Private streets, wherever possible, shall provide interconnection with other public streets and private streets. |
| | | | <i>Staff Comments</i> | <i>The proposed alleys, Heartland Way and Herder's Way, connect to Shenandoah Drive, Hopper Way connects to Shenandoah Drive via Heartland Way and Herder's Way. Shenandoah Drive is a public street.</i> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | L. 3. | The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat. |
| | | | <i>Staff Comments</i> | <i>The private alleys, Heartland Way, Hopper Way and Herder's Way, have been platted as private drives; however, no indication has been made on the plat that said parcel is an unbuildable parcel.</i> <i>Previous platting processes of the Sweetwater Subdivision imply that all private, internal alleys of the development are to be unbuildable, without requiring a plat note designating it as such. The Commission may wish to discuss whether to require that the proposed private alleys be dedicated as unbuildable parcels on the plat or continue as previously done.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 4. | Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named. |
| | | | <i>Staff Comments</i> | <i>This standard has been met. The private alleys proposed are Heartland Way, Hopper Way and Herder's Way.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 5. | Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas. |
| | | | <i>Staff Comments</i> | <i>Private alleys, Heartland Way, Hopper Way and Herder's Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 6. | Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) |

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| | | | | <p>within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.</p> |
| | | | <p>Staff Comments</p> | <p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase I of the project, two (2), three-story townhomes (six units in total), one (1) three-plex live/work building (three units in total) and one (1) four-plex live/work building (four units in total), and one (1) condominium building (ten units in total) are proposed; therefore, 34 onsite parking spaces are required. The site plan shows a total of 36 onsite parking spaces: a two (2) car garage per townhouse unit and a one (1) car garage per condominium unit. Twelve (12) off-street parking spaces and ten (10) additional onsite parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p> |
| | | | M. | <p>Driveways:</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 1. | <p>Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.</p> |
| | | | <p>Staff Comments</p> | <p><i>The proposed townhouses, condominium units and live/work units can be accessed via Heartland Way, Hopper Way and Herder's Way (via Shenandoah Drive), the proposed private alleys. All driveways are oriented toward these</i></p> |

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| | | | | <i>private alleys and all onsite parking is located below grade or within the proposed structures.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 2. | <p>Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:</p> <p>a) Accessing one residential unit: twelve feet (12')</p> <p>b) Accessing two residential units: sixteen feet (16')</p> <p>No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</p> |
| | | | Staff Comments | <i>Driveways will be constructed of an all-weather surface. Each driveway constructing in Phase I will access one (1) residential unit, with the exception of the ten-plex condominium building. This driveway will access ten (10) residential units and is approximately 110' in length. The remaining driveways, accessing one (1) residential unit, are proposed to have a driveway width of approximately 16'.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | M. 3. | Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department. |
| | | | Staff Comments | <i>N/A, as no driveways exceed 150'.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 4. | Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note. |
| | | | Staff Comments | <i>All driveways and the proposed private alleys, Heartland Way, Hopper Way and Herder's Way, will be maintained by the homeowner's association.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 5. | The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback. |
| | | | Staff Comments | <i>This standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 6. | No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots. |
| | | | Staff Comments | <i>All driveways are oriented toward Heartland Way, Hopper Way and Herder's Way, the private alleys. Said driveways do not appear to impact existing infrastructure and appear to be compatible with existing and planned residential units.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | N. | Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. |
| | | | Staff Comments | <i>The internal alleys, Heartland Way, Hopper Way and Herder's Way, have been reviewed by the Fire Chief as to its functioning as an access lane. It has been found acceptable and complies with the IFC Requirements, as well as other applicable codes and ordinances.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | O. | Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. |
| | | | Staff Comments | <i>Please refer to Section 16.04.020(N), comments noted above, for further information.</i> |

| 16.04.030: Sidewalks and Drainage Improvements | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</p> <p><i>Staff Comments</i></p> <p>A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site. To safely access each unit, 4'-wide sidewalks are also shown. The proposed sidewalks shall be constructed according to applicable City Standards.</p> <p>In Phase I, a continental crosswalk, utilizing thermoplastic materials, will also be installed across Shenandoah Drive, at the intersection of Shenandoah Drive and Countryside Boulevard.</p> <p>Drainage appears to be adequate for the site, but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | <p>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 16.04.030(A), comments noted above, for further information.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | <p>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</p> <p><i>Staff Comments</i></p> <p>A new five (5') foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive, approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. | <p>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 16.04.030 for further information. This standard will be met.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | <p>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</p> <p><i>Staff Comments</i></p> <p>N/A</p> |
| 16.04.040: Alleys and Easements | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| | | | A. | Alleys: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 1. | <p>Alleys shall be provided in all Business District and Limited Business District developments where feasible.</p> <p><i>Staff Comments</i></p> <p>The private drives, Heartland Way, Hopper Way and Herder's Way, are proposed and shall serve the proposed townhouses, condominium units and</p> |

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| | | | | <i>live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 2. | The minimum width of an alley shall be twenty-six (26') feet. |
| | | | <i>Staff Comments</i> | <i>Heartland Way, Hopper Way and Herder's Way are proposed to be twenty-six (26') feet wide.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 3. | All alleys shall be dedicated to the public or provide for public access. |
| | | | <i>Staff Comments</i> | <i>The private drives, Heartland Way, Hopper Way and Herder's Way, are proposed and shall serve the proposed townhouses, condominium units and live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 4. | All infrastructures to be installed underground shall, where possible, be installed in the alleys platted. |
| | | | <i>Staff Comments</i> | <i>The private drives, Heartland Way, Hopper Way and Herder's Way, are proposed and shall serve the proposed townhouses, condominium units and live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 5. | Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. |
| | | | <i>Staff Comments</i> | <i>The private drives, Heartland Way, Hopper Way and Herder's Way, are proposed and shall serve the proposed townhouses, condominium units and live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site. Drainage appears to be adequate for the site, but will be reviewed by City Staff and shall meet the approval of the City Engineer.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 6. | Dead-end alleys shall not be allowed. |
| | | | <i>Staff Comments</i> | <i>N/A, as no dead-end alleys are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 7. | Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities. |
| | | | <i>Staff Comments</i> | <i>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Heartland Way, Hopper Way and Herder's Way.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes: |
| | | | <i>Staff Comments</i> | <i>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Heartland Way, Hopper Way and Herder's Way.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 1. | To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate |

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| | | | | areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access. |
| | | | <i>Staff Comments</i> | <i>N/A, as this site does not border the Big Wood River.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property. |
| | | | <i>Staff Comments</i> | <i>No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 3. | To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers. |
| | | | <i>Staff Comments</i> | <i>Private alleys, Heartland Way, Hopper Way and Herder's Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i> |
| 16.04.050: Blocks | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.050 | Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography. |
| | | | <i>Staff Comments</i> | <i>N/A, as no blocks are proposed.</i> |
| 16.04.060: Lots | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.060 | Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter. |
| | | | <i>Staff Comments</i> | <i>All proposed lots are sublots, ranging in size from 2,046 square feet to 21,036 square feet (ten-plex condominium building). There is a total of fourteen (14) sublots proposed in Phase I of the development, which is approximately 1.25 acres in size. Phase I, thereby allows for the construction of approximately 30 sublots. The Applicant is proposing to construct a total of 14 sublots in Phase I.</i> |

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| | | | | <p><i>The original P.U.D. Development Agreement addresses the above standard, which was granted August 14, 2006:</i></p> <ul style="list-style-type: none"> - <i>Maximum Density:</i> <ul style="list-style-type: none"> o <i>Townhouse subplot density shall increase from 12 sublots per acre to 24 sublots per acre.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p> |
| | | | Staff Comments | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p> |
| | | | Staff Comments | N/A, as no double frontage lots are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | <p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p> |
| | | | Staff Comments | Parcel A is shown on the Preliminary Plat as Park/Common Open Space. No unbuildable lots are platted. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | <p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p> |
| | | | Staff Comments | N/A, as no flag lots are proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. | <p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p> |
| | | | Staff Comments | Eight (8) of the sublots will have frontage on either Countryside Boulevard or Hopper Way (condominium units). The remaining six (6) sublots will have frontage on the proposed courtyard/common space. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. | <p>In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.</p> |
| | | | Staff Comments | N/A, as this project is not located within the Townsite Overlay (TO) Zone District. |
| 16.04.070: Orderly Development | | | | |

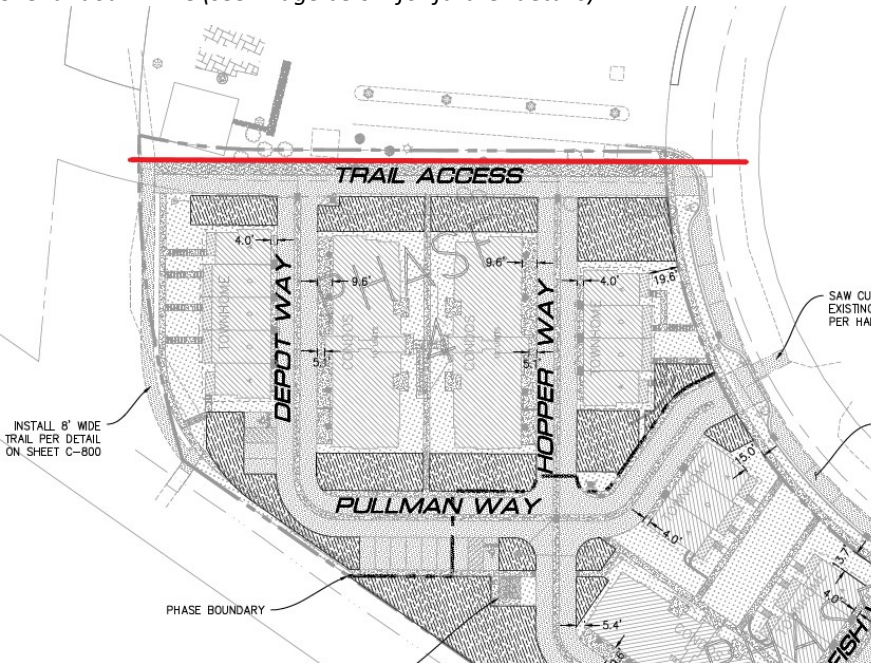
| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</p> |
| | | | Staff Comments | <p><i>A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</i></p> <ul style="list-style-type: none"> - All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan. <p><i>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | <p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p> |
| | | | Staff Comments | <p><i>A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</i></p> <ul style="list-style-type: none"> - All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan. <p><i>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | <p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance. |
| | | | Staff Comments | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | <p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ul style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most |

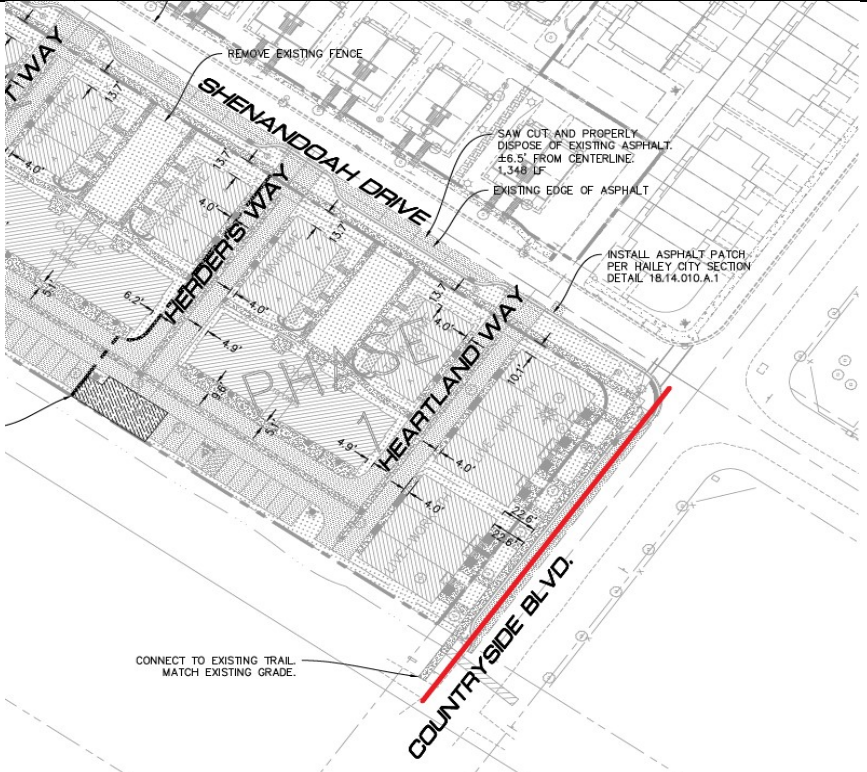
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| | | | | <p>effective layout feasible.</p> <ol style="list-style-type: none"> Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. Park land shall be most appropriately located on the Contiguous Parcels. Grading and drainage shall be appropriate to the Contiguous Parcels. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p> |
| | | | <i>Staff Comments</i> | N/A |
| 16.04.080: Perimeter Walls, Gates and Berms | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.080 | <p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p> |
| | | | <i>Staff Comments</i> | <p>N/A, as no perimeter walls, gates or landscape berms are proposed. Retaining walls are proposed to be located at the western entrance to the townhomes and will be constructed of materials that have been utilized elsewhere within the Sweetwater Development. Said walls will be constructed out of the same block materials used in previous phases.</p> |
| 16.04.090: Cuts, Fills, Grading and Drainage | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p> |
| | | | <i>Staff Comments</i> | <p>The site is relatively flat and free of vegetation. A Flood Hazard Development Permit has been submitted.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | <p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p> |
| | | | <i>Staff Comments</i> | <p>N/A, as the City Engineer has not required a Soils Report from the Applicant. A Soils Report, prepared by Butler and Associates, was submitted in 2006, and is available for review, if so desired.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 2. | <p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ol style="list-style-type: none"> Proposed contours at a maximum of two (2) foot contour intervals; Cut and fill banks in pad elevations; Drainage patterns; Areas where trees and/or natural vegetation will be preserved; Location of all street and utility improvements including driveways to building envelopes; and Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council. |

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| | | | Staff Comments | <i>A Grading Plan has been submitted and has been included with this report.</i> |
| | | | B. | Design Standards: The proposed subdivision shall conform to the following design standards: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 1. | Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. |
| | | | Staff Comments | <i>Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan has been submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision. |
| | | | Staff Comments | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 3. | Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion. |
| | | | Staff Comments | <i>Erosion control and re-vegetation shall be included in final design.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 4. | Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures. |
| | | | Staff Comments | <i>Proposed grading and drainage appear to be adequate for the site, but shall meet the approval of the City Engineer.</i> <i>A Flood Hazard Development Permit Application has been submitted and approved by the City's Floodplain Manager. This permit and supporting documentation have been attached to this report.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 5. | The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall |

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| | | | | <p>provide a copy of EPA’s “NPDES General Permit for Storm-water Discharge from Construction Activity” for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i> A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan. The Drainage Plan will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</p> <p>Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</p> |
| 16.04.100: Overlay Districts | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| | | | A. | Flood Hazard Overlay District: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 1. | <p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p> <p><i>Staff Comments</i> A standard plat note has been added notifying future buyers that portions of the property are within the Flood Hazard Overlay District.</p> <p>Pursuant to Section 16.04.100 of the Hailey Municipal Code, a Flood Hazard Development Permit Application shall accompany the Preliminary Plat Application for Commissioner review. The Flood Hazard Development Permit Application has been submitted and approved by the City’s Floodplain Manager. This permit and supporting documentation have been attached to this report.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 2. | <p>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</p> <p><i>Staff Comments</i> To the extent possible, most of the proposed building envelopes are located outside of the Floodplain and Flood Hazard Overlay District.</p> <p>A Flood Hazard Development Permit Application has been submitted and has been approved by the City’s Floodplain Manager.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 3. | <p>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</p> <p><i>Staff Comments</i> N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Hillside Overlay District: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 1. | <p>Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.</p> <p><i>Staff Comments</i> N/A, as the proposed subdivision is not located within the Hillside Overlay District.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | <p>Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.</p> <p><i>Staff Comments</i> N/A, as the proposed subdivision is not located within the Hillside Overlay District.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 3. | <p>All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.</p> <p><i>Staff Comments</i> The Developer shall obtain a Site Alteration Permit prior to any development occurring. This has been made a Condition of Approval.</p> |

| 16.04.110: Parks, Pathways and Other Green Spaces | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein. |
| | | | <i>Staff Comments</i> | <i>A 1.6-acre (69,696 square feet) park/open space is existing. Said space is open to the public and is maintained by the Sweetwater Homeowner's Association.</i> |
| | | | A. 1. | Parks: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. a. | <p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>P = x multiplied by .0277</p> <p>"P" is the Parks contribution in acres</p> <p>"x" is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, "x" is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p> |
| | | | <i>Staff Comments</i> | <p><i>N/A, as Park/Open Space is existing and was developed accordingly:</i></p> <p><i>The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which "shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance pertaining to park standards", and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres.</i></p> <p><i>A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing.</i></p> <p><i>No revisions to this provision were made in subsequent amendments.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A.1.b | In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed. |
| | | | <i>Staff Comments</i> | <i>The subdivision is located in the Limited Business (LB) Zoning District. Please see Section 16.04.110 for further details.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>A. 2.</p> | <p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p> |
| | | | <p>Staff Comments</p> | <p>A new five (5') foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive, approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.</p> <p>Pedestrian connections are also shown at the northwestern end of the parcel, connecting to the Wood River Trail, and from the Wood River Trail to Shenandoah Drive (see image below for further details).</p>  <p>A second connection is also proposed from the public sidewalk on the north side of Countryside Boulevard to the Wood River Trail (see image below for further details).</p> |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance. |
| | | | Staff Comments | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | <p>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p> |

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| | | | Staff Comments | <i>N/A, as this application is part of an earlier P.U.D. Development Agreement. Park/Open Space was addressed at that time and is existing. No additional Park/Open Space is proposed or required at this time.</i> |
| | | | D. | Minimum Requirements: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. 1. | Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council. |
| | | | Staff Comments | <i>Please refer to Section 16.04.110(A.1.a) for further information.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 2. | Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City. |
| | | | Staff Comments | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 3. | Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 4. | Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces. |
| | | | Staff Comments | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. 5. | Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way. |
| | | | Staff Comments | <i>Please refer to Section 16.04.110(A)2 for further details.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. | Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. 1. | Shall meet the minimum applicable requirements required by Subsection D of this section. |
| | | | Staff Comments | Please refer to Section 16.04.110(A.1.a) for further information. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. 2. | Shall provide safe and convenient access, including ADA standards. |
| | | | Staff Comments | This standard shall be met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. 3. | Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development. |
| | | | Staff Comments | Please refer to Section 16.04.110(A.1.a) for further information. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 4. | Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision. |
| | | | Staff Comments | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 5. | Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses. |
| | | | Staff Comments | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. 6. | Shall require low maintenance or provide for maintenance or maintenance endowment. |
| | | | Staff Comments | Please refer to Section 16.04.110(A.1.a) for further information. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | F. | Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | F. 1. | Shall meet the minimum applicable requirements required by Subsection D of this section. |
| | | | Staff Comments | Please refer to Section 16.04.110(A.1.a) for further information. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | F. 2. | Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets. |
| | | | Staff Comments | Please refer to Section 16.04.110(A.1.a) for further information. |
| | | | G. | Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | G. 1. | Shall meet the minimum applicable requirements required by section 4.10.04 of this section. |
| | | | Staff Comments | Please refer to Section 16.04.110 for further detail. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. 2. | Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space). |

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| | | | Staff Comments | <i>N/A, as public and private green spaces on the same property or adjacent properties are not proposed and/or existing.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | G. 3. | The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City. |
| | | | Staff Comments | <i>The standard has been met as part of the original and subsequent amendments to the P.U.D. Development Agreement dated January 10, 2005.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | G. 4. | The private ownership and maintenance of green space shall be adequately provided for by written agreement. |
| | | | Staff Comments | <i>Maintenance of the Park/Open Space is currently managed and funded by the Sweetwater Homeowner's Association. This standard has been met.</i> |
| | | | H. | In-Lieu Contributions: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | H. 1. | After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements. |
| | | | Staff Comments | <p><i>N/A, as Park/Open Space is existing and was developed accordingly:</i></p> <p><i>The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which "shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance pertaining to park standards", and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres.</i></p> <p><i>A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing.</i></p> <p><i>No revisions to this provision were made in subsequent amendments.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 2. | The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant. |
| | | | Staff Comments | <i>Please reference Section 16.04.110 for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 3. | Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements. |
| | | | Staff Comments | <i>Please reference Section 16.04.110 for further detail.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 4. | In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision. |
| | | | Staff Comments | Please reference Section 16.04.110 for further detail. |

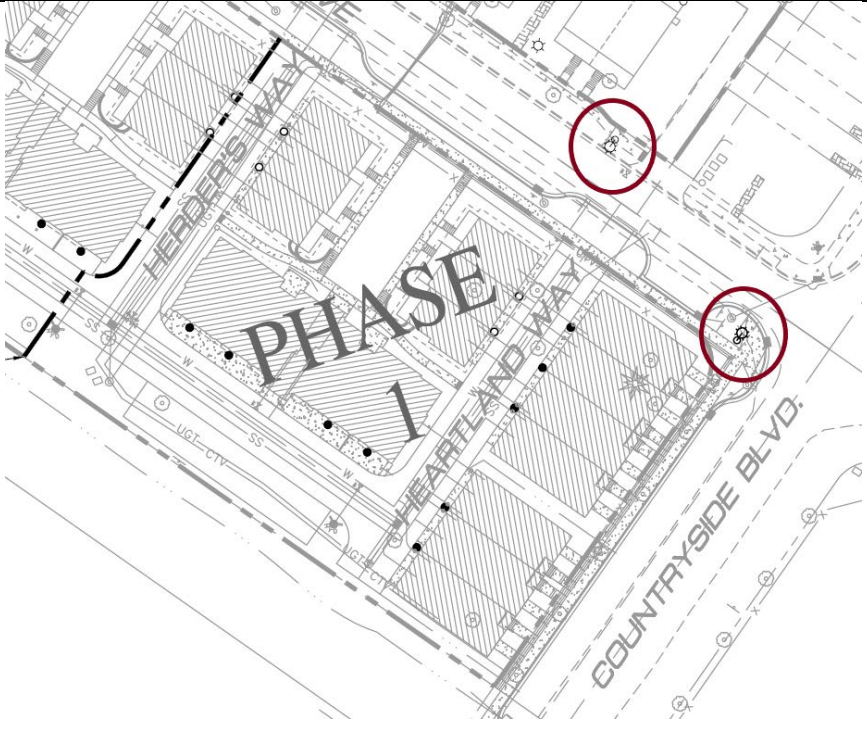
16.05: Improvements Required:

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.010 | Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare. |
| | | | Staff Comments | The Applicant intends to construct all necessary infrastructure, if the project is approved. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon. |
| | | | Staff Comments | This standard will be met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting. |
| | | | Staff Comments | This standard will be met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years. |
| | | | Staff Comments | This standard will be met. |

16.05.020: Streets, Sidewalks, Lighting, Landscaping

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.020 | Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction. |
| | | | Staff Comments | A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact, dated December 16, 2019. |

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| | | | | Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015) |
| | | | Staff Comments | Any and all street cuts for the installation of the water and sewer mains shall be per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City. |
| | | | Staff Comments | A Street Signage and Striping Plan has been submitted. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance. |
| | | | Staff Comments | Two (2) street lights are proposed within Phase I of the development (see image below for further details). |

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| | | | |  <p><i>All street lights will be maintained by the Sweetwater Homeowner's Association and all infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i></p> |
| 16.05.030: Sewer Connections | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.030 | <p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> |
| | | | <i>Staff Comments</i> | <p><i>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact, dated December 16, 2019. Further comments and or concerns have been also noted herein (please refer to Section 17.06.050 for further details). Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</i></p> |
| 16.05.040: Water Connections | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal,</p> |

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| | | | | state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments. |
| | | | <i>Staff Comments</i> | <i>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact, dated December 16, 2019. Further comments and or concerns have been also noted herein (please refer to Section 17.06.050 for further details). Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer. |
| | | | <i>Staff Comments</i> | <i>N/A, as this project is not within the Townsite Overlay (TO) District.</i> |
| 16.05.050: Drainage | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.050 | Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>Drainage appears to be adequate for the site, but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</i> |
| 16.05.060: Utilities | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.060 | Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley. |
| | | | <i>Staff Comments</i> | <i>All utilities are shown to be installed underground. A 26'-wide Public Utility Easement beneath the private alleys, Heartland Way, Hopper Way and Herder's Way, have been dedicated for this purpose.</i> |
| 16.05.070: Parks, Green Space | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.070 | Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council. |
| | | | <i>Staff Comments</i> | <i>See Section 16.04.110 for further detail.</i> |
| 16.05.080: Installation to Specifications; Inspections | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.080 | Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent. |
| | | | <i>Staff Comments</i> | <i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the</i> |

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| | | | | <p><i>proposed public improvements shall include materials testing to ensure the compliance with City of Hailey code.</i></p> <p><i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i></p> |
| 16.05.090: Completion; Inspections; Acceptance | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p> |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <i>N/A, as the completion of all major infrastructure by the Developer is preferred over bonding.</i> |
| 16.05.100: As Built Plans and Specifications | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.100 | <p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <i>As built drawings will be required. This standard will be met.</i> |
| 16.08: Townhouses: | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.010 | <p>Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.020 | <p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <i>All garages are located on the same subplot as the principle dwelling and have been designated on the Preliminary Plat as such.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.030 | Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase I of the project, two (2), three-story townhomes (six units in total), one (1) three-plex live/work building (three units in total) and one (1) four-plex live/work building (four units in total), and one (1) condominium building (ten units in total) are proposed; therefore, 34 onsite parking spaces are required. The site plan shows a total of 36 onsite parking spaces: a two (2) car garage per townhouse unit and a one (1) car garage per condominium unit. Twelve (12) off-street parking spaces and ten (10) additional onsite parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.040 | Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>Please refer to the analysis of Title 16 above for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.050 | General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>Please refer to the analysis of Title 16 above for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.060 | Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse |

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| | | | | development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>This standard will be met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.08.070 | Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.08.080 | Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>The proposed parcel is zoned Limited Business (LB), which allows for twenty (20) units per one (1) acre. Overall, the proposed parcel is 6.50 acres in size. The original P.U.D Development Agreement, dated August 14, 2006, granted a waiver, which allowed the townhouse subplot density to increase from 12 sublots per acre, to 24 sublots per acre. The Applicant is proposing a total of fourteen (14) sublots in Phase I of the development, which is approximately 1.25 acres in size. This provision allows the Applicant to construct a total of approximately 30 sublots in Phase I; however, the Applicant has chosen to construct a total of 14 sublots, or 16 sublots less than what is currently allowed, pursuant the Planned Unit Development Agreement.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.11.010 | Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015). |
| | | | <i>Staff Comments</i> | N/A |

Summary and Suggested Conditions: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Plat Application will be forwarded to the Hailey City Council for review.

The following are suggested Conditions of Approval for this Application:

- All conditions of the Planned Unit Development approval shall be met.
- All Fire Department and Building Department requirements shall be met.
- All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or

adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:

- i. Permits shall be obtained for installation of all drywells.
 - ii. A Site Alteration Permit shall be obtained prior to any development occurring.
 - iii. The Applicant shall install metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
- d) Preliminary Plat approval is subject to the Flood Hazard Development Permit, approved on February 26, 2020.
 - e) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
 - f) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
 - g) Any subdivision inspection fees due shall be paid prior to recording the Final Plat.
 - h) Any application development fees shall be paid prior to recording the Final Plat.
 - i) The Applicant shall submit an Erosion Control Plan prior to Final Plat.
 - j) Prior to any future development in the SFHA, the property owner shall be required to obtain a Flood Hazard Development Permit from the City of Hailey for the proposed work.

Motion Language:

Approval: Motion to approve Phase I of the Preliminary Plat Application by Kilgore Properties, LLC, represented by Matt Watson, to be located at Block 2, Sweetwater P.U.D. Subdivision (vacant lot along Shenandoah Drive), finding that the application meets all City Standards, and that Conditions (a) through (j) are met.

Denial: Motion to deny the Preliminary Plat Application by Kilgore Properties, LLC, represented by Matt Watson, to be located at Parcel B2, Block 4, Sweetwater P.U.D. Subdivision (vacant lot on the corner of Shenandoah Drive and Maple Leaf Drive), finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

A PRELIMINARY PLAT SHOWING
SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 1

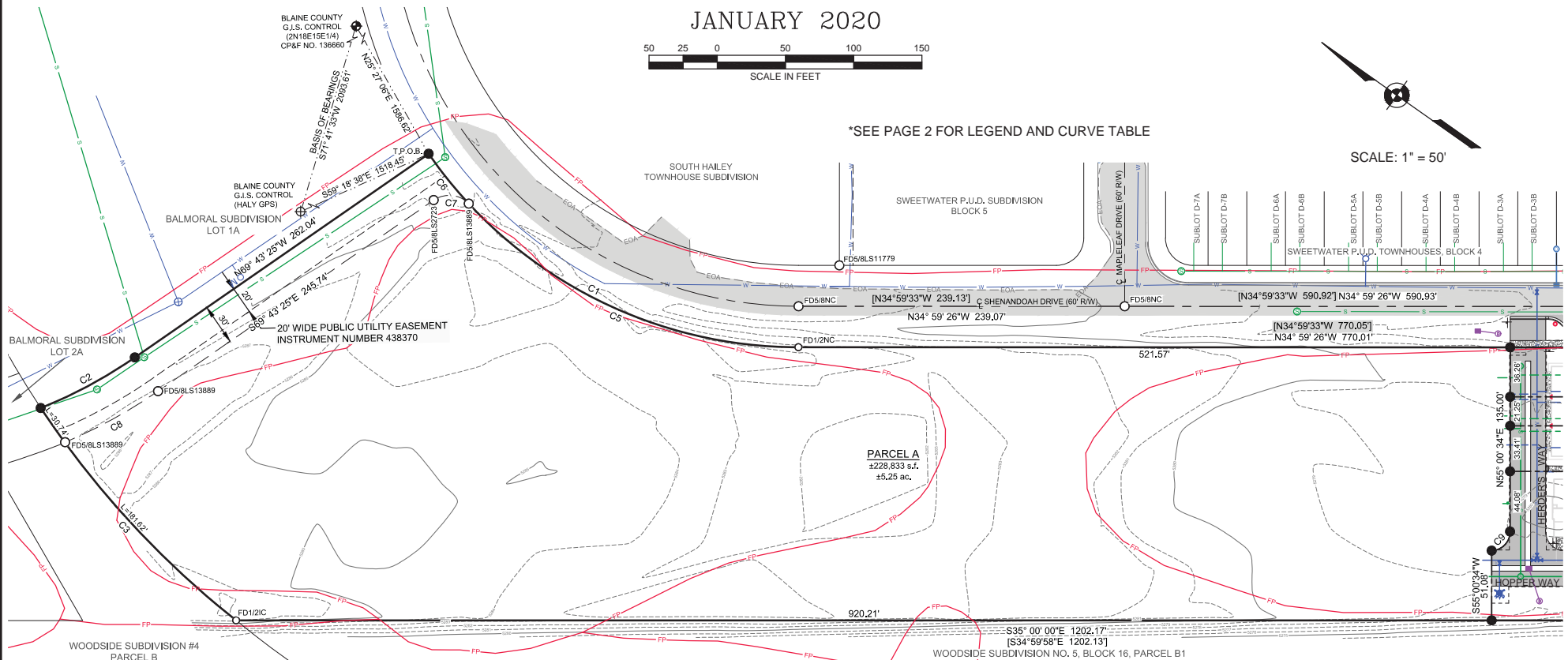
WHEREIN BLOCK 2, SWEETWATER P.U.D. SUBDIVISION IS SUBDIVIDED
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JANUARY 2020



*SEE PAGE 2 FOR LEGEND AND CURVE TABLE

SCALE: 1" = 50'



SURVEY NARRATIVE AND NOTES

1. THE BOUNDARY INFORMATION SHOWN IS BASED ON FOUND MONUMENTS AND THE RECORDED PLAT OF SWEETWATER P.U.D. SUBDIVISION, INSTRUMENT NUMBER 576317, RECORDS OF BLAINE COUNTY, IDAHO. ALL FOUND MONUMENTS HAVE BEEN ACCEPTED. MISSING PROPERTY CORNERS HAVE BEEN RESET BY PROPORTIONING RECORD DISTANCES. REFER TO THE PLAT NOTES, CONDITIONS, COVENANTS, AND/OR RESTRICTIONS ON THE ORIGINAL PLAT OF SWEETWATER P.U.D. SUBDIVISION, RECORDED AS INSTRUMENT NO. 576317, THE ORIGINAL PLAT OF WOODSIDE SUBDIVISION FINAL PLAT NO. 5 RECORDED AS INSTRUMENT NO. 150393, AND THE ORIGINAL PLAT OF WOODSIDE SUBDIVISION FINAL PLAT NO. 22 RECORDED AS INSTRUMENT NO. 152517. THE ABOVE MENTIONED PLATS PER RECORDS OF BLAINE COUNTY, IDAHO. ADDITIONAL DOCUMENTS USED IN THE COURSE OF THIS SURVEY INCLUDE:

| | |
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| WOODSIDE SUBDIVISION #4, | INSTRUMENT NO. 150392 |
| WOODSIDE SUBDIVISION #5, | INSTRUMENT NO. 150393 |
| BALMORAL SUBDIVISION, | INSTRUMENT NO. 439351 |
| SOUTH HAILEY TOWNHOUSE, | INSTRUMENT NO. 206882 |
| LOTS 3B AND 4B, BALMORAL SUBDIVISION, | INSTRUMENT NO. 457308 |
2. REFER TO THE MASTER DECLARATION OF CC&R'S FOR THE ORIGINAL PLAT OF SWEETWATER P.U.D. SUBDIVISION RECORDED AS INSTRUMENT NO. 576318, RECORDS OF BLAINE COUNTY, IDAHO AND AMENDMENTS THERETO.
3. LOT OWNERS, THEIR TENANTS, AND GUESTS ARE ADVISED THAT THIS PROPERTY IS LOCATED NEAR THE FRIEDMAN MEMORIAL AIRPORT. PRESENT AND FUTURE IMPACTS MAY BE ANNOYING AND INTERFERE WITH THE UNRESTRICTED USE AND ENJOYMENT OF PROPERTY. THESE NOISE IMPACTS MAY CHANGE OVER TIME BY VIRTUE OF GREATER NUMBERS OF AIRCRAFT, LOUDER AIRCRAFT, SEASONAL VARIATIONS, AND TIME-OF-DAY VARIATIONS. THAT CHANGES TO AIRPORT, AIRCRAFT, AND AIR TRAFFIC CONTROL OPERATING PROCEDURES OR IN AIRPORT LAYOUT COULD RESULT IN INCREASED NOISE IMPACTS; AND THAT THE USER'S OWN PERSONAL PERCEPTIONS OF THE NOISE EXPOSURE COULD CHANGE AND THAT HIS OR HER SENSITIVITY TO AIRCRAFT NOISE COULD INCREASE.
4. THE TOWNHOUSE SUBDIVISION IS SUBJECT TO THE TOWNHOUSE DECLARATION, RECORDED AS INSTRUMENT NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
5. REFER TO THE SWEETWATER P.U.D. AGREEMENT RECORDED AS INSTRUMENT NO. 542953, RECORDS OF BLAINE COUNTY, IDAHO AND AMENDMENTS THERETO.
6. THE EXISTING PHYSICAL BOUNDARIES OF THE COMMON UNIT WALL AS ORIGINALLY CONSTRUCTED OR AS RECONSTRUCTED IN LIEU THEREOF SHALL BE CONCLUSIVELY PRESUMED TO BE ITS BOUNDARIES RATHER THAN THE METES AND BOUNDS EXPRESSED OR DEPICTED IN THE DECLARATION, PLATS OR DEEDS, REGARDLESS OF SETTLING OR LATERAL MOVEMENT OF BUILDING AND REGARDLESS OF MINOR VARIANCES BETWEEN THE ACTUAL LOCATION AND BOUNDARIES SHOWN.
7. A MUTUAL RECIPROCAL EASEMENT FOR SIDEWALKS AND UTILITIES IS GRANTED WITHIN SUBLOTS 17A - 21D TO BENEFIT THE SWEETWATER P.U.D. HOMEOWNERS.
8. THE PROPERTY SHOWN HEREON IS AFFECTED BY ADDITIONAL EXCEPTIONS AS PROVIDED IN A TITLE REPORT BY AMERITITLE WITH THE COMMITMENT DATE OF 10/05/06 @ 8:00am AND ORDER NO. 56933:
 - a. PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR A FREE AND UNOBSTRUCTED PASSAGE OF AIRCRAFT IN, THROUGH, AND ACROSS THE AIRSPACE ABOVE THE ELEVATION 6,115 FEET MEAN SEA LEVEL DATUM, EXECUTED BY SAWTOOTH TITLE COMPANY, INC., AN IDAHO CORPORATION, TRUSTEE, TO CITY OF HAILEY, BLAINE COUNTY, IDAHO, RECORDED JULY 17, 1975, AS INSTRUMENT NO. 150169.
9. THE 100-YR FLOODPLAIN AREA DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, GALENA ENGINEERING, INC. NEITHER REPRESENTS GUARANTIES, WARRANTIES, NOR IMPLIES THAT AREAS OUTSIDE OF THE DESIGNATED FLOODPLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER.

FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR CITY OF HAILEY, BLAINE COUNTY, IDAHO, COMMUNITY NUMBER 16013C, PANEL NO'S 0668 E AND 0856 E, NOVEMBER 26, 2010. VERTICAL DATUM IS NAVD88.
10. ZONING IS LIMITED BUSINESS (LB).
11. SNOW STORAGE EASEMENTS WITHIN SUBLOTS 17A THRU 21D TO BENEFIT THE SWEETWATER P.U.D. HOMEOWNERS ARE GRANTED AS SHOWN HEREON.

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS



SWEETWATER P.U.D. TOWNHOUSES
BLOCK 2, PHASE 1

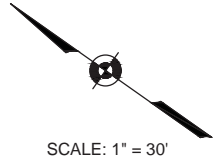
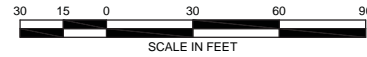
GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 1 OF 3
Job No. 7778

A PRELIMINARY PLAT SHOWING SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 1

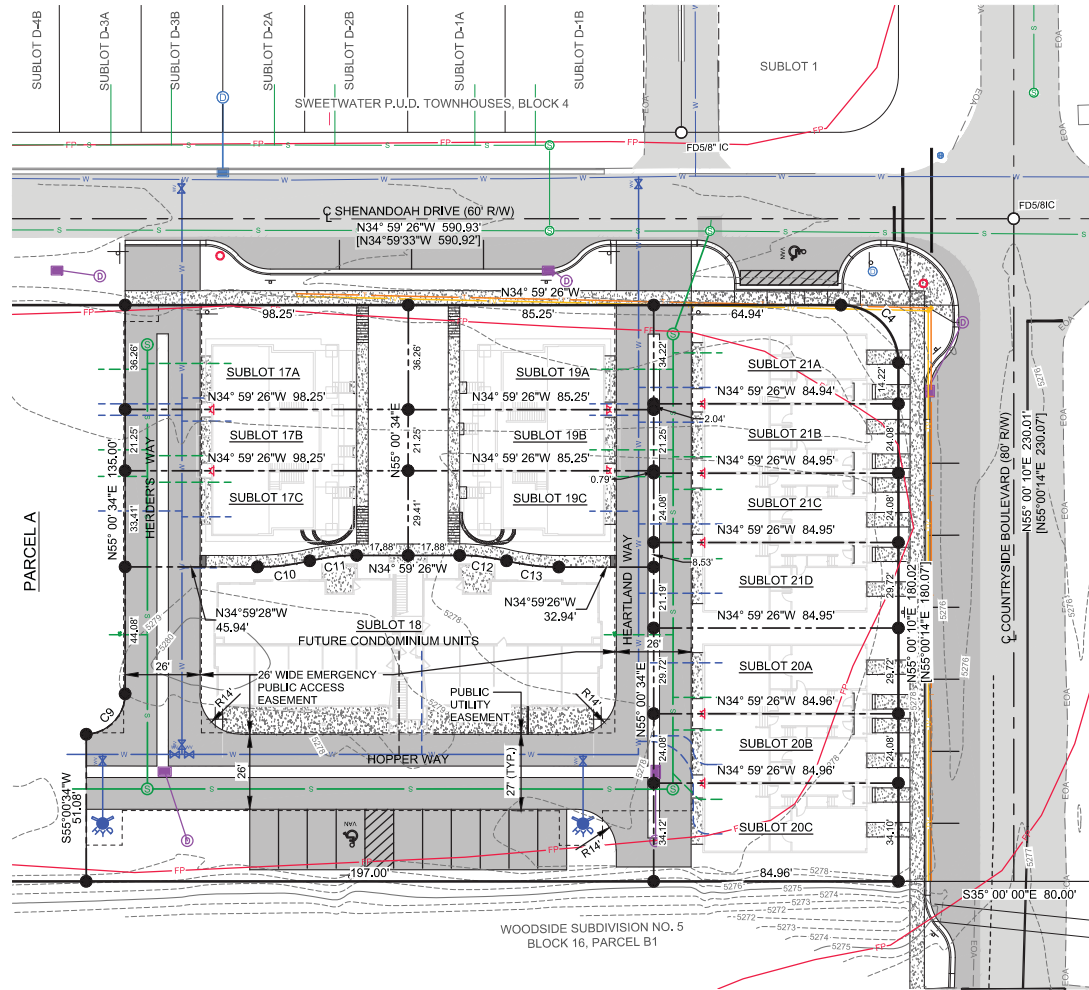
WHEREIN BLOCK 2, SWEETWATER P.U.D. SUBDIVISION IS SUBDIVIDED
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JANUARY 2020



| SUBLOT AREAS | | |
|--------------|--------------|-----------|
| SUBLOT | AREA (sq ft) | AREA (ac) |
| 17A | 3,562 | 0.08 |
| 17B | 2,088 | 0.05 |
| 17C | 3,144 | 0.07 |
| 18 | 21,036 | 0.48 |
| 19A | 3,091 | 0.07 |
| 19B | 1,812 | 0.04 |
| 19C | 2,709 | 0.06 |
| 20A | 2,525 | 0.06 |
| 20B | 2,046 | 0.05 |
| 20C | 2,898 | 0.07 |
| 21A | 2,821 | 0.06 |
| 21B | 2,046 | 0.05 |
| 21C | 2,046 | 0.05 |
| 21D | 2,525 | 0.06 |
| PARCEL A | 228,833 | 5.25 |
| PROJECT | 283,180 | 6.50 |

| CURVE TABLE | | | | | |
|-------------|-----------|---------|---------|---------|---------|
| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD |
| C1 | 55°13'30" | 330.00' | 318.07' | 172.61' | 305.90' |
| C2 | 12°50'15" | 350.00' | 78.42' | 39.37' | 78.26' |
| C3 | 18°01'33" | 675.00' | 212.36' | 107.07' | 211.49' |
| C4 | 89°59'36" | 20.00' | 31.41' | 20.00' | 28.28' |
| C5 | 47°03'55" | 330.00' | 271.08' | 143.71' | 263.52' |
| C6 | 8°09'35" | 330.00' | 47.00' | 23.54' | 46.96' |
| C7 | 80°42'42" | 20.00' | 28.17' | 16.99' | 25.90' |
| C8 | 11°47'34" | 380.00' | 78.21' | 39.24' | 78.07' |
| C9 | 87°58'06" | 14.00' | 21.49' | 13.51' | 19.44' |
| C10 | 13°15'02" | 79.12' | 18.30' | 9.19' | 18.26' |
| C11 | 13°15'02" | 71.12' | 16.45' | 8.26' | 16.41' |
| C12 | 13°15'06" | 71.11' | 16.45' | 8.26' | 16.41' |
| C13 | 13°15'06" | 79.11' | 18.30' | 9.19' | 18.26' |



LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- Sublot Line
- G.I.S. Tie
- Floodplain
- Public Utility Easement
- Easement, type and width as shown
- Vacated Former Balmoral Sub Tract A (used to establish northern boundary)
- Snow Storage Easement (see note 11)
- Found Brass Cap
- Found Stainless Steel Rod in Monument Well
- FD5/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- Set 5/8" Rebar, PLS16670
- Existing 5' Contour Interval
- Existing 1' Contour Interval
- EOA
- Edge of Asphalt
- Existing Asphalt
- Proposed Asphalt Improvements
- Proposed Concrete Improvements
- Buried Cable TV Line
- Proposed Cable TV Line
- Proposed Phone Line
- Proposed Light
- Catch Basin
- Proposed Catch Basin
- Drywell
- Proposed Drywell
- Proposed Storm Drain
- Proposed Sign
- Sewer Main
- Proposed Sewer Main
- Proposed Sewer Service
- Sewer Manhole
- Proposed Sewer Manhole
- Water Main
- Proposed Water Main
- Proposed Water Service
- Proposed Fire Line
- Fire Hydrant
- Proposed Fire Hydrant
- Water Valve
- Proposed Water Valve
- Record Bearing & Distance, Sweetwater PUD Subdivision, Instrument Number 576317
- Record Bearing & Distance, Sweetwater PUD Townhouses: Block 4: Sublots 25-35 & 58-71, Instrument Number 576317



SWEETWATER P.U.D. TOWNHOUSES
BLOCK 2, PHASE 1

GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 2 OF 3
Job No. 7778

SWEETWATER BLOCK 2

PHASE 1

FINAL PLANS

OWNER:

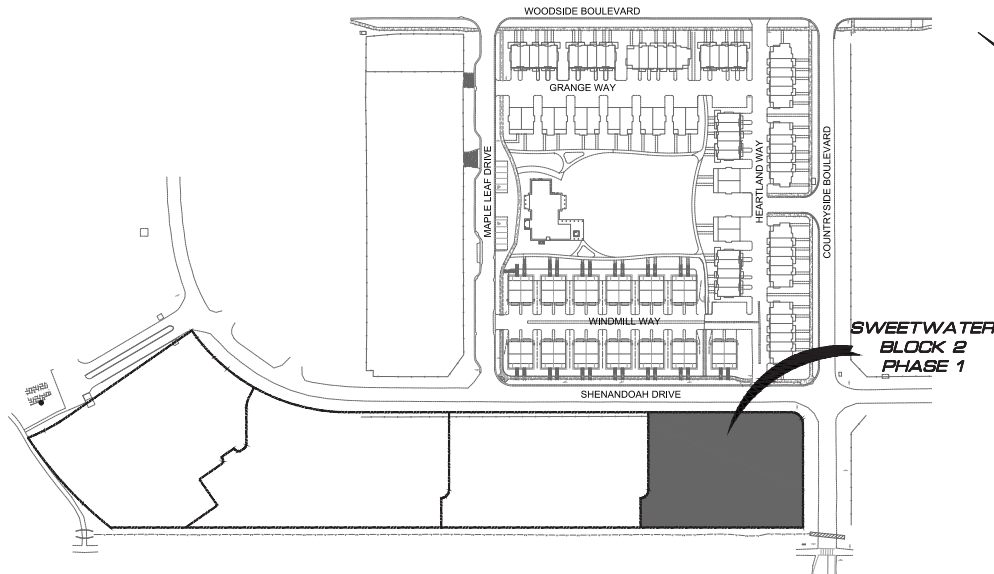
SWEETWATER COMMUNITIES, LLC
13614 SOUTH CAROLINA HILLS CT,
DRAPER, UTAH 84020
801-316-3216 PHONE

PREPARED BY:



GEOTECHNICAL ENGINEER

FOCUS ENGINEERING
5140 WEST CATALPA COURT
BOISE, IDAHO
208-395-1979 PHONE



LOCATION MAP

N.T.S.

INDEX OF SHEETS

GENERAL

| SHEET | TITLE |
|-------|------------------------|
| C-001 | COVER SHEET |
| C-002 | VICINITY MAP (1"=100') |
| C-002 | GENERAL NOTES |

OVERALL PLANS AND DETAILS (1"=50') OR AS SPECIFIED

| SHEET | TITLE |
|-------|-----------------------------------------------|
| C-100 | SITE PLAN |
| C-200 | GRADING AND DRAINAGE PLAN |
| C-201 | PRECISE GRADING - BUILDINGS 17-19 |
| C-202 | PRECISE GRADING - BUILDINGS 20-21 |
| C-203 | PRECISE GRADING - COUNTRYSIDE WIDENING |
| C-300 | WATER AND SEWER PLAN |
| C-400 | LIGHTING PLAN |
| C-401 | STREET LIGHTING |
| C-402 | LIGHTING DETAILS |
| C-500 | CONSTRUCTION MANAGEMENT PLAN |
| C-600 | SIGNAGE AND STRIPING PLAN |
| C-601 | SIGNAGE AND STRIPING PLAN - COUNTRYSIDE BLVD. |

| FILE NAME |
|------------------------|
| SW BLOCK 2 PH1-C100 SP |
| SW BLOCK 2 PH1-C200 GR |
| SW BLOCK 2 PH1-C207 PG |
| SW BLOCK 2 PH1-C208 PG |
| SW BLOCK 2 PH1-C209 PG |
| SW BLOCK 2 PH1-C300 WS |
| SW BLOCK 2 PH1-C400 LT |
| SW BLOCK 2 PH1-C400 LT |
| SW BLOCK 2 PH1-C400 LT |
| SW BLOCK 2 PH1-C500 CO |
| SW BLOCK 2 PH1-C600 ST |
| SW BLOCK 2 PH1-C601 ST |

PLAN & PROFILES (1"=30') OR AS SPECIFIED

| SHEET | TITLE |
|-------|-----------------------------|
| PP-00 | PLAN AND PROFILE MASTER KEY |
| PP-01 | HOPPER WAY |
| PP-02 | HERDER'S WAY, HEARTLAND WAY |

| FILE NAME |
|-----------------------|
| SW BLOCK 2 PH1 - PP00 |
| SW BLOCK 2 PH1 - PP02 |
| SW BLOCK 2 PH1 - PP02 |

DETAILS

| SHEET | TITLE |
|-------|---------|
| C-600 | DETAILS |

| FILE NAME |
|------------------------|
| SW BLOCK 2 PH1-C600 DT |

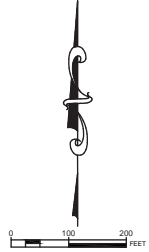
LANDSCAPE PLANS

| SHEET | TITLE |
|-------|-----------------------------------|
| L-100 | EXISTING LANDSCAPE |
| L-101 | PROPOSED LANDSCAPE PLAN - PHASE 1 |

| FILE NAME |
|------------------------|
| SW BLOCK 2 PH1-L100 LA |
| SW BLOCK 2 PH1-L100 LA |



PROJ: MGR: MW DESIGNER: AKJ
\\Mac\Dropbox\--Momentum--M2 Cit\ Team Folder\von\m2\cit\Projects\Momentum\Sweetwater\BLOCK 2\CAD\Improvement Plans\SW BLOCK 2 PH1 -- C001 M.dwg -- Feb 28, 2020--8:20am

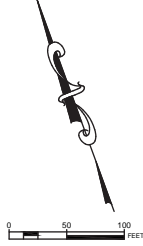


| | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| SHEET NUMBER C-001 | |
| SCALE HORIZONTAL: 1"=100' VERTICAL: 1"=100' | |
| JOB NUMBER 47-0172 | |
| PREPARED FOR: SWEETWATER COMMUNITIES FOR CONSTRUCTION | |
|  10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL | |
|  | |
| CAUTION The engineer preparing these plans shall be responsible for, or under the supervision of, a duly licensed professional engineer. The engineer's seal and signature must be in writing and must be approved by the engineer of these plans. | |

JOB NUMBER
47-017

PROJ. NO. M2R-12-001 DESIGNER: JKL
\\ms-dp003a\m2r-12-001\Projects\Momentum\Sweetwater\BLOCK 2 CAD\Improvement Plans\SW BLOCK 2 PH1 - C100 SP.dwg - Feb 28, 2020-8:20am

IMPORTANT STANDARDS NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION.
ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS
PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND
HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A
STANDARD NOT SUPPLIED BY HAILEY CITY, ISPC
STANDARDS ARE TO BE APPLIED.



SITE DATA - PARCEL BLOCK 2
SITE LOCATION:
WEST SIDE OF SHENANDOAH DRIVE AND
MAPLE LEAF DRIVE
HAILEY, IDAHO

PARCEL NUMBER:
RPH0491002000

LEGAL DESCRIPTION:
SWEETWATER PUD TOWNHOUSES
BLOCK 2
FUTURE SUB LOTS

ZONING DISTRICT:
LB - LIMITED BUSINESS

LOT BLOCK 2 AREA:
6.50 ACRES (283,188 S.F.)

MIN. FRONT SETBACK:
REQUIRED: 5'-0"
PROVIDED: SEE PLAN

MIN. REAR SETBACK:
REQUIRED: 3'-0"
PROVIDED: SEE PLAN

MIN. SIDE SETBACKS:
REQUIRED: 5'-0"
PROVIDED: SEE PLAN

MAX. BUILDING HEIGHT:
ALLOWED: 37'-0" FROM FINISH GRADE.
PROVIDED: 37'-0" MAX. FROM
FINISH GRADE. SEE ARCHITECTURAL
ELEVATIONS

MULTI-FAMILY DENSITY:
ALLOWED: 24
UNITS/SUB-LOTS PER ACRE
PROVIDED: 17.84
UNITS/SUB-LOTS PER ACRE

INDIVIDUAL UNIT GROSS AREA:
TOWNHOME A:
BASEMENT FLOOR: 320 S.F.
FIRST FLOOR: 709 S.F.
SECOND FLOOR: 803 S.F.
TOTAL: 1,832 S.F.
TOWNHOME D:
BASEMENT FLOOR: 387 S.F.
FIRST FLOOR: 807 S.F.
SECOND FLOOR: 890 S.F.
TOTAL: 2,084 S.F.
CONDO:
EACH UNIT: 1,380 S.F.
LIVE/WORK UNITS:
BASEMENT FLOOR: 715 S.F.
FIRST FLOOR: 1,083 S.F.
SECOND FLOOR: 568 S.F.
TOTAL: 2,366 S.F.

ON-SITE PARKING:
REQUIRED:
MIN. 1.5 SPACES PER UNIT
PROVIDED: GARAGE STREET TOTAL
CONDO 1 0 2
TOWNHOME 2 0 2

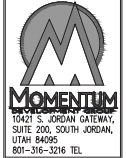
OFF-SITE (PARK STREET) PARKING:
PROVIDED: 28

TOTAL ON-SITE PARKING:
REQUIRED: 174 SPACES
PROVIDED: 254 SPACES
GARAGE: 162 SPACES
OFF STREET: 64 SPACES
ON STREET: 28 SPACES

SNOW STORAGE REQUIREMENTS

| | |
|--|----------------------------------------------------------|
| | SNOW REMOVAL AREA REQ'D: 90,247 SF X 2.0K = 22,562 SF |
| | SNOW STORAGE PROVIDED: 26,059 SF |

**SWEETWATER BLOCK 2 PHASE 1
SITE PLAN**

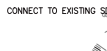


10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL

SHEET NUMBER
C-100

SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=10'
SHEET NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES
FOR CONSTRUCTION



STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

**SWEETWATER BLOCK 2 PHASE 1
GRADING AND DRAINAGE PLAN**

PREPARED FOR: SWEETWATER COMMUNITIES



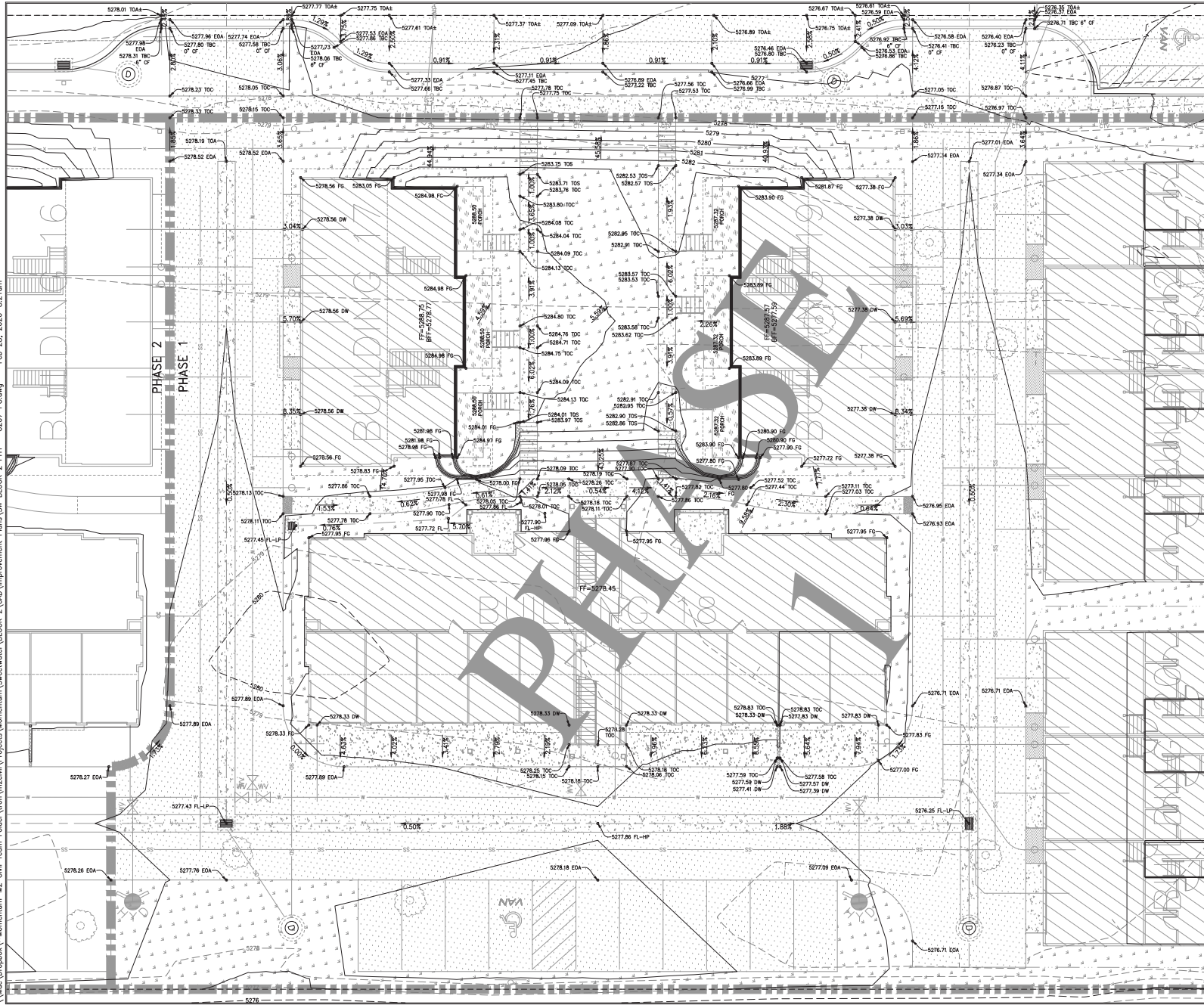
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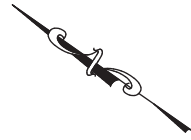

SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=N/A

JOB NUMBER
47-0172

•IMPORTANT STANDARDS NOTE•

CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION. ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A STANDARD NOT SUPPLIED BY HAILEY CITY, ISPCW STANDARDS ARE TO BE APPLIED.



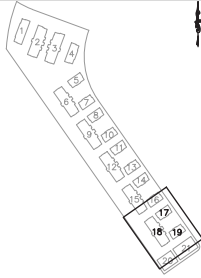


STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

ELEVATION ABBREVIATIONS

BFF = BASEMENT FINISHED FLOOR
BOS = BOTTOM OF STEP
BOW = BACK OF WALK
CF = CURB FACE
DW = DRIVEWAY
EOA = EDGE OF ASPHALT
FOW = FRONT OF WALK
FG = FINISHED GRADE
FL = FLOWLINE
FF = FINISHED FLOOR ELEVATION
GC = GRADE CHANGE
GP = GARAGE FLOOR
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TOA = TOP OF ASPHALT
TOS = TOP OF STEP



**SWEETWATER BLOCK 2 PHASE 1
PRECISE GRADING
BUILDINGS 17-19**

PREPARED FOR: SWEETWATER COMMUNITIES



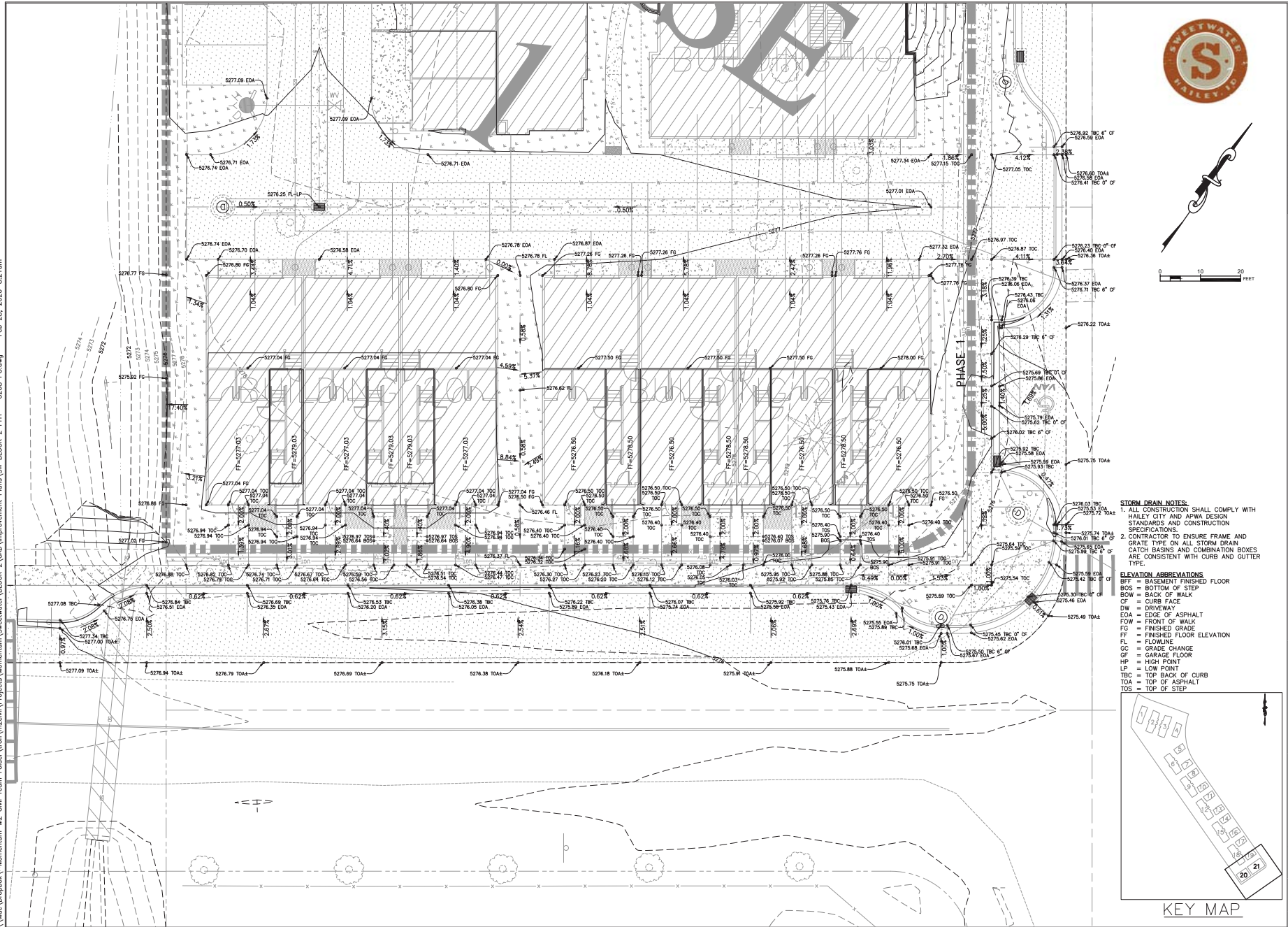
10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL



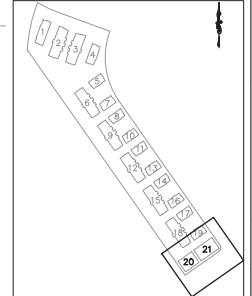
SHEET NUMBER
C-201

SCALE
HORIZONTAL: 1"=10'
VERTICAL: 1"=4'

SHEET NUMBER
47-0172



- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.
- ELEVATION ABBREVIATIONS**
- BFF = BASEMENT FINISHED FLOOR
BOS = BOTTOM OF STEP
BOW = BACK OF WALK
CF = CURB FACE
DW = DRIVEWAY
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FF = FINISHED FLOOR ELEVATION
FL = FLOWLINE
GC = GRADE CHANGE
GF = GARAGE FLOOR
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TOA = TOP OF ASPHALT
TOS = TOP OF STEP



SWEETWATER BLOCK 2 PHASE 1

**PRECISE GRADING
BUILDINGS 20-21**

PREPARED FOR: SWEETWATER COMMUNITIES

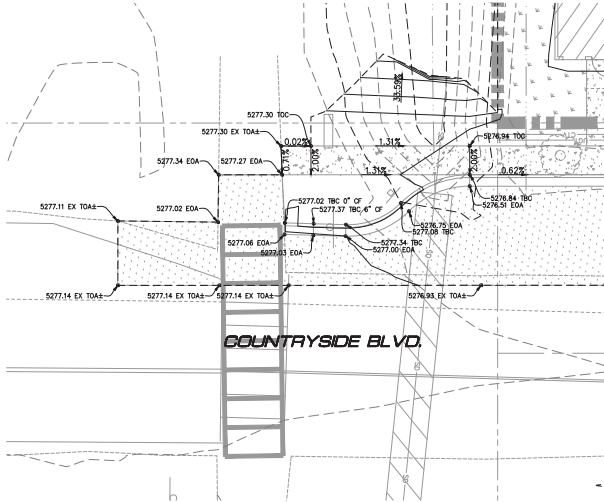
FOR CONSTRUCTION



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C-202

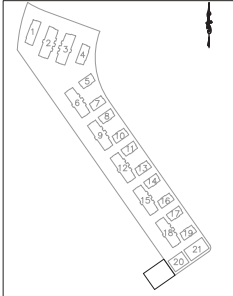
SCALE
HORIZONTAL: 1"=10'
VERTICAL: 1"=4'

SHEET NUMBER
47-0172



STORM DRAIN NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

ELEVATION ABBREVIATIONS
BFF = BASEMENT FINISHED FLOOR
BOS = BOTTOM OF STEP
BOW = BACK OF WALK
CF = CURB FACE
DW = DRIVEWAY
EOA = EDGE OF ASPHALT
FOW = FRONT OF WALK
FG = FINISHED GRADE
FF = FINISHED FLOOR ELEVATION
FL = FLOWLINE
GC = GRADE CHANGE
GF = GARAGE FLOOR
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TOA = TOP OF ASPHALT
TOS = TOP OF STEP



KEY MAP



| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| REVISIONS | |
| DATE | BY |
| | |
| | |
| | |
| CALCULATION | |
| This engineer preparing these plans will be responsible for or shall be responsible for the design of the project and shall be responsible for the design of the project and shall be responsible for the design of the project. | |
| SHEET NUMBER C-203 | |
| SCALE HORIZONTAL: 1"=10' VERTICAL: 1"=4' V.A. | |
| SHEET NUMBER 47-0172 | |

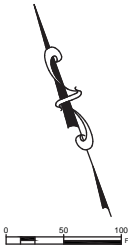
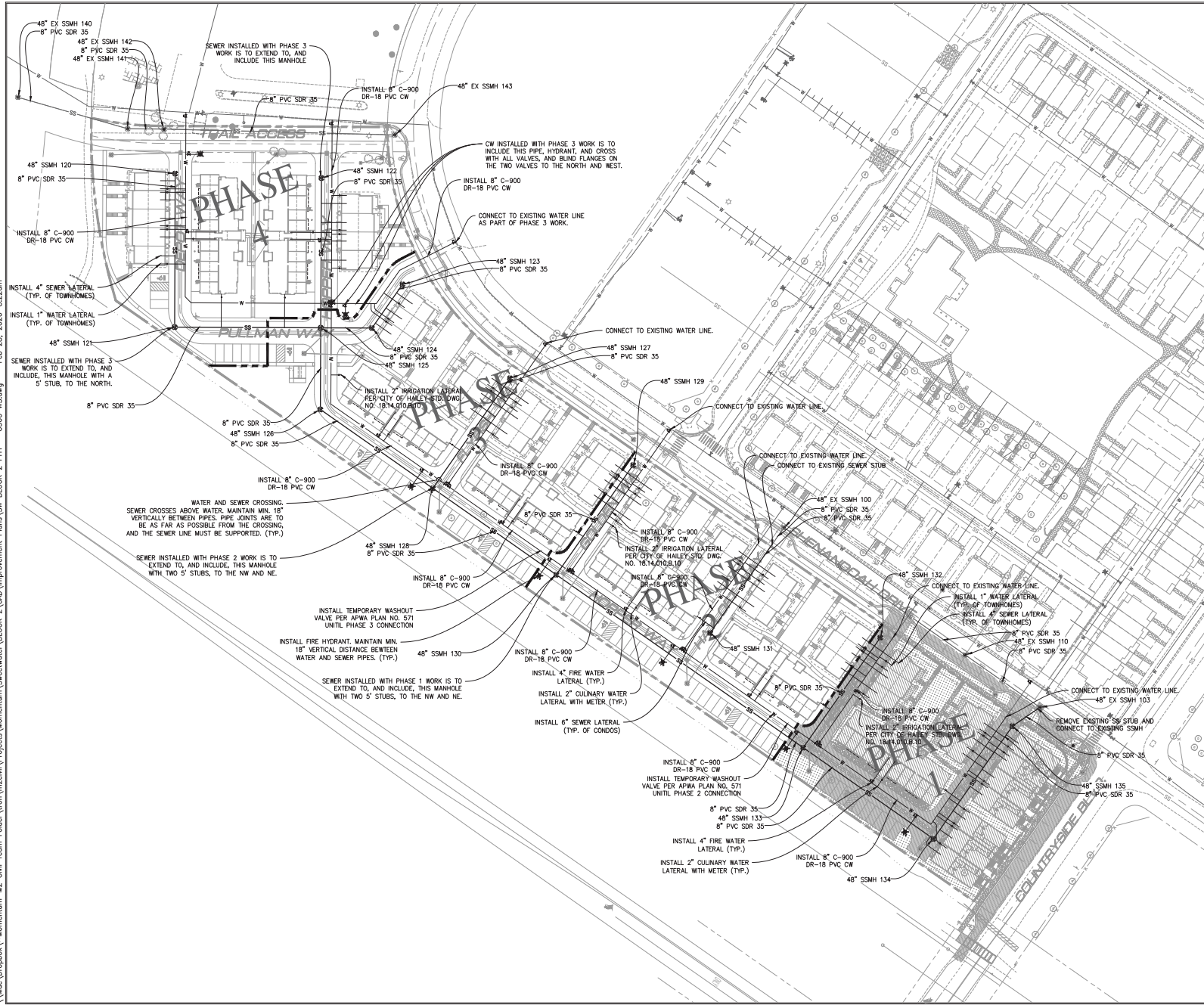
**SWEETWATER BLOCK 2 PHASE 1
PRECISE GRADING
COUNTRYSIDE WIDENING**

PREPARED FOR: SWEETWATER COMMUNITIES

FOR CONSTRUCTION

MOMENTUM
10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL

PROFESSIONAL ENGINEER
AKJ
2020-2024
STATE OF UTAH
LAWRENCE WILKINS



WATER GENERAL NOTES:

1. ANY METER VAULTS LOCATED IN DRIVEWAYS OR IN ASPHALT SHALL HAVE A HEAVY TRAFFIC RATED LID OVER THE VAULT.
2. ANY WATER SERVICES THAT ARE MOVED SHALL BE INSPECTED BY THE CITY AND SHALL BE INSTALLED PER CITY STANDARDS

SEWER GENERAL NOTES:

1. SEWER SERVICES SHOULD RUN PERPENDICULAR TO THE MAIN LINE TO THE CENTER OF EACH INDIVIDUAL UNIT, WITH NO SEWER SERVICES CONNECTED AT MANHOLES

IMPORTANT STANDARDS NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION. ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A STANDARD NOT SUPPLIED BY HAILEY CITY, ISPC STANDARDS ARE TO BE APPLIED.

SWEETWATER BLOCK 2 PHASE 1 WATER AND SEWER PLAN

PREPARED FOR: SWEETWATER COMMUNITIES

FOR CONSTRUCTION



10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL

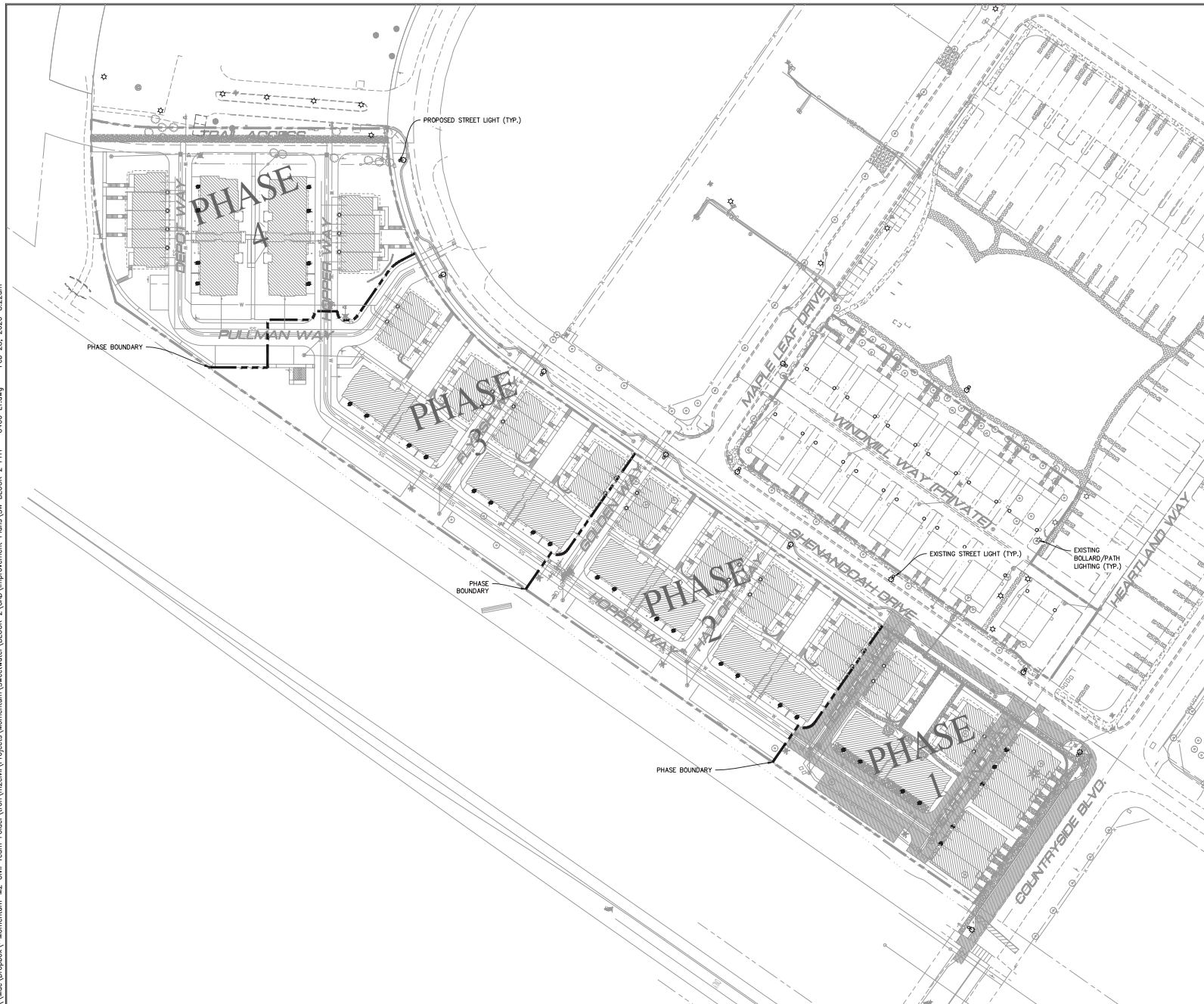






SHEET NUMBER
C-300

SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=10'

DWG NUMBER
47-0172

The engineer preparing these plans will be responsible for the design and construction of the project. The engineer shall be responsible for the design and construction of the project. The engineer shall be responsible for the design and construction of the project.



-  BOLLARD/PATH LIGHTING
-  TYPE A BUILDING MOUNTED DOWN LIGHTING AT GARAGE ENTRIES (TYP.)
-  TYPE B BUILDING MOUNTED DOWN LIGHTING AT GARAGE ENTRIES (TYP.)
-  STREET LIGHTING LOCATION

LIGHTING NOTES:

- LIGHTING NOTES:**
1. ALL NEW AND EXISTING EXTERIOR LIGHTING SHALL COMPLY WITH THE OUTDOOR LIGHTING ORDINANCE.
 2. ALL PROPOSED STREET LIGHTING IS TO BE MAINTAINED BY THE HOA.

•IMPORTANT STANDARDS NOTE•

IMPORTANT STANDARDS NOTE:
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PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND
HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A
STANDARD NOT SUPPLIED BY HAILEY CITY, ISPWC
STANDARDS ARE TO BE APPLIED.

SWEETWATER BLOCK 2 PHASE 1 LIGHTING PLAN



SHEET NUMBER
C-400

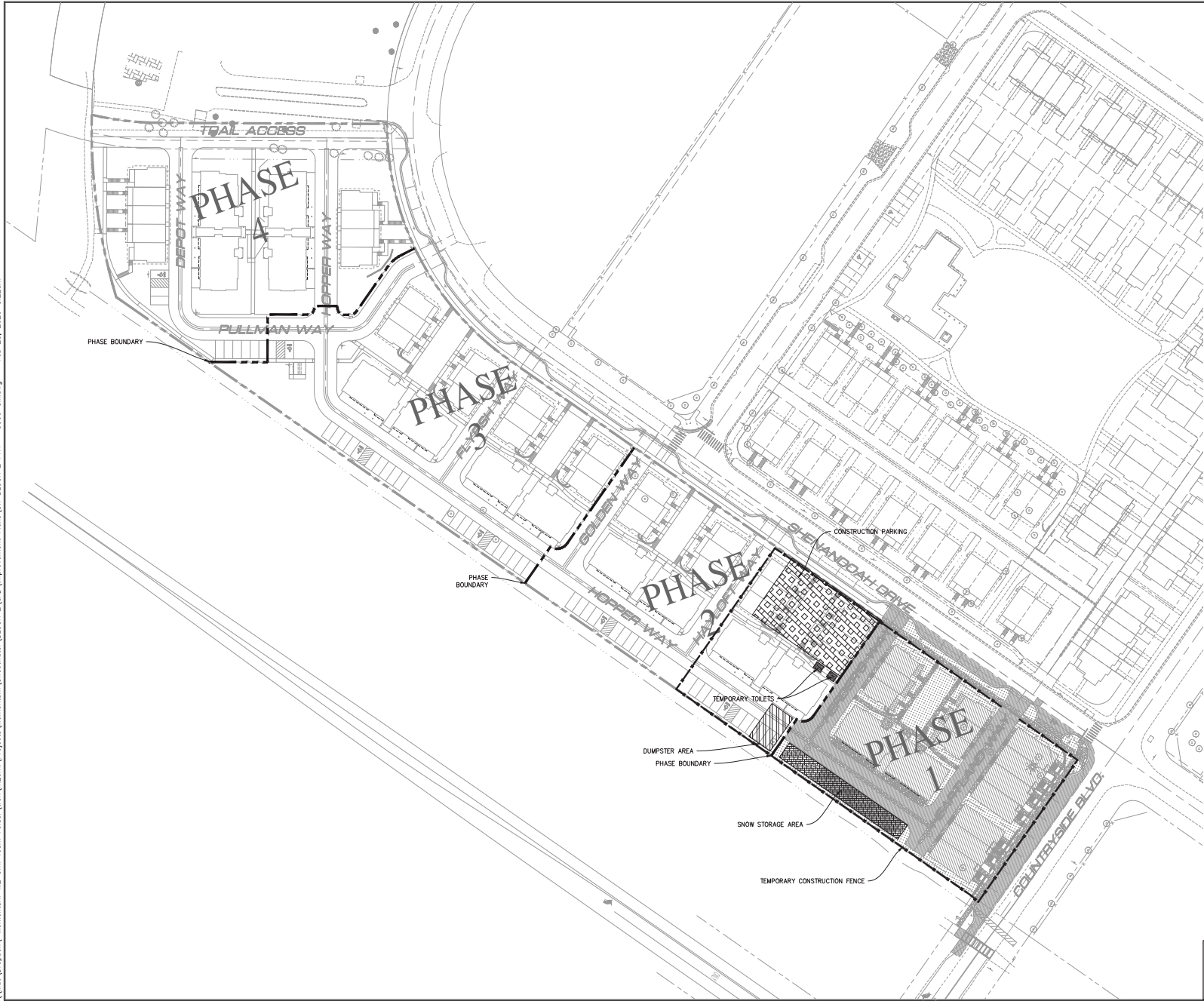
SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=10'




JOB NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES





FOR CONSTRUCTION

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



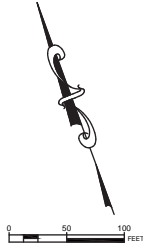
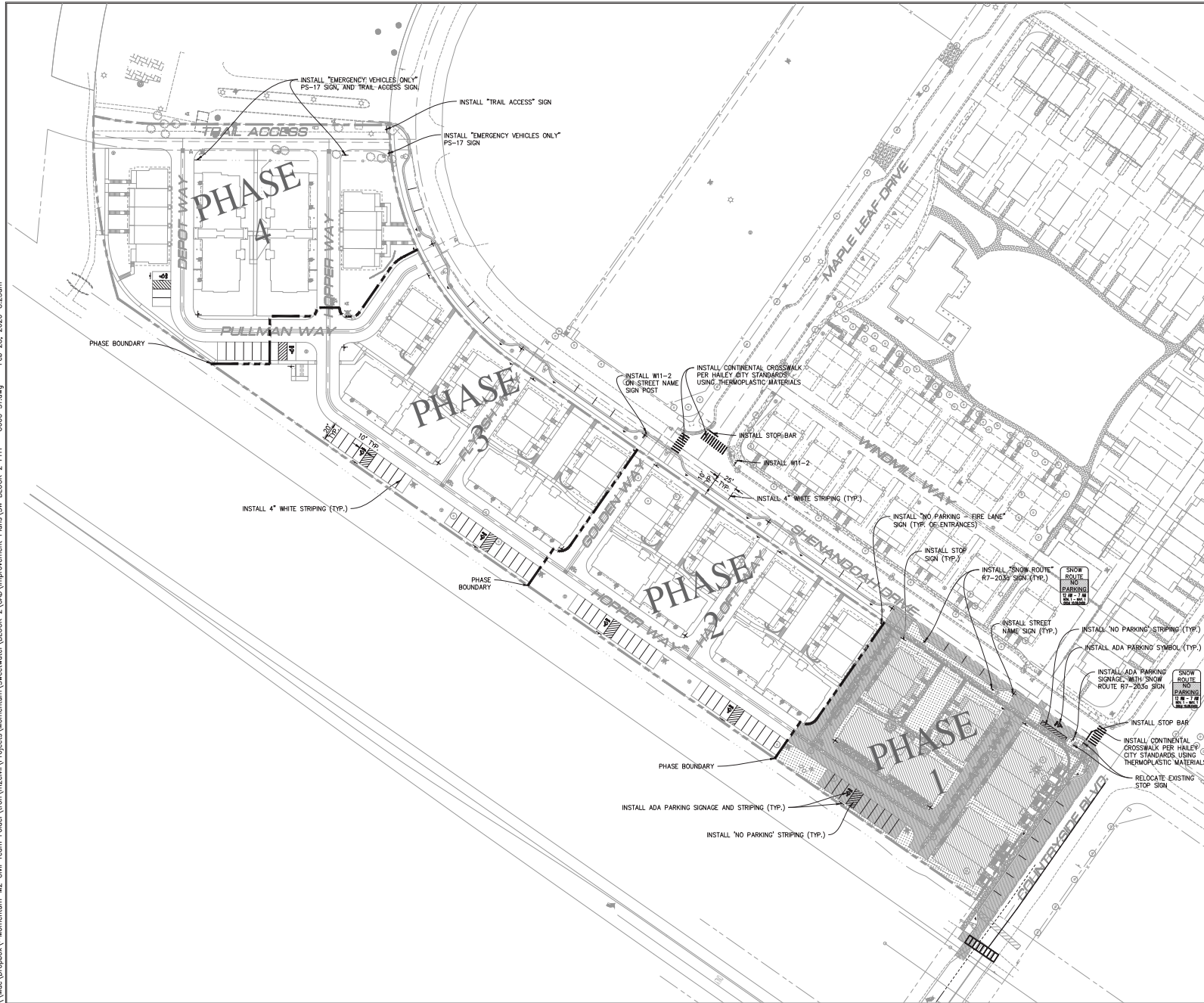


LEGEND

| | |
|-------------------------------------------------------------------------------------|----------------------|
|  | SNOW STORAGE AREA |
|  | TEMPORARY TOILETS |
|  | DUMPSTER AREA |
|  | CONSTRUCTION PARKING |

IMPORTANT STANDARDS NOTE*
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PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND
HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A
STANDARD NOT SUPPLIED BY HAILEY CITY, ISPWC
STANDARDS ARE TO BE APPLIED.

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|
| CALCULATION | |
| DATE | REVISION |
| | |
| | |
| | |
| SHEET NUMBER C-500 | |
| SCALE HORIZONTAL: 1"=50' VERTICAL: 1"=100' | |
| JOB NUMBER 47-0172 | |
|  10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL | |
| PREPARED FOR: SWEETWATER COMMUNITIES FOR CONSTRUCTION | |
| SWEETWATER BLOCK 2 PHASE 1 CONSTRUCTION MANAGEMENT PLAN | |



SWEETWATER BLOCK 2 PHASE 1 SIGNAGE AND STRIPING PLAN

PREPARED FOR: SWEETWATER COMMUNITIES

FOR CONSTRUCTION



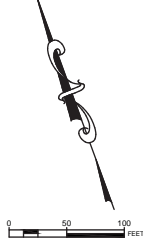
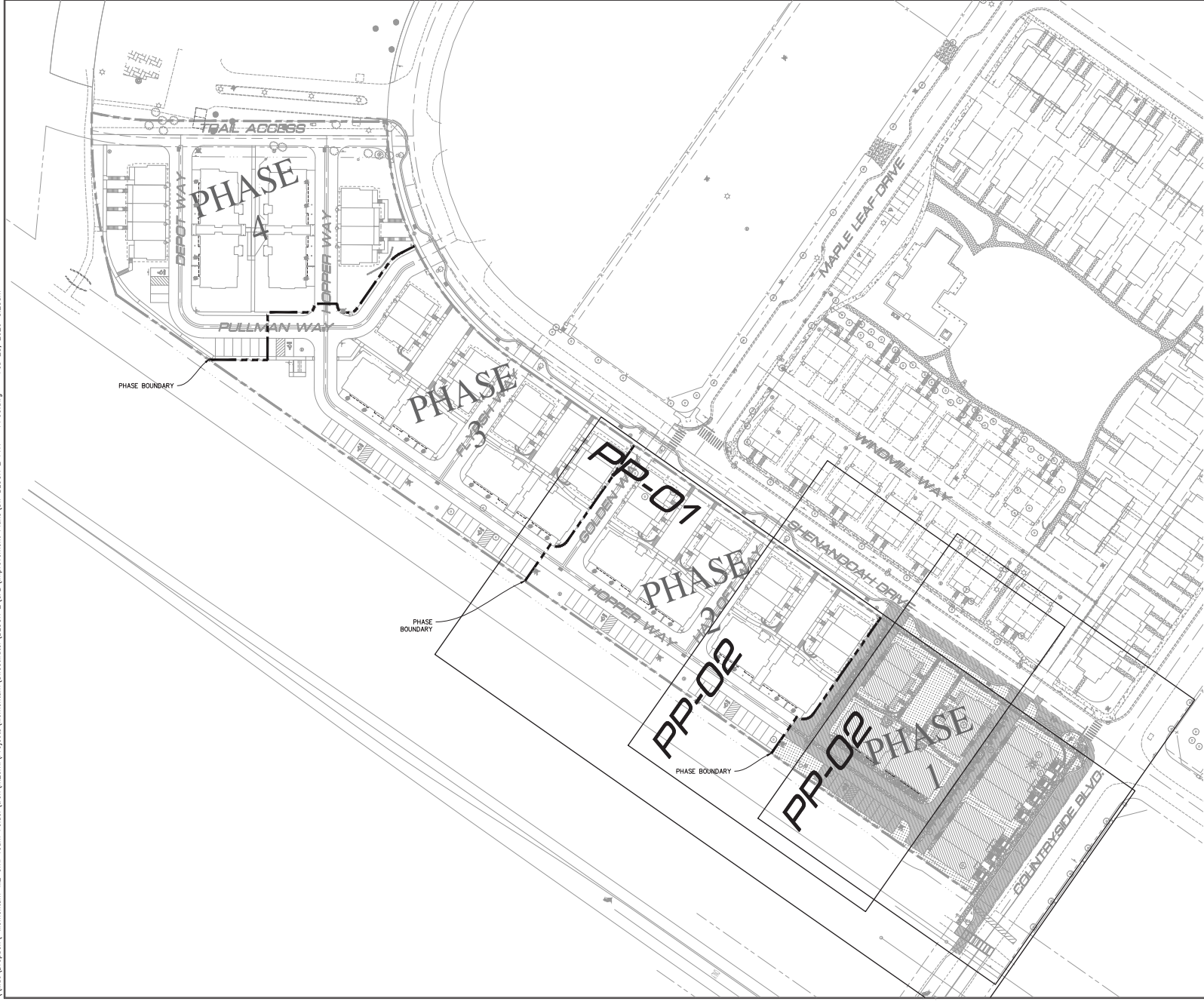
SHEET NUMBER
C-600

SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=N/A

JOB NUMBER
47-0172

•IMPORTANT STANDARDS NOTE•
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ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS
PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND
HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A
STANDARD NOT SUPPLIED BY HAILEY CITY, ISPWC
STANDARDS ARE TO BE APPLIED.

PROJ. MGR. MW DESIGNER: AKJ
\\Mac\Dropbox\--Momentum--M2 Civil Team Folder\Iron\m2civil\Projects\Momentum\Sweetwater\BLOCK 2\CAD\Improvement Plans\SW BLOCK 2 PH1 -- PP00.dwg -- Feb 28, 2020--8:23am



SWEETWATER BLOCK 2 PHASE 1
PLAN AND PROFILE MASTER KEY



10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL



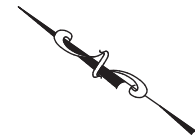
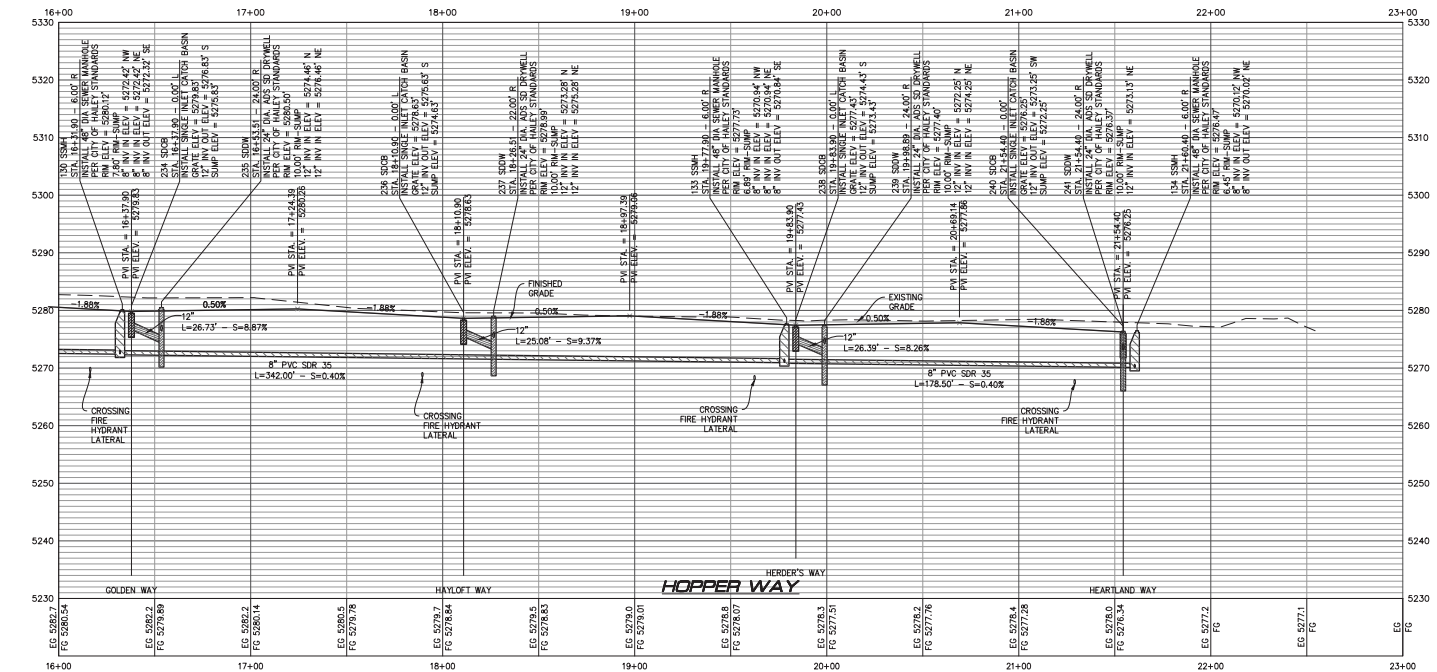
SHEET NUMBER
PP-00

SCALE
HORIZONTAL: 1"=50'
VERTICAL: 1"=10'

SHEET NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES
FOR CONSTRUCTION

CAUTION
The engineer preparing these plans will not be responsible for or liable for, or accept any liability for, any errors or omissions in these plans that may result in injury or loss of life or property, or any other damages, unless it is shown that the engineer was negligent in the preparation of these plans.



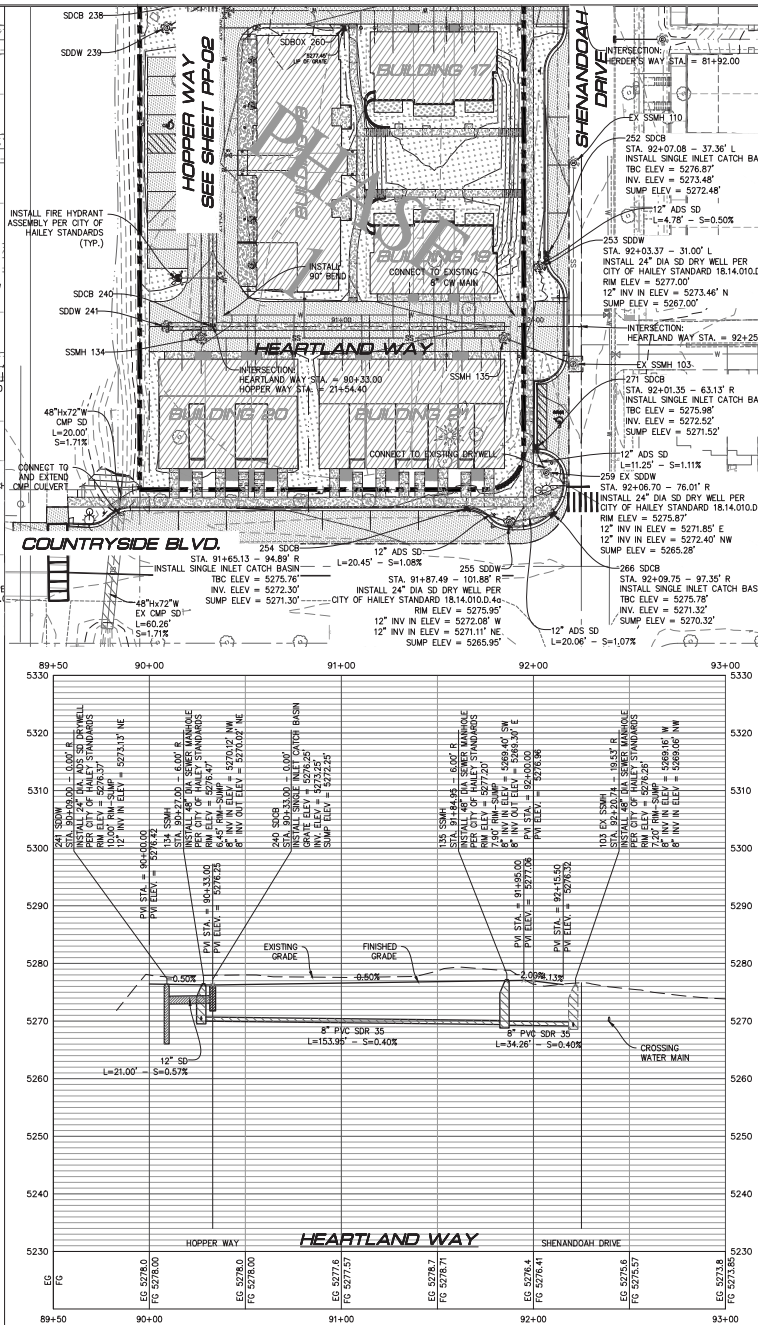
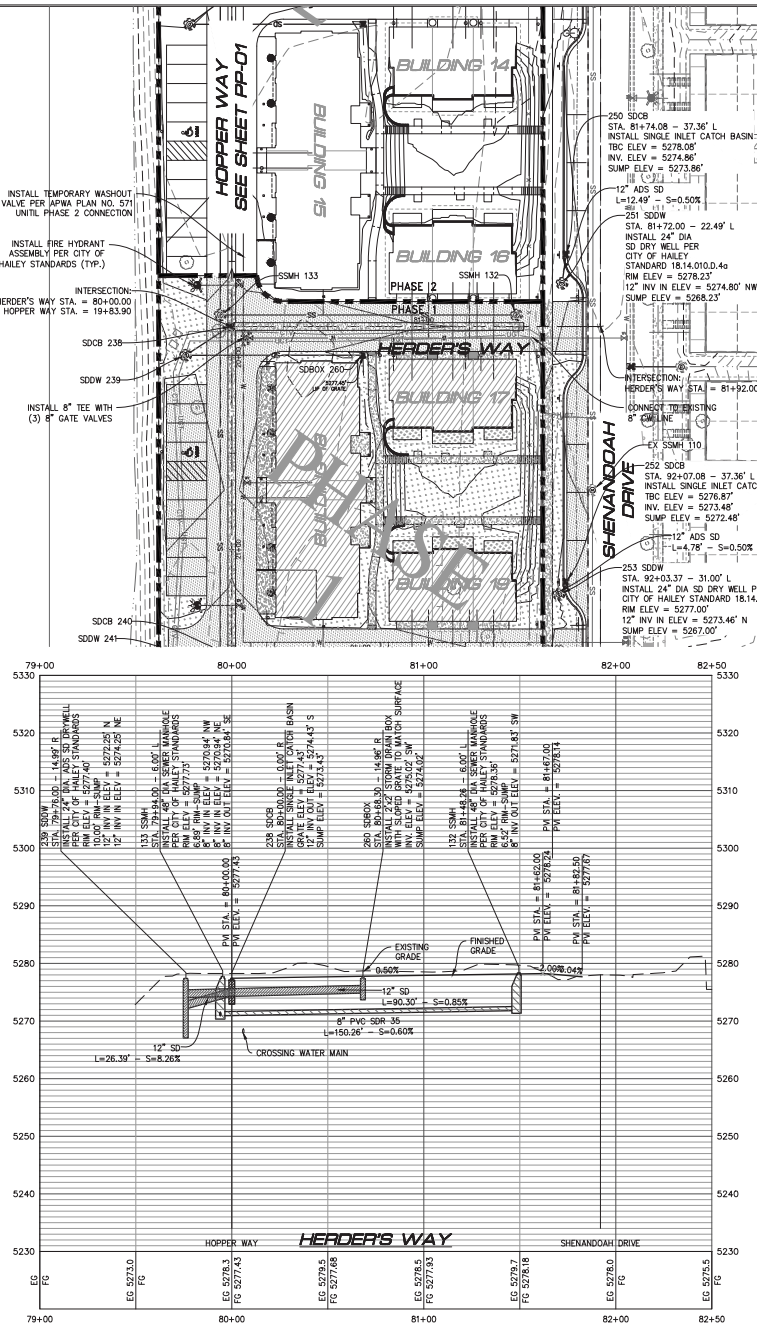
SEWER LATERALS SHALL COMPLY WITH CITY OF HAILEY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.

1. ALL CONSTRUCTION SHALL VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINE.
2. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED. 90° BENDS SHALL BE MADE WITH TWO 45° ELBOWS AND A CLEANOUT AT EACH 90° SEWER MANHOLE PER CITY OF HAILEY STD. DWG 18.14.010.C.4. ALL BENDS AT SEWER CLEANOUTS ARE 45° BENDS UNLESS NOTED OTHERWISE.
3. MANHOLE COT SECTIONS ARE TO BE POSITIONED AWAY FROM ROAD MONUMENTS, CURB AND GUTTER, ON LOW POINTS; AND TOWARDS HIGH POINTS.

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HAILEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HAILEY, ISPCW, IDAPA AND APWA DESIGN STANDARDS.
3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HAILEY AND APWA DESIGN STANDARDS.
4. INSTALL THURST OUTS OR FITTINGS PER CITY OF HAILEY STD. DEP. 18.14.010.B.4.
5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HAILEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.





SANITARY SEWER NOTES:

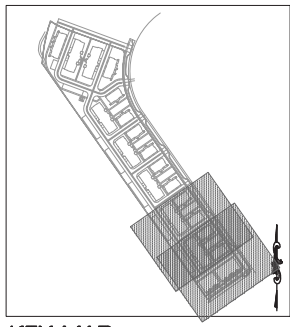
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED. 90° ELBOWS SHALL BE USED WITH TWO 45° ELBOWS AND A CLEANOUT. CONNECT TO SEWER MAIN PER CITY OF HALEY STD. DWG. 18.14.010.C.4. ALL SEWER LATERALS SHALL BE 45° AT ENDS UNLESS NOTED OTHERWISE.
4. MANHOLE CURE SECTIONS ARE TO BE POSITIONED AWAY FROM ROAD MONUMENTS, TIES AND OTHER SURFACE LOW POINTS; AND TOWARDS HIGH POINTS.



CULINARY WATER NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HALEY, ISPWC, IDAPA, AND APWA DESIGN STANDARDS.
3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HALEY AND APWA DESIGN STANDARDS.
4. INSTALL THRUST BLOCKS ON ALL FITTINGS PER CITY OF HALEY STD. DWG. 18.14.010.B.4.
5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.

STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.



| | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------------------------------------------|--|
|  <p>MOMENTUM ENGINEERING & CONSTRUCTION SUITE 200, SOUTH JORDAN, UTAH 84095 801-246-1216 TEL</p> | | <p>SWEETWATER BLOCK 2 PHASE 1</p> <p>PLAN AND PROFILE</p> <p>HERDER'S WAY, HEARTLAND WAY</p> | |
|  | | <p>PREPARED FOR: SWEETWATER COMMUNITIES</p> <p><i>FOR CONSTRUCTION</i></p> | |
| <p>SHEET NUMBER</p> <p>PP-02</p> | | | |
| <p>SCALE</p> <p>HORIZONTAL: 1"=30'</p> <p>VERTICAL: 1"=10'</p> | | | |
| <p>JOB NUMBER</p> <p>47-0172</p> | | | |



SWEETWATER BLOCK 2 PHASE 1 DETAILS

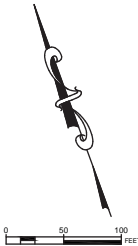
PREPARED FOR: SWEETWATER COMMUNITIES



SHEET NUMBER
C-800

SCALE
HORIZONTAL: 1"=30'
VERTICAL: 1"=10'

JOB NUMBER
47-0172



IRRIGATION NOTES:
 1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

- LEGEND**
- EXISTING TREES-PROTECTED IN PLACE
 - RELOCATE TREES THAT HAVE TO BE REMOVED TO PROPOSED TREE LOCATIONS (SEE SHEET L-101, L-102 & L-103)
 - PHASE 1: 13
 - PHASE 2: 4
 - PHASE 3: 3
 - PHASE 4: 14

****TOTAL QUANTITY 34****

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <p>SWEETWATER BLOCK 2 PHASE 1</p> <p>EXISTING LANDSCAPE</p> | |
| <p>PREPARED FOR: SWEETWATER COMMUNITIES</p> <p>FOR CONSTRUCTION</p> | |
| <p>MOMENTUM 10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL</p> | |
| <p>DESIGNER'S EXCELLENCE JUSTIN WILLET STATE OF UTAH LICENSE NO. 12000</p> | |
| <p>SHEET NUMBER L-100</p> | |
| <p>SCALE HORIZONTAL: 1"=50' VERTICAL: 1"=10'</p> | |
| <p>SHEET NUMBER 47-0172</p> | |

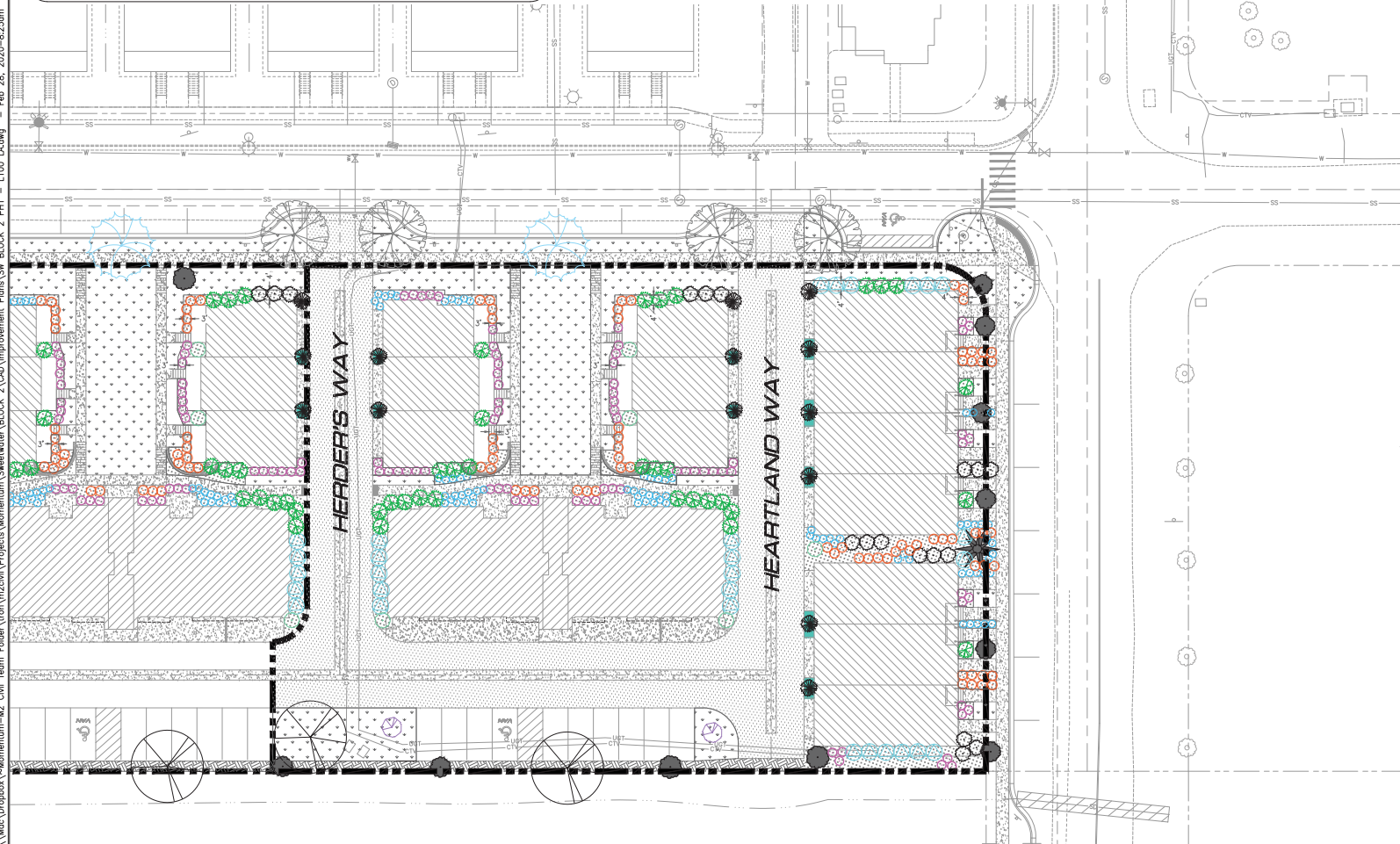
Plant Material List FOR PHASE 1

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT SIZE | HEIGHT | SPREAD | COMMENT |
|----------------------|-----|------|----------------------------------------------------------------|------|-----------|------------|-----------------|------------------------------------|
| Trees | | | | | | | | |
| RE | 2 | | Red Maple <i>Acer grandidentatum</i> | 25' | Cont. | 2.5' cal. | 6' min. 4' min. | Full Canopy, Healthy, Good Form |
| SR | 11 | | Sky Rocket Juniper <i>Juniperus scopulorum 'Sky Rocket'</i> | 25' | Cont. | #7 | 4' min. 3' min. | Full Canopy, Healthy, Good Form |
| CH | 2 | | Chokeberry <i>Prunus virginiana</i> | 25' | Cont. | 2.5' cal. | 6' min. 4' min. | Full Canopy, Healthy, Good Form |
| LL | 1 | | Littleleaf Linden <i>Tilia cordata</i> | 25' | Cont. | 4" cal. | 6' min. 4' min. | Full Canopy, Healthy, Good Form |
| HO | 3 | | Honeylocust <i>Gleditsia nincanthos imperia</i> | 25' | Cont. | 3" cal. | 6' min. 4' min. | Full Canopy, Healthy, Good Form |
| Ground Covers | | | | | | | | |
| | | | Kentucky Blue Grass Sod | | | 8,336 S.F. | | |
| | | | Bark Mulch | | | 5,511 S.F. | | Installed in Planter Beds |
| | | | Rock Mulch | | | 265 S.F. | | Installed in Alley Areas |
| | | | Native Grass Seeding | | | 885 S.F. | | Installed along southwest boundary |

Plant Material List FOR PHASE 1

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT SIZE | HEIGHT | SPREAD | COMMENT |
|---------------|-----|------|------------------------------------------------------------------------|------|-----------|--------|-------------------|---------------------------------|
| Shrubs | | | | | | | | |
| RD | 5 | | Redtwig Dogwood <i>Cornus alba 'Elegantissima'</i> | 3' | Cont. | gal. | 3' min. 3' min. | Healthy, Good Form |
| PI | 68 | | Pink Princess Cinquifol <i>Potentilla fruticosa 'Pink Princess'</i> | 3' | Cont. | gal. | 3' min. 3' min. | Healthy, Good Form |
| MU | 29 | | Mugo Pin <i>Pinus mugo</i> | 3' | Cont. | 1 gal. | 12' min. 12' min. | Healthy, Good Form |
| CR | 64 | | Creeping Mahonia <i>Mahonia repens</i> | 3' | Cont. | 1 gal. | 12' min. 12' min. | Healthy, Good Form |
| IV | 77 | | Ivory Halott Dogwood <i>Cornus alba 'Baillheli'</i> | 3' | Cont. | 1 gal. | 12' min. 12' min. | Healthy, Good Form |
| SN | 24 | | Common Snowberry Bush <i>Symphoricarpos albus</i> | 5' | Cont. | 5 gal. | 4' min. 4' min. | Full Canopy, Healthy, Good Form |
| NE | 15 | | Norway Spruce Pumila Dwarf <i>Picea abies 'Pumila'</i> | 5' | Cont. | gal. | 3' min. 3' min. | Full Canopy, Healthy, Good Form |

In Accordance to the Current Edition of The American Standard for Nursery Stock



IRRIGATION NOTES:
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

LEGEND
EXISTING TREES-PROTECTED IN PLACE

RELOCATED TREES
(REPLACE ASH TREES WITH OTHER)
NEW LOCATIONS
QUANTITY 11



SWEETWATER BLOCK 2 PHASE 1 PROPOSED LANDSCAPING PLAN PHASE 1



10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL



SHEET NUMBER
L-101

SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=10'

SHEET NUMBER
47-0172

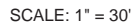
PREPARED FOR: SWEETWATER COMMUNITIES
FOR CONSTRUCTION

This engineer preparing these plans will accept no responsibility for or liability for the use of these plans for any purpose other than that for which they were prepared. The user must be in writing and must be approved by the engineer of these plans.

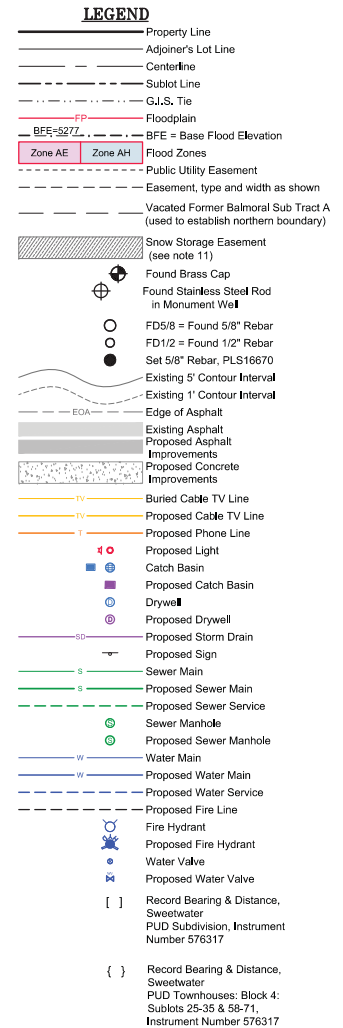
WHEREIN BLOCK 2, SWEETWATER P.U.D. SUBDIVISION IS SUBDIVIDED
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

30 15 0 30 60 9

SCALE IN FEET



| CURVE TABLE | | | | | | |
|-------------|-----------|---------|---------|---------|---------|---------------|
| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | BEARING |
| C1 | 55°13'30" | 330.00' | 318.07' | 172.61' | 305.90' | S 07°23'37" E |
| C2 | 12°50'15" | 350.00' | 78.42' | 39.37' | 78.26' | S 63°14'14" E |
| C3 | 18°01'33" | 675.00' | 212.36' | 107.07' | 211.49' | S 12°22'37" W |
| C4 | 89°59'36" | 20.00' | 31.41' | 20.00' | 28.28' | N 10°00'22" E |
| C5 | 47°03'55" | 330.00' | 271.08' | 143.71' | 283.52' | S 11°28'24" E |
| C6 | 8°09'35" | 330.00' | 47.00' | 23.54' | 46.96' | S 16°08'21" W |
| C7 | 80°42'42" | 20.00' | 28.17' | 16.99' | 25.90' | N 29°11'12" W |
| C8 | 11°47'34" | 380.00' | 78.21' | 39.24' | 78.07' | S 63°45'54" E |
| C9 | 87°58'06" | 14.00' | 21.49' | 13.51' | 19.44' | S 81°00'23" E |
| C10 | 13°15'02" | 79.12' | 18.30' | 9.19' | 18.26' | S 41°36'59" E |
| C11 | 13°15'02" | 71.12' | 16.45' | 8.26' | 16.41' | N 41°36'59" W |
| C12 | 13°15'06" | 71.11' | 16.45' | 8.26' | 16.41' | N 28°21'53" W |
| C13 | 13°15'06" | 79.11' | 18.30' | 9.19' | 18.26' | S 28°21'53" E |



SHEET 2 OF 3
Job No. 7778

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 30, 2020

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Planned Unit Development – ARCH Blaine Manor Project

HEARING: March 30, 2020

Applicant: ARCH Community Housing

Project: 30-unit senior housing project and 30-unit Family Project

Decision Approval: Consideration of a Planned Unit Development (PUD) Application for Blaine Manor Senior and Family Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County

Location: 706 South Main Street

Legal Description: (Lot 3A, Block 1, Wertheimer Park)

Zoning: Business (B) and Townsite Overlay (TO)

Note: Staff analysis is in lighter type

Notice:

Notice for the public hearing was published in the Idaho Mountain Express on February 8, 2020; the notice was mailed to property owners within 300 feet and agencies on February 4, 2020; and notice was posted on the property on February 19, 2020. The project was continued on the record to March 16, 2020. On March 16, 2020 the project was continued on record to March 30, 2020.

Application:

Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, is proposing the Blaine Manor Community Housing, to be located at 706 S Main Street.

ARCH applied for and received PUD and Design Review approval for a 30-unit Senior Project on a portion of the site in 2018. However, they were not successful in obtaining federal funding. The project was modified to include a Family Housing component based on revised federal scoring criteria. Funding for the 60-unit project was awarded in late 2019.

The project will consist of a Senior Apartment Building, three-stories in height, thirty (30) units in total, and a Family Apartment Building, three-stories in height, thirty (30) units in total, for a total of 60 units. The project will be 72,455 square feet in size and the following are proposed:

Senior Apartment Building:

Eighteen (18) one-bedroom units
Twelve (12) two-bedroom units
Units range in size from 691 square feet to 908 square feet
Fifty (50) parking spaces
Outside Patio Area

Family Apartment Building:

Eighteen (18) two-bedroom, one-bath units
Twelve (12) three-bedroom, two-bath units
Units range in size from 914 square feet to 1,247 square feet
Forty-seven (47) parking spaces
Children's Outdoor Play Area

A PUD is requested to allow the applicant to allow for 60 units: 54 are permitted under the Business (B) Zone District.

Subsection 17.10.050.02 of the Zoning Title provides for concurrent submission, such that a Planned Unit Development Permit Application may be submitted and reviewed concurrently with other applications affecting the same piece of property. The applicant has submitted a Subdivision and Design Review application.

At the February 27, 2020 public hearing, the Planning and Zoning Commission discussed issues and continued the item to March 16, 2020, with the following feedback to the applicant:

1. **Consider retaining as many of the existing trees as possible.** The Landscape Plan has been revised to preserve as many of the existing trees as possible. Please refer to Section 17.06.080(A)1b for further details.
2. **Consider using ground source heat pumps for heating/cooling of the buildings.** Upon further research of ground source heat pumps, the Applicant found that the pumps are much more expensive than the high-efficiency systems proposed. Furthermore, the Applicant found that the return on investment is approximately 10 to 15 years. Currently, the Applicant does not have the budget to pursue ground source heat pumps at this time.
3. **Provide more color variation and vertical modulation with exterior materials.** Revised exterior elevations and additional accent colors have been provided and are described herein.
4. **Examine the structural integrity of the proposed carports and redesign, if necessary.** The Applicant intends to provide Structural Calculations for the proposed carports at the time of Building Permit submittal. These calculations will be reviewed for compliance of all City Standards.
5. **Provide an additional site access.** The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed and is comfortable with the revised proposal.
6. **Provide an Arborist Review specific to existing trees onsite.** The Arborist Review is attached to the Design Review Staff Report.

7. **Consider utilizing other materials in-lieu of the vinyl fencing proposed.** The Site Plan has been revised to show that most fencing, previously proposed, has been removed. Wrought iron fencing will remain around outdoor/play areas for safety. Trash enclosures, previously designed with vinyl fencing, are located behind each building and are screened from view by a six (6') foot tall CMU fence with a metal gate.
8. **Consider providing RV parking opportunities onsite.** The Applicant does not intend to allow for RV parking onsite.
9. **Plan for a Mountain Rides Bus Stop.** A Mountain Rides Bus Stop will be integrated along Maple Street. This bus stop will include standard Mountain Rides signage and a concrete slab, 10' in length x 12' in width, to eventually accommodate a standard, or approved alternative, bus stop shelter.
10. **Consider installing a crosswalk near the project site (at Main Street and Maple Street).** The Applicant agrees that there is a need for this; however, noted that financing for the installation of the crosswalk is beyond the scope of funding for the project.

Waivers requested:

Chapter 17.10.040: Developer Benefits allows for the request of modifications or waivers of zoning and subdivision requirements. The following items are modifications and waivers requested as a part of this application:

Business Zone Maximum Multi-Family Units per Acre- Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B for amenities and benefits to the community other than those listed in 17.10.040.01A.

Department Comments:

See Design Review Staff report. Specific comments related to the PUD application concern area-wide circulation as described herein.

| Standards of Evaluation | |
|-----------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17.10.030: General Requirements: | |
| A. | The minimum gross size for properties that may be developed as a PUD is one (1) acre, except in the Business and Limited Business zoning districts within the Central Business District, the minimum gross size shall be 18,000 square feet. All land within the development shall be contiguous except for intervening streets and waterways. |
| Staff Comments | <i>The proposed PUD site is greater than 18,000 square feet.</i> |
| B. | A tract or parcel of land proposed for PUD development must be in one (1) ownership or the subject of an application filed jointly by the owners of all property included. |
| Staff Comments | <i>The parcel is in one ownership- Blaine County. The County plans to deed the property to ARCH via Idaho Housing Finance Association. The deed will contain a reversionary clause should ARCH not complete the housing development.</i> |
| C. | Area Development Plan: |

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|-----------------------|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | C.1 | When the owner of Contiguous Parcels is required to obtain PUD approval for any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact: |
| Staff Comments | | <i>The entire site is proposed for PUD approval.</i> |
| ? | C.1.a | Streets, whether public or private, shall provide an interconnected system and be adequate to accommodate anticipated vehicular and pedestrian traffic. |
| Staff Comments | | <p><i>The architecture firm Ruscitto/Latham/Blanton designed both the Rodeo Grounds remodel and Campion Ice House. They are very familiar with the area and with circulation needs. The City of Hailey has entered into a new contract with RLB to study overall circulation in the area, including whole area of Main Street from Hailey Elementary to the Rodeo Grounds, Hailey Ice and Blaine Manor. This key gateway area has highway curves and congestion. With the amount of activity generated at Campion Ice, Skate Park, Visitor Center and Rodeo Grounds, the informal 20' fire access lane that leads westerly behind Hailey Ice and through the Blaine Manor site to Maple Street has become critical. It is used on a daily basis.</i></p> <p><i>It is preferred that the site be accessed via Maple Street as proposed, and not from the old curb cut on the curve of the Highway. This project and future development of the Blaine Manor site will increase traffic at the Maple Street/Highway 75 intersection.</i></p> <p><i>The Hailey Fire Marshall has stated in 2018 that the existing 20' fire access lane currently located on the eastern edge of Blaine Manor must be widened to 26' to accommodate the previously approved 30-unit housing complex. In addition, the existing fire access lane is in very poor condition and must be repaved. The need to repave and widen the fire land gave the City the opportunity to discuss its location and overall function within the area. RLB and City Staff recommend that a design close to a true city street will better accommodate this project, existing surrounding uses.</i></p> <p><i>Based on the revised site plan with two buildings, the proposed 48' partial street right of way is now located on the eastern property boundary adjacent to the Hailey Elementary ball fields. Maple Street will be completed on this side of the street with sidewalk and street trees. ARCH made a request to the Hailey URA in 2018, who has agreed to fund portions of this partial street right of way.</i></p> <p><i>The Fire Chief has indicated that a second egress out of the parking lot (to the east) is required. This has been shown on the revised plans. The secondary access is shown as an exit only to discourage cut-through traffic.</i></p> <p><i>The applicant has provided a traffic memo, attached to this report. 309 daily trips are projected. The report concludes that the intersection of Maple Street and Main Street will be at Level of Service F, primary due to delays in</i></p> |

| | |
|-----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | <p><i>northbound turns. No analysis has been provided of the north/south alley adjacent to the project. Staff believes this alley will have increased utilization as a result of this project. As noted in the report, connecting the project through the Campion Ice House/Rodeo Grounds complex will likely divert some traffic through the complex to the light at Highway 75 and Airport Way. This could accelerate the need for a true road through the complex; currently the existing parking lot will not serve through traffic efficiently.</i></p> <p><i>The Traffic memo states that the 309 daily trips are less than would be generated from commercial development of the property.</i></p> <p><i>A memo from Mountain Rides was reviewed at the last meeting. A bus stop has been added along Maple Street as outlined in the memo. This will service the Hailey circulator. Passengers northbound on the Valley Route will walk a block north on Main Street. Southbound travelers on the Valley Route disembark at DL Evans. A safe crossing of Main Street is an anticipated need in this area at Maple.</i></p> |
| C.1.b? | <p>Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</p> |
| Staff Comments | <p><i>There are numerous pedestrian connections in the area due to the close proximity of Hailey Elementary School, Campion Ice House, the Skate Park and the Rodeo Grounds, and other safe routes needed to get pedestrians from Hailey Elementary to the Campion Ice House and the Skate Park. This project will significantly increase pedestrian activity in the area. See comments above regarding the need for a safer Main Street crossing.</i></p> <p><i>Staff concurs with the curb, gutter, sidewalk and street trees included along the Maple Street frontage serving the 60-unit ARCH project. A connection from Hailey Elementary through to the Skate Park was planned as part of Pathways for People. Design and location have not yet been determined and will likely be part of a bigger area-wide study. The site plan contains an internal sidewalk system.</i></p> <p><i>At their February 27, 2020 public hearing, the Commission also indicated the need for a pedestrian-activated crosswalk near the project site (at Main Street and Maple Street). The Applicant agrees with the need for a crosswalk at this location; however, noted that financing for the installation of the crosswalk is beyond the scope of funding for the project.</i></p> |
| C.1.c | <p>Water main lines and sewer main lines shall be designed in the most effective layout feasible.</p> |
| Staff Comments | <p><i>Water and Sewer lines are analyzed in the Design Review staff report.</i></p> |
| C.1.d | <p>Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</p> |
| Staff Comments | <p><i>This standard will be met.</i></p> |

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|-----------------------|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ? | C.1.e | Park land shall be most appropriately located on the Contiguous Parcels. |
| Staff Comments | | <i>The site connects to a variety of parks and open space land. The City previously hoped to secure land for a future Scooter Park in the treed area of the Blaine Manor site adjacent to the existing Skate Park where the children's play area is shown. The City does not currently plan to expand the Scooter Park. See discussions elsewhere in this report regarding trees on the site.</i> |
| C.1.f | | Grading and drainage shall be appropriate to the Contiguous Parcels. |
| Staff Comments | | <i>A grading and drainage plan has been prepared.</i> |
| C.1.g | | Development shall avoid easements and hazardous or sensitive natural resource areas. |
| Staff Comments | | <i>N/A</i> |
| C.2 | | Upon any approval of the PUD application, the Owner shall be required as a condition of approval to record the Area Development Plan or a PUD agreement depicting and/or detailing the approved Area Development Plan. The Area Development Plan shall bind the Owner and Owner's successors. |
| Staff Comments | | <i>The Area Development Plan will be recorded, replacing the 2018 recorded plan.</i> |
| D. | | Solar Access: Street and lot orientation, landscaping, and placement of structures shall provide for solar access to all south roofs and walls to the maximum extent feasible in order to promote energy efficiency. |
| Staff Comments | | <i>The shape of the site does not allow for many options with regards to configuration of the buildings. Staff concurs with the buildings being located towards Main Street, with parking in the rear.</i> |
| E. | | Access: Access shall be provided in accordance with standards set forth in Chapter 16.04, Development Standards, of this Code. Buildings may not be so arranged that any structure is inaccessible to emergency vehicles. |
| Staff Comments | | <p><i>The Hailey Fire Marshall has stated that the existing 20' fire access lane currently located on the eastern edge of Blaine Manor must be widened to 26' paved area to accommodate a 60-unit housing complex. This has been shown as a partial street dedication, 48' in width. In addition, the existing fire access lane is in very poor condition and must be repaved.</i></p> <p><i>The right of way is shown at 48' to allow for snow storage. The City Engineer has recommended calling this dedication a partial road dedication. Complete dedication (60') may be possible at some time in the future in collaboration with the School District.</i></p> <p><i>At the February 27, 2020 public hearing, the Fire Chief also required, and the Commission indicated that a second egress from the parking lot, which should be on the east side, gaining direct access to the partial street right of way, be constructed.</i></p> <p><i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed and finds the revised proposal acceptable.</i></p> |

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|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|----------------------------------------------|
| F. | Underground Utilities: Underground utilities, including telephone and electrical systems, shall be required within the limits of all PUDs. | | | | |
| Staff Comments | <i>All utilities will be underground, including the existing power line on the south side of Maple Street.</i> | | | | |
| G. | Public Easement: In each case where a PUD project is located adjacent to public lands, a public easement to those lands shall be provided. All existing public accesses to public lands must be preserved. | | | | |
| Staff Comments | <i>While Blaine Manor is owned by the County, it is not “public” lands in the same manner as federally managed lands. The applicant proposes to dedicate a 48’ right of way to the City, which the City Engineer terms a partial street dedication.</i> | | | | |
| H. | Pathways: In each case where a PUD project encompasses a non-vehicular pathway as depicted on the Master Plan, a pathway constructed to City standards shall be provided. | | | | |
| Staff Comments | <p><i>There are numerous pedestrian connections in the area due to the close proximity of Hailey Elementary School, Campion Ice House, the Skate Park and the Rodeo Grounds. Additional safe routes are needed to get pedestrians from Hailey Elementary to the Campion Ice House and Skate Park. This project will significantly increase pedestrian activity in the area. See comments above regarding the need for a safer Main Street crossing.</i></p> <p><i>Staff concurs with the curb, gutter, sidewalk and street trees included along the Maple Street frontage serving the 60-unit ARCH project. A connection from Hailey Elementary through to the Skate Park was planned as part of Pathways for People. Design and location have not yet been determined and will likely be part of a bigger area-wide study. This project increases the need for thorough pedestrian study and safety in the area. The site plan contains an internal sidewalk system.</i></p> | | | | |
| I. | Amenities: Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the applicant, to ensure a public benefit: | | | | |
| | <table border="1"> <tr> <td data-bbox="365 1419 456 1837">I.1</td><td data-bbox="456 1419 1427 1837"> <p>Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public.</p> <p>Green space shall be set aside in accordance with the following formulas:</p> <table border="1"> <tr> <td data-bbox="527 1766 846 1837">For residential PUDs</td><td data-bbox="846 1766 1427 1837">A minimum of .05 acres per residential unit.</td></tr> </table> </td></tr> </table> | I.1 | <p>Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public.</p> <p>Green space shall be set aside in accordance with the following formulas:</p> <table border="1"> <tr> <td data-bbox="527 1766 846 1837">For residential PUDs</td><td data-bbox="846 1766 1427 1837">A minimum of .05 acres per residential unit.</td></tr> </table> | For residential PUDs | A minimum of .05 acres per residential unit. |
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| For residential PUDs | A minimum of .05 acres per residential unit. | | | | |

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| | | For non-residential PUDs | A minimum of 15% of the gross area of the proposed PUD. |
| Staff Comment | | <i>No amenities proposed to meet this standard.</i> | |
| | I.2 | Active Recreational Facilities: Active recreational facilities include amenities such as a swimming pool, tennis courts or playing fields, of a size appropriate to the needs of the development. The PUD agreement shall contain provisions requiring that such facilities be maintained in perpetuity, or replaced with another similar recreation facility. | |
| Staff Comment | | <i>No amenities proposed to meet this standard.</i> | |
| | I.3 | Public Transit Facilities: Public transit facilities include a weather protected transit stop or transit station, and must be located on a designated transit route. | |
| Staff Comment | | <p><i>Mountain Rides requested that the Applicant include accommodations for a Mountain Rides' bus stop, as follows:</i></p> <ol style="list-style-type: none"> <i>1. Integrate bus stop and infrastructure into the proposed Maple Street entrance/exit area (adjacent to the Senior Apartment Building).</i> <i>2. Placement of a Mountain Rides standard bus stop sign at the curb, without parking spaces, and to the east of the driveway.</i> <i>3. Placement of a poured concrete slab, 10' in length x 12' in width, adjacent to the bus stop sign. This slab may eventually accommodate a Mountain Rides standard, or approved alternative, bus stop shelter.</i> <i>4. The plans have been reconfigured to include the concrete slab, signage foundation and sleeve for future installation of a bus stop.</i> <p><i>The above will service the Hailey circulator, and has been incorporated into the plans.</i></p> <p><i>Passengers northbound on the Valley Route will walk a block north on Main Street. Southbound travelers on the Valley Route disembark at DL Evans. A safe crossing of Main Street is an anticipated need in this area at Maple.</i></p> | |
| ? | I.4 | Preservation Of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six inch (6") caliper on the site. | |
| Staff Comment | | <p><i>Very little vegetation is proposed for preservation.</i></p> <p><i>At the February 27, 2020 public hearing, the Commission suggested that the Applicant provide an Arborist Review specific to existing trees onsite, as well as consider retaining as many of the existing trees as possible. Revised Landscape Plans have been submitted (Sheets L1.0 and L1.1 of the Design Review drawings), which show several trees to be removed, protected and/or new trees to be planted. Approximately 43 trees are proposed to be removed. Several of the proposed trees to be removed are larger than six (6") inch caliper; thereby requiring an Arborist Review.</i></p> | |

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| | | <p><i>The Arborist Review is attached to the Design Review staff report.</i></p> <p><i>The Applicant is also proposing to retain all street trees along Highway 75. Additionally, a few existing, larger conifer trees will be retained and protected throughout the construction process. Several other large trees could potentially be saved in the parking lot, which contains stalls in excess of city requirements.</i></p> | | | | |
| | I.5 | Wetlands: Protection of significant wetlands area must constitute at least ten percent (10%) of the gross area of the proposed PUD. | | | | |
| Staff Comment | | N/A | | | | |
| | I.6 | River Enhancement: Enhancement of the Big Wood River and its tributaries, must include stream bank restoration and public access to or along the waterway. | | | | |
| Staff Comment | | N/A | | | | |
| | I.7 | Community Housing: For residential PUDs, the provision of at least thirty percent (30%) of the approved number of dwelling units or lots as community housing units affordable to households earning between fifty percent (50%) and one hundred twenty percent (120%) of the area median income, or the provision of at least twenty percent (20%) as community housing units affordable to households earning less than fifty percent (50%) of the area median income. | | | | |
| Staff Comment | | <i>The applicant is proposing to develop 60 community housing units, all except 3 market rate units and 2 manager units will be affordable units. At this time, 42.8% of Hailey households are renters as compared to 30.8% state wide. Also, 53.5% of Hailey renters are considered housing burdened (paying more than 30% of income for housing) as compared to 46.6% state wide. This housing will have long term, critically important positive impact on Hailey residents. Rents for these units will be affordable to households earning between 30% and 60% of AMI.</i> | | | | |
| | I.8 | Real Property: Dedication or conveyance of real property or an interest in real property to the city. | | | | |
| Staff Comment | | <i>The applicant proposes to convey a .27-acre parcel deeded to the city for a partial street dedication.</i> | | | | |
| | I.9 | Sidewalks. Off-site sidewalk improvements shall be constructed according to City Standard Improvement Drawings and provided (in addition to sidewalk improvements that are required by ordinance adjacent to the subject property) in accordance with the following formulas: <table><tr><td>For residential PUDs</td><td>A minimum of 100 linear feet per residential unit.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>A minimum of 100 linear feet per 1000 square feet of gross floor area.</td></tr></table> | For residential PUDs | A minimum of 100 linear feet per residential unit. | For non-residential or mixed-use PUDs | A minimum of 100 linear feet per 1000 square feet of gross floor area. |
| For residential PUDs | A minimum of 100 linear feet per residential unit. | | | | | |
| For non-residential or mixed-use PUDs | A minimum of 100 linear feet per 1000 square feet of gross floor area. | | | | | |

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| Staff Comment | | At this time, 240 linear feet of sidewalk are proposed on Maple Street, an additional 50 linear feet on Main Street and over 900 linear feet internally on-site. This equates to 1,190 linear feet. To meet this standard, 6,000 linear feet would be needed. | | | | | |
| | I.10 | Underground Parking: Underground parking must be provided for at least fifty percent (50%) of the required number of parking spaces in the PUD. | | | | | |
| Staff Comment | | The parking is all open surface parking; several carports are shown. | | | | | |
| | I.11 | Energy Consumption. All principal buildings within the PUD must comply with sustainable building practices, as follows: <table><tr><td>For residential PUDs</td><td>Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.</td></tr></table> | | For residential PUDs | Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification. | For non-residential or mixed-use PUDs | Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification. |
| For residential PUDs | Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification. | | | | | | |
| For non-residential or mixed-use PUDs | Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification. | | | | | | |
| Staff Comment | | The applicant has not indicated they will be applying for this standard. | | | | | |
| | I.12 | Other Amenities: Other project amenities and/or benefits to the community that are found, by recommendation of the commission and approval of the council, to promote the purpose of this chapter and the goals and objectives of the comprehensive plan. | | | | | |
| Staff Comment | | No other amenities are listed in the PUD narrative. A pedestrian-activated crosswalk at Main Street and Maple Street is a highly desirable amenity. | | | | | |
| 17.10.040: Developer Benefits: | | | | | | | |
| The Council may grant modifications or waivers of certain zoning and/or subdivision requirements to carry out the intent of this Chapter and the land use policies of the City. | | | | | | | |
| Staff Comment | | No waivers are requested other than density bonus, below. | | | | | |
| 17.10.040.01: DENSITY BONUS: | | | | | | | |
| A. | | The following maximum increases in density may be granted only if one of the following conditions are met, and if no other density increase has been granted: | | | | | |
| | A.1 | Ten percent (10%): Solar, wind, geothermal or other alternative renewable energy source will provide at least fifty percent (50%) of the total energy needs of the PUD. | | | | | |
| Staff Comment | | N/A | | | | | |
| | A.2 | Ten percent (10%): At least twenty five percent (25%) of the property included in the PUD is located in the floodplain and no development occurs within the floodplain. | | | | | |
| Staff Comment | | N/A | | | | | |

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| | A.3 | Ten percent (10%): The developer of the PUD provides or contributes to significant off site infrastructure benefiting the city (e.g., water tank, fire station). |
| Staff Comment | | <i>N/A</i> |
| | A.4 | Twenty percent (20%): The developer of the PUD provides or contributes to significant multi-modal infrastructure providing both vehicular and nonvehicular amenities benefiting the city and Wood River Valley. |
| Staff Comment | | <i>N/A</i> |
| | A.5 | Ten percent (10%): The nonresidential or mixed use PUD complies with leadership in energy and environmental design (LEED) standards for silver certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved. |
| Staff Comment | | <i>N/A</i> |
| | A.6 | Fifteen percent (15%): The nonresidential or mixed use PUD complies with leadership in energy and environmental design (LEED) standards for gold certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved. |
| Staff Comment | | <i>N/A</i> |
| | A.7 | Twenty percent (20%): The nonresidential or mixed use PUD complies with leadership in energy and environmental design (LEED) standards for platinum certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved. |
| Staff Comment | | <i>N/A</i> |
| B. | | Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015) |
| Staff Comment | | <i>The applicant is requesting a density bonus from 54 units to 60 units based on the fact that the project is 100% affordable housing.</i> <i>Business Zone Maximum Multi-Family Units per Acre- Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B for amenities and benefits to the community other than those listed in 17.10.040.01A. Staff concurs with the request.</i> |
| 17.10.040.02: Density Transfer: | | |
| Densities may be transferred between zoning districts within a PUD provided the resulting density shall be not greater than aggregate overall allowable density of units and uses allowed in the zoning districts in which the development is located. | | |
| Staff Comment | | <i>No density transfer is requested.</i> |
| 17.10.040.05: Phased Development Allowed: | | |
| The development of the PUD may be planned in phases provided that as part of the general submission, a development schedule is approved which describes: | | |
| A. | Parcels: The parcels that are to be constructed upon in each phase and the | |

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| | date of each phase submission. |
| Staff Comment | <i>The entire project will be constructed at one time.</i> |
| B. | Number of Units: The number of units to be built in each submission. |
| Staff Comment | <i>N/A.</i> |
| C. | Schedule For Completion: A schedule for making contributions (if any), for the completion of project amenities and public improvements, for posting of security pursuant to subsection 17.10.050.08 of this Chapter, for dedication of Green Space, for conveyance of community housing and/or provision of employee housing. |
| Staff Comment | <i>N/A.</i> |
| D. | Stage Planning: Each stage within the PUD shall be so planned and related to existing and/or planned services and facilities, including commercial space, such that each phase is self-sufficient and not dependent on later phases and so that failure to proceed to the subsequent stages will not have any adverse impacts on the PUD, its surroundings, or the community in general. Each stage shall also be planned so as to ensure that green space and any other amenities will be provided along with proposed construction at each phase of construction. |
| Staff Comment | <i>N/A.</i> |
| 17.10.040.06: Modifications to the Subdivision standards: | |
| Standards in the Subdivision Title for streets, sidewalks, alleys and easements, lots and blocks, and parks may be allowed. The requirements for sidewalks in the zoning districts set forth in Section 16.04.030 shall not be waived. | |
| Staff Comment | <i>Sidewalks are proposed along Maple Street for the project frontage. Sidewalks on Main Street are existing.</i> |
| Subsection 17.10.050.04(C) sets forth Standards of Evaluation required by the City Council. | |
| A. | Standards of Evaluation |
| | 1. The proposed development can be completed within one (1) year of the date of approval or phased according to a development schedule as submitted in accordance with Section 17.10.040.05 of this chapter and approved by the City; |
| Staff Comment | <i>The project has received federal funding, and construction will begin this year.</i> |
| ? | A.2 The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic; |
| Staff Comment | <p><i>The Hailey Fire Marshall has stated that the existing 20' fire access lane currently located on the eastern edge of Blaine Manor must be widened to 26' paved area to accommodate a 60-unit housing complex. This is proposed as a 48' partial street dedication. In addition, the existing fire access lane is in very poor condition and must be repaved. A second access out of the parking lot (to the east) has been added as requested.</i></p> <p><i>It is preferred that the site be accessed via Maple Street as proposed, and not from the old curb cut on the curve of the Highway. However, a second access is needed to meet fire code. This should be connected to the east.</i></p> |

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| | | <p><i>The applicant has provided a traffic memo, attached to the February 27, 2020 Staff Report. 309 daily trips are projected. The report concludes that the intersection of Maple Street and Main Street will be at Level of Service F, primary due to delays in northbound turns. No analysis has been provided of the north/south alley adjacent to the project. Staff believes this alley will be more heavily utilized to avoid northbound trip delays. As noted in the report, connecting the project through the Campion Ice House/Rodeo Grounds complex will likely divert some traffic through the complex to the light at Highway 75 and Airport Way. This could accelerate the need for a true road through the complex; currently the existing Campion/Rodeo Grounds parking lot will not serve through traffic efficiently.</i></p> <p><i>The City Engineer notes that a traffic light at Elm Street, a road to complete the partial street dedication and a pedestrian-activated signal across Main Street at Maple Street will be needed in the future to serve this area.</i></p> |
| | A.3 | The PUD will not create excessive additional requirements at public cost for public facilities and services; |
| Staff Comment | | <i>Redevelopment of the entire Blaine Manor property places additional demands on area circulation. To implement the suggested vehicular/pedestrian connection to the east, the City will need to negotiate with the Blaine County School District. These conversations have been initiated.</i> |
| | A.4 | The existing and proposed utility services are adequate for the population densities and non-residential uses proposed; |
| Staff Comment | | <i>Utility services available in the area are adequate</i> |
| ? | A.5 | The development plan incorporates the site's significant natural features; |
| Staff Comment | | <i>The project proposes to remove a significant number of trees, including replacing all of the existing street trees. Staff notes that a number of the tree clusters in the parking lot could be retained. The Tree Committee will review the project on March 12, 2020. An Arborist Report is required as part of the Design Review approval and has been submitted.</i> |
| | A.6 | Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner; |
| Staff Comment | | <i>N/A; the project is not phased.</i> |
| | A.7 | One or more amenities as set forth in subsection 17.10.030I of this chapter shall be provided to ensure a public benefit; |
| Staff Comment | | <i>See section I in this report.</i> |
| | A.8 | All exterior lighting shall comply with the standards set forth in subsection 17.08C of this chapter; and |
| Staff Comment | | <i>All exterior lighting will be compliant.</i> |
| | A.9 | The proposed PUD Agreement is acceptable to the applicant and the City. |
| Staff Comment | | <i>The City Attorney is amending the previously adopted PUD Agreement.</i> |

Summary and Suggested Conditions

Summary and Suggested Conditions: The Commission shall conduct a public hearing and review the Application, all supporting documents and plans, and recommendations of City Staff, in making their recommendation to the Council. In any public hearing on a PUD Application, the presiding officer may order the hearing to be continued for up to thirty (30) days at the same place, in which case no further published notice shall be required.

1. The project shall receive Planned Unit Development approval subject to the conditions outlined in the PUD Development Agreement.
2. A waiver is hereby granted to the Business Zone Maximum Multi-Family Units per Acre- Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. A waiver is hereby granted allowing for 25.5 units per acre under Chapter 17.10.040.01B.
3. The landscape plan shall promote a low water use landscape through the use of drought tolerant plants either from an approved list or as recommended by a landscape design professional. The irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.
4. Thirty (30) units shall be reserved for and occupied by qualifying seniors and thirty (30) units for income qualified family households. The project shall be permitted to have three (3) market rate units and two manager units (one per building). The remaining twenty-six (26) units shall be affordable to households earning between 30-60% of the area median income.
5. 8. Lot 3, Block 1 of the Wertheimer Park Subdivision is encumbered by a Development Agreement set forth in Instrument No. 596639, records of Blaine County, Idaho (the 2012 Development Agreement). The parties hereto agree that this Planned Unit Development Agreement shall supersede and control over any provisions in the 2012 Development Agreement.

Motion Language:

Approval:

Motion to approve the Planned Unit Development (PUD) Application for Blaine Manor Senior Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park), for thirty (30) senior housing units and thirty (30) family units on two lots, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Conditions 1-3 above.

Denial:

Motion to deny the Planned Unit Development (PUD) Application for Blaine Manor Senior Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park), for thirty (30) senior housing units and thirty (30) family units on two lots, finding that the project does not meet the standards under Section 17.10 of the [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the Planned Unit Development (PUD) Application for Blaine Manor Senior Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park), for thirty (30) senior housing units and thirty (30) family units on two lots, to the Commission should specify a date].

PLANNED UNIT DEVELOPMENT AGREEMENT

BLAINE MANOR COMMUNITY (AFFORDABLE SENIOR AND FAMILY HOUSING)

This **PLANNED UNIT DEVELOPMENT AGREEMENT** (“Agreement”) is entered into this _____ day of _____, by and between the **CITY OF HAILEY** (“City”) and **ARCH COMMUNITY HOUSING TRUST** (“ARCH”) in contemplation of the following:

I. RECITALS

1. Arch Community Housing Trust, Inc., (ARCH) is an Idaho Non-Profit Corporation organized under the laws of the State of Idaho in the business of providing affordable housing to low and moderate individuals and households. ARCH is certified as a Community Housing Development Organization (CHDO) by the Idaho Housing Finance Association and is acting in that capacity as the developer of the Blaine Manor Senior Community and Blaine Manor Family Community on land to be deeded to IHFA who will in turn deed the property to ARCH, as more fully described below. ARCH and Blaine County are desirous of implementing a Planned Unit Development (PUD) on property described below for the creation of a 30-unit, income restricted senior housing community and a 30 unit income restricted family community (Project).

The property (the “Property”) subject to this Agreement is more particularly described as follows:

Lot 3, Block 1, Wertheimer Park, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded on the 17th day of April, 2012, as Instrument No. 596638, records of Blaine County, Idaho.

The Property is also described in the PUD Application and is presently zoned Business and is subject to City’s Municipal Code, including Zoning and Subdivision Regulations;

2. The City’s Planning and Zoning Commission and City Council have held the required public hearings, accompanied with proper notice, with respect to the PUD Application; and
3. City approved the ARCH’s PUD Application on March 16, 2020, and adopted Findings of Fact and Conclusions of Law on April 6, 2020;
4. In order to ensure that the housing units are constructed consistent with City’s applicable ordinances and regulations, the City, and ARCH deem it in their mutual interest to enter into an agreement with regard to the future use of the property, the manner and timing of construction, construction and landscaping of the Property and other factors affecting the general health, safety and welfare of the citizens of City and users of the Project and Property;
5. The Property shall be developed substantially in accordance with City’s Comprehensive Plan, Zoning and Subdivision Ordinances, City’s Standards and other applicable City ordinances and the terms and conditions of this Agreement;
6. City, and ARCH desire that construction of the Project and subdivision of the property proceed as approved by City’s City Council as set forth in the Findings of Fact and Conclusions of Law adopted by the City Council; and

7. The Blaine Manor Community PUD Application is consistent with the housing and other sections of City's Comprehensive Plan.

NOW, THEREFORE, IN CONSIDERATION of the above recitals which are incorporated below, and of the mutual covenants and agreements herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the parties agree as follows:

II. AGREEMENT

- A. **Description and Location of Property.** The total Property, a single lot, encompassed within the PUD Application is approximately 2.7 acres, zoned Business ("B"), and has been approved by the City for the purposes of this Agreement as a Planned Unit Development, subject to certain conditions, in accordance with the Hailey Municipal Code Chapter 17.10.
- B. **Subdivision, Future Use, Construction of Improvements and Amenities.** The parties agree that the current single lot shall be subdivided into two (2) blocks, Block 1 consisting of the senior development parcel, and Block 2 for family housing. On the newly created Lots 1, Blocks 1 and 2, ARCH agrees to construct the deed restricted project in accordance with this Agreement, and the City's approval of the ARCH PUD Application and the drawings and site plans submitted with the instant PUD Application.

The following improvements and amenities of the Project shall be installed and constructed by ARCH, to City specification, in a single phase:

1. A 30-unit three story apartment building to be utilized for income restricted affordable senior housing and one unit used as a manager unit,
 2. A 30-unit three story apartment building to be utilized for income restricted affordable family housing.
 3. 95 parking spaces constructed at grade.
 4. Other landscape improvements and project amenities as shown on the plans dated February 14, 2020.
- C. **Zoning Ordinance Waivers.** The City agrees to provide the following waivers to the City of Hailey Zoning Ordinance:
1. Section 17.10.040.02 allows for a density increase with the provision of affordable housing.
- D. **PUD Approval.** The PUD approval is granted subject to the following conditions:
1. The project shall receive Planned Unit Development approval subject to the conditions outlined in the PUD Development Agreement.
 2. A waiver is hereby granted to the Business Zone Maximum Multi-Family Units per Acre- Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. A waiver is hereby granted allowing for 25.5 units per acre under Chapter 17.10.040.01B.
 3. The landscape plan shall promote a low water use landscape through the use of drought

tolerant plants either from an approved list or as recommended by a landscape design professional. The irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.

4. Thirty (30) units shall be reserved for and occupied by qualifying seniors and thirty (30) units for income qualified family households. The project shall be permitted to have three (3) market rate units and two manager units (one per building). The remaining twenty-six (56) units shall be affordable to households earning between 30-60% of the area median income.
5. Lot 3, Block 1 of the Wertheimer Park Subdivision is encumbered by a Development Agreement set forth in Instrument No. 596639, records of Blaine County, Idaho (the 2012 Development Agreement). The parties hereto agree that this Planned Unit Development Agreement shall supersede and control over any provisions in the 2012 Development Agreement.

III. GENERAL REQUIREMENTS

- A. **Property Maintenance.** ARCH shall be responsible, at its sole expense, in perpetuity, for all maintenance of the ARCH development parcel common area, including maintaining all landscaping, irrigation systems, parking and drainage systems.
- B. **Police Powers.** Except as otherwise provided, nothing contained herein is intended to limit the police powers of City. Except as provided herein, this Agreement shall not be construed to modify or waive any law, ordinance, rule, or regulations, including, without limitation, applicable building codes, fire codes, City's Zoning Ordinance, City's Subdivision Ordinance, and Planned Unit Development requirements for the Property.
- C. **Specific Performance.** In addition to all other remedies at law or in equity, this Agreement shall be enforceable by specific performance by either party hereto. All remedies shall be cumulative.
- D. **Dispute Resolution.** Any controversy or claim arising out of or relating to this Agreement or breach thereof, shall first be submitted to mediation in accordance with the American Arbitration Association Commercial Mediation Rules. Mediation shall be held in Blaine County. This Agreement to mediate and any other agreement or consent to mediate entered into in accordance with this Agreement shall be specifically enforceable under the prevailing law of Idaho. Each party shall bear its own costs and the parties shall split equally the cost and expenses of the mediator.
- E. **Relationship of Parties.** It is understood that the contractual relationship between City and ARCH is such that no party is the agent, partner, or joint venture of any other party.
- F. **Successor and Assigns; Covenant Running With the Land.** This Agreement shall inure to the benefit of City and ARCH, their respective heirs, successors and assigns. This Agreement, including all covenants, terms, and conditions set forth herein, shall be and is hereby declared a covenant running with the land with regard to the Property or any portion thereof, and is binding on both parties to this Agreement as well as their respective heirs, successors and assigns.
- G. **No Waiver.** In the event that City, or ARCH, or its successors or assigns, do not strictly comply with any of the obligations and duties set forth herein, thereby causing a default under this Agreement, any forbearance of any kind that may be granted or allowed by ARCH, or its

successors in interest, or City, to any other party under this Agreement shall not in any manner be deemed or construed as waiving or surrendering any of the conditions or covenants of this Agreement with regard to any subsequent default or breach.

- H. **Partial Invalidity.** In the event any portion of this Agreement shall be determined by any court of competent jurisdiction to be invalid, void, or otherwise unenforceable, the remaining provisions of this Agreement, or parts hereof, shall remain in full force and effect and shall in no way be affected, impaired or invalidated, it being understood that such remaining provisions shall be construed in a manner most closely approximating the intention of the parties with respect to the invalid, void, or unenforceable provision or part hereof.
- I. **Entire Agreement.** This Agreement constitutes the full and complete agreement and understanding between the parties hereto. No representations or covenants made by any party shall be binding unless contained in this Agreement or subsequent written amendments hereto.
- J. **No Third Party Beneficiaries.** This Agreement is not intended, nor shall it be deemed or construed, to create or confer any rights upon third parties.
- K. **Authority.** Each of the persons executing this Agreement represents that they have lawful authority and authorization to execute this Agreement, as well as any other documents required hereunder, for and on behalf of the entity executing this Agreement.
- L. **Default.** In the event either City, or ARCH, its successors and assigns, fail to faithfully comply with all the terms and conditions included in this Agreement it shall be in breach of this Agreement.
- M. **Notices.** Any and all notices, demands, requests, and other communications required to be given hereunder by either of the parties hereto shall be in writing and be deemed properly served or delivered, if delivered by hand to the party to whose attention it is directed, or when sent, two (2) days after deposit in the U.S. mail, postage prepaid, or upon the sending of a facsimile, followed by a copy sent by U.S. mail as provided herein, addressed as follows:

To City:

The City of Hailey
c/o Director, Planning Department
115 Main Street South, Suite H
Hailey, Idaho 83333
208/788-4221 (telephone)
208/788-2924 (facsimile)

To ARCH:

ARCH Community Housing Trust, Inc.
Executive Director
P. O. Box 1272
Ketchum, Idaho 83340
208/726-4411 (telephone)

or at such other address, or facsimile number, or to such other party which any party entitled to receive notice hereunder designates to the other in writing as provided above.

- N. **Time is of the Essence.** The parties hereto acknowledge and agree that time is strictly of the essence with respect to each and every term, condition and provision hereof, and that the failure to timely perform any of the obligations hereunder shall constitute a breach of and a default under this Agreement by the party so failing to perform.

IN WITNESS WHEREOF, the parties, having been duly authorized, have hereunto caused this Agreement to be executed, on the day and year first above written, the same being done after public hearing, notice and statutory requirements having been fulfilled.

CITY OF HAILEY, an Idaho municipal corporation

By: _____
Martha Burke, Mayor
City of Hailey

ATTEST:
By: _____
Mary Cone, Deputy City Clerk
City of Hailey

ARCH Community Housing Trust, Inc., an Idaho Non-Profit Corporation

By: _____
Michelle Griffith, Executive Director

STATE OF IDAHO)
) ss.
County of Blaine)

On this ____ day of April, 2020, before me, _____, a Notary Public in and for said State, personally appeared Martha Burke, Hailey Mayor, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in said name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public for Idaho
Residing at _____

My commission expires _____

STATE OF IDAHO)
) ss.
County of Blaine)

On this _____ day of April, 2020, before me, _____, a Notary Public in and for said State, personally appeared Michelle Griffith, the Executive Director of ARCH Community Housing Trust, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same on behalf of the Non-Profit Corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public for Idaho
Residing at _____
My commission expires _____

For drawings,
see ARCH
Blaine Manor
Design Review

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 30, 2020

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Continuation of a Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building. The Senior Apartment Building will consist of thirty (30) apartment units and the Family Apartment Building will consist of thirty (30) apartment units, for a total of sixty (60) apartment units. This project will be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

Hearing: March 30, 2020

Applicant: Blaine County represented by ARCH Community Housing Trust

Request: Design Review approval of a 30-unit Senior Apartment Building (35,822 sq. ft. in size) and a 30-unit Family Apartment Building (36,633 sq. ft. in size)

Location: 706 South Main Street (Lot 3A, Block 1, Wertheimer Park)

Zoning: Business (B) and Townsite Overlay (TO)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 5, 2020, and mailed to property owners within 300 feet, as well as public agencies, on February 4, 2020. The project was continued on the record to March 16, 2020. On March 16, 2020 the project was continued on record to March 30, 2020.

Application: ARCH Community Housing and Blaine County are applying for a Planned Unit Development (PUD) Application, a Design Review Application and a Preliminary Plat Application for Blaine Manor Senior Community Housing and Blaine Manor Family Community Housing, to be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park). The project will consist of a Senior Apartment Building, three-stories in height, thirty (30) units in total, and a Family Apartment Building, three-stories in height, thirty (30) units in total. The two buildings will be 72,455 square feet in size and the following are proposed:

Senior Apartment Building:

- Eighteen (18) one-bedroom units

- Twelve (12) two-bedroom units
- Units range in size from 691 square feet to 908 square feet
- Fifty-One (51) parking spaces (including 30 carport spaces)
- Outside Patio Area

Family Apartment Building:

- Eighteen (18) two-bedroom, one-bath units
- Twelve (12) three-bedroom, two-bath units
- Units range in size from 914 square feet to 1,247 square feet
- Forty-Four (44) parking spaces
- Children's Outdoor Play Area

At the February 27, 2020 public hearing, the Planning and Zoning Commission discussed the project, but continued the item to March 16, 2020, with the following feedback to the Applicant:

1. **Consider retaining as many of the existing trees as possible.** The Landscape Plan has been revised to preserve as many of the existing trees as possible. Please refer to Section 17.06.080(A)1b for further details.
2. **Consider using ground source heat pumps for heating/cooling of the buildings.** Upon further research of ground source heat pumps, the Applicant found that the pumps are much more expensive than the high-efficiency systems proposed. Furthermore, the Applicant found that the return on investment is approximately 10 to 15 years. Currently, the Applicant does not have the budget to pursue ground source heat pumps at this time.
3. **Provide more color variation and vertical modulation with exterior materials.** Revised exterior elevations and additional accent colors have been provided and are described herein.
4. **Examine the structural integrity of the proposed carports and redesign, if necessary.** The Applicant intends to provide Structural Calculations for the proposed carports at the time of Building Permit submittal. These calculations will be reviewed for compliance of all City Standards.
5. **Provide an additional site access.** The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed and is comfortable with the revised proposal.
6. **Provide an Arborist Review specific to existing trees onsite.** The Arborist Review is attached to this report.
7. **Consider utilizing other materials in-lieu of the vinyl fencing proposed.** The Site Plan has been revised to show that most fencing, previously proposed, has been removed. Wrought iron fencing will remain around outdoor/play areas for safety. Trash enclosures, previously designed with vinyl fencing, are located behind each building and are screened from view by a six (6') foot tall CMU fence with a metal gate.
8. **Consider providing RV parking opportunities onsite.** The Applicant does not intend to allow for RV parking onsite.
9. **Plan for a Mountain Rides Bus Stop.** A Mountain Rides Bus Stop will be integrated along Maple Street. This bus stop will include standard Mountain Rides signage and a concrete slab, 10' in

length x 12' in width, to eventually accommodate a standard, or approved alternative, bus stop shelter.

- 10. Consider installing a crosswalk near the project site (at Main Street and Maple Street).** The Applicant agrees that there is a need for this; however, noted that financing for the installation of the crosswalk is beyond the scope of funding for the project.

Additionally, the Applicant has submitted a Preliminary Plat Application, which will be heard at a later date, and a Planned Unit Development (PUD) Application. A PUD is requested, which would allow the Applicant to increase the density from 54 units to 60 units. Please refer to the PUD Staff Report for further analysis.

Procedural History: The Application was submitted on December 20, 2019, and certified complete on January 2, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on March 16, 2020, in the Hailey City Council Chambers. On March 16, 2020 the project was continued on record to March 30, 2020.

| General Requirements for all Design Review Applications | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | <p>Public Works Department: The Public Works Department has reviewed the revised Civil and Landscape Plans and has noted the following:</p> <ol style="list-style-type: none"> 1. All Construction shall be in conformance with City of Hailey Specifications and Standard Drawings or ISPWC for public infrastructure. 2. Final Designs must be submitted and approved by the City prior to any construction. 3. A Preconstruction Meeting will be required. <ol style="list-style-type: none"> a. Is this a subdivision or Site development plan? If a Subdivision is pending, see City Code below. If not a subdivision, appropriate permits must be submitted and fees assessed prior to construction: <p>16.03.020:E. Improvements: Following preliminary plat approval, the applicant shall install improvements as required under Chapter 16.05 of this title and by the commission, hearing examiner, or council. A separate fee for inspection of improvements by city personnel shall be paid by the developer before the final plat is recorded or any posted security released. Before the inspection, the developer shall provide the city with the cost estimate of the subdivision improvements that require inspection by city personnel. Upon review and approval of the cost estimate by the city engineer, the developer shall pay to the city of Hailey one thousand dollars (\$1,000.00) or one and one-half percent (1.5%) of the estimated cost, whichever is greater, as a fee for the</p> |

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| | | | | <p style="text-align: center;"><i>inspection of the subdivision improvements and other related services. (Ord. 1191, 2015)</i></p> <p>4. <i>The City intends to store snow within the Maple Street right-of-way where parking spaces are currently shown east of the northern site entrance, and also within the public alley right-of-way. Any landscape damage as a result of this activity will be the responsibility of the property owner to repair, and a note as such should be added to any pending plat. An additional plat note should state that snow from private property is not allowed to be stored on public property.</i></p> <p>5. <i>While street trees within the public alley are aesthetically pleasing, proper placement is required to avoid snow removal conflicts. The City Road grader has the ability to “wing” snow approximately 12’ from the edge of pavement. Please setback all trees/shrubs so the face of the mature tree is no closer than 12’ from the edge of pavement, or preferably an additional foot to prevent damage to the tree. This has been met. The street trees along Maple Street have been setback approximately 15’ from edge of asphalt.</i></p> |
| | | | | <p>Life/Safety: <i>At the February 27, 2020 public hearing, the Hailey Fire Chief required and the Commission indicated that a second egress from the parking lot, which should be on the east side, gaining direct access to the Partial Street Right-of-Way, be constructed.</i></p> <p><i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20’ in width and an ‘Exit Only’ access point. The Hailey Fire Chief has reviewed the revised proposal and finds it to be acceptable.</i></p> |
| | | | | <p>Water and Sewer: <i>The Water and Wastewater Divisions have reviewed the revised Civil and Landscape Plans and have noted the following:</i></p> <p>Water Division:</p> <ol style="list-style-type: none"> 1. <i>Detail Sheets:</i> <ol style="list-style-type: none"> a. <i>Water Service graphic detail is not the same as current City standard drawing. Please review all details for compliance or replace with reference to adopted details</i> 2. <i>Remove any abandoned water services or water mains at main line connection.</i> 3. <i>The City will need access to the meter split from the combined fire/potable line within the anticipated mechanical room. If a plat is pending, an easement or agreement for such will be required.</i> <p>Wastewater Division:</p> <ol style="list-style-type: none"> 1. <i>Remove or cap as directed by the City, any existing sewer mains or services to be abandoned.</i> 2. <i>Instead of constructing a new sewer service for the northern building, use the existing sewer service connecting near manhole out of northern alley.</i> |
| | | | | <p>Building: <i>No comments</i></p> |
| | | | | <p>Streets: <i>The Streets Division has reviewed the revised Civil and Landscape Plans and has noted the following:</i></p> <ol style="list-style-type: none"> 1. <i>Construction Staging Plan shall be provided at final design.</i> 2. <i>Traffic Control Plan shall be provided at final design.</i> 3. <i>Pedestrian Traffic Control Plan shall be provided for all sidewalk closures.</i> |

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| | | | | <ol style="list-style-type: none"> 4. <i>The street light along Main Street, at the northern end, should be removed, not retained.</i> 5. <i>At the southeast corner of Main Street and Maple Street:</i> <ol style="list-style-type: none"> a. <i>The valve box shown within the new sidewalk area shall be traffic rated</i> b. <i>The area between the pedestrian ramp and the first 90° parking stall shall be striped and delineated as “No Parking”</i> 6. <i>On Maple Street:</i> <ol style="list-style-type: none"> a. <i>Drywell street cut for S05a shall be extended to sewer service street cut, if service remains as proposed</i> b. <i>All areas between the 90° parking and project entrance, public alley, etc., shall be striped and delineated as “No Parking”</i> c. <i>Signage shall be installed behind sidewalk for “No Parking/Snow Route”, per City Design (R7-203)</i> 7. <i>Signage shall be provided along public alley, same as Maple Street “Snow Route”, installed at two locations.</i> 8. <i>Curb at east end of Maple Street needs transition to flush.</i> 9. <i>ITD Permits are required for all curb/sidewalk work within State Right-of-Way; asphalt patch per ITD Specifications.</i> 10. <i>Street trees along Main Street:</i> <ol style="list-style-type: none"> a. <i>City Irrigation System will need to be located and bubblers disconnected at trees to be removed for any disturbance in this area (this line will continue onto other properties).</i> b. <i>Any damage to the City Irrigation System must be repaired by the Contractor, and City should be called for inspection of said system after completion of work</i> c. <i>Because the development will install an onsite irrigation system for their irrigable areas behind the curb lines, we recommend using their system to irrigate all street trees on the property frontage or its frontage.</i> d. <i>The development should be responsible for the care of all street trees, with the exception of individual tree holiday lighting</i> e. <i>We request the Developer install 1.25” conduit with electrical for all street trees and connect to the same power source as the street lights. Details shall be provided at final design.</i> 11. <i>Street lights along Main Street:</i> <ol style="list-style-type: none"> a. <i>Power details shall be provided.</i> 12. <i>Detail Sheets:</i> <ol style="list-style-type: none"> a. <i>General note – Details must be compliant and referenced to City of Hailey Standard Drawings or ISPWC where pertinent for public infrastructure, and said details shall supersede details shown on sheets if conflicts are identified</i> b. <i>Add Maple Street Typical widening detail 18.14.012.G</i> c. <i>Remove detail 1C4 and replace with 18.14.012.F.2 or reference thereto</i> d. <i>Details 2&3C4, for areas within the public right-of-way, need to reference ISPWC SD-701 & 709</i> e. <i>Detail 6C4 needs to reference COH 18.14.014D</i> f. <i>Example detail references: Detail 10C4 = SD-XX, Detail 4C5= SD-XX</i> |
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| | | | | <p>City Arborist/Parks: <i>The City Arborist recommends the following be revised:</i></p> <ul style="list-style-type: none"> - Removal of all Ash Trees from the proposed Landscape Plans - Consider retaining more Conifer Trees currently proposed for removal <p><i>Additionally, the Hailey Tree Committee is scheduled to meet and discuss the project on March 12, 2020. Additional comments from the City Arborist and the Hailey Tree Committee, including any recommendations made, will be brought to the hearing on March 16, 2020.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> |
| | | | Staff Comments | <p><i>No signage is proposed at this time; however, any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> |
| | | | Staff Comments | <p><i>Per the Hailey Municipal Code, Multifamily Dwellings are required to provide at least 1.5 onsite parking spaces. That said, residential units smaller than 1,000 square feet in size are only required to provide one (1) parking space per unit.</i></p> <p><i>The project is comprised of two, three-story apartment buildings. Each building will have 30 residential units, 60 residential units in total. Of these, forty-eight (48) residential units will be less than 1,000 square feet in size; thereby, requiring a total of 48 onsite parking spaces. The remaining twelve (12) residential units are larger than 1,000 square feet in size; thereby, requiring a total of 18 onsite parking spaces. A total of 66 onsite parking spaces are required.</i></p> <p><i>The site plan shows a total of 95 onsite parking spaces: fifty-one (51) onsite parking spaces for the Senior Apartment Building and forty-four (44) onsite parking spaces for the Family Apartment Building. Additionally, twelve (12) off-street parking spaces (along Maple Street) are also proposed.</i></p> <p><i>Parking requirements for the proposed project are met (note that since there is excess parking above requirements, a few spaces could be lost in order to save some of the onsite trees).</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.040.06: Excess of Permitted Parking | <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> |
| | | | Staff Comments | <p><i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> 1. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> i. Overlighting; ii. Energy waste; iii. Glare; iv. Light Trespass; v. Skyglow. |

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| | | | | <p>2. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>3. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>4. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p> |
| | | | Staff Comments | <i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. Cut Sheets, an Electrical Site Plan and a Photometric Plan are attached.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | Business (B) and Townsite Overlay (TO) Zoning Districts: |
| | | | Staff Comments | <p><i>Building Height:</i></p> <ul style="list-style-type: none"> - Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable building height is 40'). - Proposed Building Height for both the Senior and Family Apartment Buildings: 37'-10" (screened mechanical equipment extends beyond that height, as shown on the elevations). <p><i>Building Setbacks:</i></p> <ul style="list-style-type: none"> - Permitted Setbacks: <ul style="list-style-type: none"> o Front Yard: 0' o Side Yards: 0' o Rear Yard: 0' - Proposed Setbacks for the Senior Apartment Building: <ul style="list-style-type: none"> o Front Yard: 3'-10" o Side Yard (north): 15' o Side Yard (south): 50' o Rear Yard: ~52' - Proposed Setbacks for the Family Apartment Building: <ul style="list-style-type: none"> o Front Yard: 15' o Side Yard (north): 24' o Side Yard (south): 11'-5" o Rear Yard: ~55' <p><i>All setback and building height requirements have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein. |
| | | | Staff Comments | <p><i>A new 6'-wide sidewalk is shown along Maple Street, which connects to the existing sidewalk along Highway 75. New 5'-wide sidewalks are also proposed around each of the buildings, which connects to the existing sidewalk along Highway 75 and to accessible parking stalls. No sidewalks are proposed along the Public Alley Right-of-Way at this time.</i></p> <p><i>A Drainage Plan has been submitted, prepared by a registered engineer. Drainage appears to be adequate for the site, but will be reviewed at final design.</i></p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(B) Required Water System Improvements | In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer. |
| | | | Staff Comments | <i>This standard shall be met.</i> |

**Design Review Requirements for Non-Residential, Multifamily,
and/or Mixed-Use Buildings within the City of Hailey**

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1a | <p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i></p> <p><i>The proposed buildings follow the grid pattern in this portion of downtown Hailey. An outdoor play area is proposed behind the proposed Family Apartment Building. A common area is also proposed to the south of the Family Apartment Building. Both exterior spaces are usable and can be safely accessed by residents of the Family Apartment Building.</i></p> <p><i>Similarly, a covered outdoor seating area is proposed at the north side of the Senior Apartment Building. Residents of the Senior Apartment Building can safely access this area. The proposed spaces, though compact, will encourage and create usable outdoor spaces for residents and visitors alike.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1b | <p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i></p> <p><i>At the February 27, 2020 public hearing, the Commission suggested that the Applicant provide an Arborist Review specific to existing trees onsite, as well as consider retaining as many of the existing trees as possible. Revised Landscape Plans have been submitted (Sheets L1.0 and L1.1), which show several trees to be removed, protected and/or new trees to be planted. Approximately 43 trees are proposed to be removed. Several of the proposed trees to be removed are larger than six (6") inch caliper; thereby requiring an Arborist Review.</i></p> <p><i>The Arborist Review is attached to this report.</i></p> <p><i>The Applicant is also proposing to retain all street trees along Highway 75. Additionally, a few existing, larger conifer trees will be retained and protected throughout the construction process. The Hailey Tree Committee will make</i></p> |

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| | | | | <p><i>recommendations regarding the number of trees proposed for retention, as well as the overall health of the street trees.</i></p> <p><i>The revised Landscape Plans show trees to be relocated, new trees to be planted, as well as Plant Material Lists for the proposed landscaping. The Plant Material List for the site includes:</i></p> <ul style="list-style-type: none"> - 10 Flame Amur Maple Trees of 2.5" caliper - 12 Serviceberry Trees of 4" caliper - 8 Autumn Purple Ash Trees of 2.5" caliper - 4 Skyline Thornless Honey Locust Trees of 2.5" caliper - 15 Crimson Pointe Flowering Plum Trees of 3" caliper - 8 Chanticleer Pear Trees of 4" caliper <p><i>Shrubs and other Ground Covers include:</i></p> <ul style="list-style-type: none"> - 243 Feather Reed Grass of 2 gallons - 20 Tatarian Dogwood of 5 gallons - 71 Arctic Fire Dogwood of 2 gallons - 134 Creeping Mahonia of 2 gallons - 32 Russian Sage of 1 gallon - 18 Minnesota Snowflake Mock Orange of 2 gallons - 25 Diablo Purple Ninebark of 2 gallons - 31 Mugo Pine of 5 gallons - 54 Gro0Low Fragrant Sumac of 2 gallons <p><i>The project is proposing a total of 57 trees, which is a reduction from the Applicant's initial proposal of 79 trees. Per Section 17.06.080(4)d, all newly landscaped areas having more than ten (10) trees, a minimum of ten percent (10%) of the trees shall be at least four-inch (4") caliper, twenty percent (20%) of the trees shall be at least three-inch (3") caliper, and twenty percent (20%) of the trees shall be at least two and one-half inch (2 ½") caliper.</i></p> <p><i>The Applicant is proposing that 20 trees be a minimum of four-inch (4") caliper, which exceeds the minimum requirement that ten percent (10%), or a total of five (5) trees, be at least four-inch (4") caliper.</i></p> <p><i>The Applicant is also proposing that 15 trees be a minimum of three-inch (3") caliper, which exceeds the minimum requirement that twenty percent (20%), or a total of 11 trees, be at least three-inch (3") caliper.</i></p> <p><i>Furthermore, the Applicant is proposing that 22 trees be a minimum of two-and-one-half-inch (2 ½") caliper, which exceeds the minimum requirement that twenty percent (20%), or a total of 11 trees, be at least two-and-one-half-inch (2 ½") caliper.</i></p> <p><i>The Hailey Tree Committee is scheduled to meet and discuss the project on March 12, 2020. Additional comments from the City Arborist and the Hailey Tree Committee, including any recommendations made, will be brought to the hearing on March 16, 2020.</i></p> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1c | <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> |

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| | | | Staff Comments | <p><i>Site circulation has been designed to provide vehicular access and parking to the parking lot off of Maple Street. At the February 27, 2020 public hearing, the Fire Chief required and the Commission indicated that a second egress from the parking lot, which should be on the east side, gaining direct access to the Partial Street Right-of-Way, be appropriate for the use.</i></p> <p><i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed the revised proposal and finds it to be acceptable.</i></p> <p><i>Six -foot (6') wide sidewalks are also proposed along Maple Street, which connects to the existing sidewalk along Highway 75. New 5'-wide sidewalks are proposed around each of the buildings, which connects to the existing sidewalk along Highway 75 and to accessible parking stalls. No sidewalks are proposed along the Public Alley Right-of-Way at this time.</i></p> <p><i>Additionally, Mountain Rides requested that the Applicant include accommodations for a Mountain Rides' bus stop, as follows:</i></p> <ol style="list-style-type: none"> <i>1. Integrate bus stop and infrastructure into the proposed Maple Street entrance/exit area (adjacent to the Senior Apartment Building).</i> <i>2. Placement of a Mountain Rides standard bus stop sign at the curb, without parking spaces, and to the east of the driveway.</i> <i>3. Placement of a poured concrete slab, 10' in length x 12' in width, adjacent to the bus stop sign. This slab may eventually accommodate a Mountain Rides standard, or approved alternative, bus stop shelter.</i> <i>4. The plans have been reconfigured to include the concrete slab, signage foundation and sleeve for future installation of a bus stop.</i> <p><i>At their February 27, 2020 public hearing, the Commission also indicated the need for a pedestrian-activated crosswalk near the project site (at Main Street and Maple Street). The Applicant agrees with the need for a crosswalk at this location; however, noted that financing for the installation of the crosswalk is beyond the scope of funding for the project.</i></p> <p><i>See also comments in the PUD Staff Report regarding the need for a pedestrian-activated crosswalk at Main Street and Maple Street.</i></p> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1d | <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> |
| | | | Staff Comments | <p><i>At their February 27, 2020 public hearing, the Commission suggested that the Applicant consider utilizing other exterior materials, rather than vinyl, for fencing and/or trash enclosures. Trash enclosures are located behind each building and are screened from view by a six (6') foot tall CMU fence with a</i></p> |


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| | | | | <p><i>metal gate. The Commission may wish to see better renderings of these trash enclosures.</i></p> <p><i>Additionally, the locations of the trash enclosures appear to be practical. A letter from Clear Creek Disposal commenting on the accessibility has been provided. Clear Creek Disposal has noted that the placement and design of the proposed trash enclosures are adequate and that they are able to provide for the safe and efficient removal of solid waste.</i></p> <p><i>Lastly, there has also been no mention as to the use of recycling, storage and accessibility by the tenant. The Applicant can further describe if recycling is provided and how it is accessed. Recycling for a project of this size is desired.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1e | <p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> |
| | | | Staff Comments | <p><i>A 48'-wide Partial Street Right-of-Way is proposed along the eastern property line, which would help facilitate vehicular traffic from Maple Street past the subject parcel and through the parking lot of Campion Ice House, Skate Park and Welcome Center.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1f | <p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> |
| | | | Staff Comments | <p><i>N/A, as no vending machines are proposed at this time.</i></p> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1g | <p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> |
| | | | Staff Comments | <p><i>Onsite parking is located off of Maple Street. Onsite parking is, in most cases, screened from Highway 75, buffered by buildings, landscaping and/or sidewalks. Though the street trees will remain and two additional trees (Chanticleer Pears of 4" caliper) are proposed to be added in front of the opening between the two buildings, additional screening in front of the opening between the two buildings may be desired.</i></p> <p><i>Twelve (12) guest parking spaces are accessible from Maple Street. A prominent entrance to the Senior Apartment Building, which faces Maple Street, is proposed. Prominent entrances to both buildings face the proposed parking lot and alley as well.</i></p> <p><i>At the February 27, 2020 public hearing, the Fire Chief also required and the Commission indicated that a second egress from the parking lot, which should be on the east side, gaining direct access to the Partial Street Right-of-Way, be constructed.</i></p> <p><i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed the revised proposal and finds it to be acceptable.</i></p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1h | h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic. |
| | | | <i>Staff Comments</i> | <i>The site is serviced by one public street, Maple Street. A second access from the newly dedicated partial street was requested by the Hailey Fire Chief and the Commission.</i> <i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed the revised proposal and finds it to be acceptable.</i> <i>The street frontage along Highway 75 and Maple Street have been preserved for pedestrian traffic.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1i | i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow. |
| | | | <i>Staff Comments</i> | <i>The site plan proposes a total of 2,546 square feet for snow storage. That said, it is anticipated that snow will also be hauled from the site, which is permitted within downtown areas.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1j | j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1k | k. A designated snow storage area shall not have any dimension less than 10 feet. |
| | | | <i>Staff Comments</i> | <i>It appears that most of the proposed snow storage areas meet the minimum dimensions. It is also anticipated that snow will likely be hauled from the site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1l | l. Hauling of snow from downtown areas is permissible where other options are not practical. |
| | | | <i>Staff Comments</i> | <i>It is anticipated that snow will be hauled from the site, which is permitted within downtown areas. Snow will also be pushed to the west along the new partial street (proposed right-of-way is 48').</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1m | m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas do not impede parking or pedestrian areas.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1n | n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas are shown in grass landscape areas.</i> |

2. Building Design: 17.06.080(A)2, items (a) thru (m)

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2a | a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings. |
| | | | <i>Staff Comments</i> | <i>The proposal is for multifamily buildings in the Business (B) Zone District, where a variety of homes, businesses, mixed-use and multifamily exist. The buildings proposed would exceed the permitted size if they were commercial; however, are appropriate in size given their use: senior and family apartment buildings.</i> |

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| | | | | <p><i>That said, other larger buildings do exist in the area: Campion Ice House is 35' in height and ~34,000 square feet in size and Hailey Elementary is ~78,000 square feet in size.</i></p> <p><i>The design intent of the buildings is to complement other single-family homes in the area with repetitive gable elements and residentially-scaled windows. At the February 27, 2020 public hearing, the Commission requested that additional roof undulation be added to the buildings to create variety, reduce building mass and long wall planes. Gable elements have been added, which break the roofline, to create more interest and undulation of the large buildings.</i></p> <p><i>Utilizing the same exterior colors as the original proposal, the Applicant has also reconfigured the design to have more color on the exterior. The Applicant has added a mix of vertical and horizontal siding to each building, which further reduces the building mass. The Commission may wish to discuss if the additional roof undulation and/or redesign is sufficient for reducing perceived mass of the larger buildings.</i></p> <p><i>The height of the mechanical equipment screens on the rooftop are approximately two (2') feet taller than the parapet. The elevation of the top of screen is approximately 39' above finished grade. The Applicant shall confirm that rooftop equipment is fully screened and does not protrude above the screens.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2b | b. Standardized corporate building designs are prohibited. |
| | | | Staff Comments | <i>N/A, as this project is not a standardized corporate design.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2c | c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. |
| | | | Staff Comments | <p><i>The building features street-level material changes. The buildings see painted fiber cement horizontal lap siding, as well as painted fiber cement vertical board and batt siding. Metal deck railings and vinyl framed windows are also proposed.</i></p> <p><i>Each building also sees roof undulation, as requested in the February 27, 2020 public hearing, and personal deck space to encourage human activity and interaction. An outdoor seating area can be found at the northside of the Senior Apartment Building. Outdoor common space is located at the southside of the Family Apartment Building.</i></p> <p><i>The first floor of the Senior Apartment Building contains a lobby or useable interior space with windows. No interior useable space is proposed in the Family Apartment Building.</i></p> <p><i>The Commission should discuss if enough undulation and design features are present.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2d | d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes. |
| | | | Staff Comments | <i>The main entry/front façade faces Highway 75 and has multiple windows. Please refer to Section 17.06.080(A)2a for building offsets and proposed</i> |

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| | | | | <i>designs. Materials change from the ground level to the upper floors. The Commission should discuss if enough undulation and design features are present.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2e | e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole. |
| | | | <i>Staff Comments</i> | <i>N/A, as no future additions or renovations are planned.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2f | f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors. |
| | | | <i>Staff Comments</i> | <p><i>A variety of materials will be used on the exterior of the buildings and will complement that of the surrounding area.</i></p> <p><i>Cement Fiber Siding, which will be affixed horizontally and vertically, will be in Mountain Sage and Pearl Gray. Wood beam and posts, vinyl windows and fencing in gray CMU and wrought iron; deck and railing systems in Powder Coated Black, and asphalt roof shingles in Gray, will also be incorporated to both buildings.</i></p> <p><i>As requested by the Commission at the February 27, 2020 public hearing, more color, though the same color palate as originally proposed, has also been incorporated into the design.</i></p>  <p><i>A Materials Sample Board has been provided; a photo attached to this report.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2g | g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)2f for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2h | h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements. |

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| | | | Staff Comments | <p><i>A flat roof is proposed on the Family Apartment Building only, which is three stories in height. This building incorporates roof elements, such as parapets, gables, balconies and window features, to provide further interest and variety.</i></p> <p><i>The Senior Apartment Building has been redesigned and incorporates roof undulation and parapets that provide interest and variety, and also further differentiates one building from the other. City Staff suggests that the Commission discuss whether the proposed height variation and/or the addition of more prominent gables, are sufficient in providing interest, variety and help break up the large mass of the proposed buildings.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2i | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <p>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p> |
| | | | Staff Comments | <p><i>The Applicant has stated that they plan to meet energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> - Solar Orientation: the long wall planes are placed on the (east/west axis - Double Glazed Windows - Low Emissivity Glazing <p><i>The Applicant can further describe any other methods and/or alternative energy sources utilized that minimizes energy consumption.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2j | <p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> |
| | | | Staff Comments | <p><i>The flat-roofed Family Apartment Building does not shed snow on to the pedestrian areas.</i></p> <p><i>The Senior Apartment Building has been slightly redesigned and incorporate a parapet roof with greater undulation. It doesn't appear that snow clips are proposed over entries and pedestrian walkways, but the Applicant can further describe.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2k | <p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> |
| | | | Staff Comments | <p><i>Downspouts and drains will be located within landscaped areas and/or routed to the interior to onsite drainage.</i></p> |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2l | l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s). |
| | | | <i>Staff Comments</i> | <i>N/A, as no vehicle canopies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2m | m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8. |
| | | | <i>Staff Comments</i> | <i>N/A, as no signage is proposed at this time; therefore, a Master Sign Plan is not required at this time.</i> |
| 3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3a | a. Accessory structures shall be designed to be compatible with the principal building(s). |
| | | | <i>Staff Comments</i> | <i>The carports are accessory, are located to the rear of the proposed buildings, and appear to be subordinate to the primary buildings. The Applicant intends to provide Structural Calculations for the proposed carports at the time of Building Permit submittal. These calculations will be reviewed for compliance of all City Standards.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3b | b. Accessory structures shall be located at the rear of the property. |
| | | | <i>Staff Comments</i> | <i>At their February 27, 2020 public hearing, the Commission suggested that the Applicant consider utilizing other exterior materials, rather than vinyl, for fencing and/or trash enclosures. Trash enclosures are located behind each building and are screened from view by a six (6') foot tall CMU fence with a metal gate. The Commission may wish to see better renderings of these trash enclosures.</i> <i>Additionally, three (3) carports, two accommodating eight (8) parking spaces and one (1) accommodating six (6) parking spaces, are also proposed and are located behind the Senior Apartment Building. Please refer to Section 17.06.080(A)3a for further details regarding the carports.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3c | c. Walls and fences shall be constructed of materials compatible with other materials used on the site. |
| | | | <i>Staff Comments</i> | <i>Some fencing exists onsite. Most fencing will be removed and disposed of; new wrought iron fencing is proposed.</i> <i>Fencing will be located around the proposed play area. The play area fence will be an open vision, wrought iron fence (or similar), and will be approximately five (5') feet in height with a four (4') foot wide gate.</i> <i>The perimeter fencing, previously proposed, has been removed. No new fencing around the perimeter of the site is proposed at this time.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3d | d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)3c for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3e | e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. |

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| | | | <i>Staff Comments</i> | <i>Six (6) roof-mounted projections are shown. Each projection incorporates a metal roofing panel (color to match that of the body of the building) to screen the projections from onsite parking areas, adjacent streets and adjacent properties.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3f | f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3g | g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | <i>Staff Comments</i> | <i>Heating and air conditioning will be located within the buildings. Two (2) trash enclosures are proposed, which will be screened from view by the proposed buildings and a six foot (6') tall CMU fence in gray with a metal gate. Transformer locations are not shown and shall be shown on the plans at final design.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3h | h. All service lines into the subject property shall be installed underground. |
| | | | <i>Staff Comments</i> | <i>All service lines shall be installed underground. Transformer locations shall also be shown on the plans. Transformers shall not block any pedestrian walkways. It appears that all overhead lines will be removed, but the Applicant can further discuss.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3i | i. Additional appurtenances shall not be located on existing utility poles. |
| | | | <i>Staff Comments</i> | <i>No appurtenances will be permitted on poles.</i> |
| 4. Landscaping: 17.06.080(A)4, items (a) thru (n) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4a | a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | <i>Staff Comments</i> | <i>It appears that plant materials will be appropriate for the environment.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4b | b. All plant species shall be hardy to the Zone 4 environment. |
| | | | <i>Staff Comments</i> | <i>The Applicant shall confirm that all proposed plant materials be hardy to Zone 4.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4c | c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged. |
| | | | <i>Staff Comments</i> | <i>An Irrigation Plan has not been submitted. The Irrigation Plan to be reviewed and approved at final design.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4d | d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard. |
| | | | <i>Staff Comments</i> | <i>At the February 27, 2020 public hearing, the Commission suggested that the Applicant provide an Arborist Review specific to existing trees onsite, as well as</i> |

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| | | | | <p><i>consider retaining as many of the existing trees as possible. Revised Landscape Plans have been submitted (Sheets L1.0 and L1.1), which show several trees to be removed, protected and/or new trees to be planted. Approximately 43 trees are proposed to be removed. Several of the proposed trees to be removed are larger than six (6") inch caliper; thereby requiring an Arborist Review.</i></p> <p><i>Please refer to Section 17.06.080(A)1b for further details and information regarding the Arborist Review.</i></p> <p><i>Additionally, the Hailey Tree Committee is scheduled to meet and discuss the project on March 12, 2020. Additional comments from the City Arborist and the Hailey Tree Committee, including any recommendations made, will be brought to the hearing on March 16, 2020.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4e | <p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed project is located within the Business (B) Zone District.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4f | <p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> |
| | | | <i>Staff Comments</i> | <i>Proposed landscaping is varied, as shown in the Landscape Plans. Please refer to Section 17.06.080(A)1b for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4g | <p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> |
| | | | <i>Staff Comments</i> | <i>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4h | <p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> |
| | | | <i>Staff Comments</i> | <i>The Applicant will be responsible for maintaining plant material in healthy condition.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4i | <p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4j | <p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4k | <p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4l | <p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4m | <p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4n | <p>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</p> |

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| | | | Staff Comments | <i>N/A, as no retaining walls are proposed at this time.</i> |
| Additional Design Review Requirements for Multi-Family within the City of Hailey | | | | |
| 1. Site Planning: 17.06.080(D)a, items (a) thru (c) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1a | 1. Site Planning |
| | | | | a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses. |
| | | | Staff Comments | <p><i>The surrounding area sees a variety of homes, businesses, mixed-use and multifamily buildings. The primary site features are the existing mature trees. At the February 27, 2020 public hearing, the Commission suggested that, if possible, more existing trees onsite be retained. The Applicant is proposing to retain all street trees along Highway 75, as well as a few existing, larger conifer trees, which will be retained and protected throughout the construction process.</i></p> <p><i>The buildings proposed would exceed the permitted size if they were commercial; however, are appropriate in size given their use: senior and family apartment buildings.</i></p> <p><i>That said, other larger buildings do exist in the area: Campion Ice House is 35' in height and ~34,000 square feet in size and Hailey Elementary is ~78,000 square feet in size.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1b | b. Site plans shall include convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site. |
| | | | Staff Comments | <i>Interior and perimeter sidewalks are existing and/or are proposed to connect and reinforce pedestrian circulation within the site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1c | c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering spaces. |
| | | | Staff Comments | <p><i>Buildings have been organized to maximize efficient site circulation. Site circulation has been designed to keep vehicular access and parking to the public street (Maple Street).</i></p> <p><i>At the February 27, 2020 public hearing, the Fire Chief required and the Commission indicated that a second egress from the parking lot, which should be on the east side, gaining direct access to the Partial Street Right-of-Way, be constructed.</i></p> <p><i>The Site Plan has been revised to include an additional site access. This access, located on the eastern property line, is proposed to be 20' in width and an 'Exit Only' access point. The Hailey Fire Chief has reviewed the revised proposal and finds it to be acceptable.</i></p> |

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| | | | | A 6'-wide sidewalk is also shown along the perimeter of the project, where pedestrian traffic can safely navigate the site and visit the surrounding area. New 5'-wide sidewalks are also proposed around each of the buildings, which connects to the existing sidewalk along Highway 75 and to accessible parking stalls. No sidewalks are proposed along the Partial Street Right-of-Way at this time. Gathering places, though provided, appear to be minimal. |
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2. Building Design: 17.06.080(D)2, items (a) thru (b)

| Compliant | | | Standards and Staff Comments | |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)2a | a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multifamily buildings. Front doors should be individual and visible from the street. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain. |
| | | | Staff Comments | Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)2b | b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction. |
| | | | Staff Comments | Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details. |

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)1 | 1. Site Planning |
| | | | | Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions. |
| | | | Staff Comments | The lot is existing and the proposed multifamily buildings are rectilinear, which matches the surrounding street grid of the surrounding area. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; use of alleys as the preferred access for secondary uses and automobile access; adequate storage for recreational vehicles; yards and open spaces; solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; snow storage appropriate for the property; underground utilities for new dwelling units. |
| | | | Staff Comments | <ul style="list-style-type: none"> The proposed buildings are fairly large in scale, but other large-scale buildings exist in the area. The buildings are oriented to be parallel to the existing streets (Highway 75) and respects the grid pattern of the surrounding area. The building incorporates a central front entry, positioned to face |

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| | | | | <p><i>the primary road. Larger windows and a gabled roofline will be utilized to accentuate and promote the human scale.</i></p> <ul style="list-style-type: none"> • <i>All parking, utilities, trash collection and automobile access will take place off of Maple Street.</i> • <i>No recreational vehicles are expected on a regular basis for Senior and Family Apartment Buildings, though indoor parking for bicycles has been provided.</i> • <i>Minimal yards are proposed on three sides of the building. Open spaces are also proposed for each unit with the incorporation of private patios.</i> • <i>The buildings are situated within the subject property and utilize the passive solar heating where possible.</i> • <i>The proposed project incorporates some snow storage areas, which will not impede vehicle or pedestrian access.</i> • <i>All planned utilities will be installed underground.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> |
| | | | <i>Staff Comments</i> | <i>The buildings are designed to incorporate and conserve passive solar energy. Windows are large, include double panes and low emissivity glazing.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)2 | <p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> |
| | | | <i>Staff Comments</i> | <p><i>The buildings have been designed to incorporate modular massing and variations in wall planes to create a sense of smaller forms in the overall arrangement of two large buildings.</i></p> <p><i>A flat roof is proposed on the Family Apartment Building only, which is three stories in height. This building incorporates roof elements, such as parapets, gables, balconies and window features, to provide further interest and variety.</i></p> <p><i>The Senior Apartment Building has been redesigned and incorporates roof undulation and parapets that provide interest and variety, and also further differentiates one building from the other. City Staff suggests that the Commission discuss whether the proposed height variation and/or the addition of more prominent gables, are sufficient in providing interest, variety and help break up the large mass of the proposed buildings.</i></p> <p><i>Each module will incorporate color to minimally segregate the modules from the building façade. Utilizing the same exterior colors as the original proposal, the Applicant has reconfigured the design to have more color on the exterior. The Applicant has added a mix of vertical and horizontal siding to each building, which further reduces the building mass. The Commission may wish to discuss if the additional roof undulation and/or redesign is sufficient in reducing perceived mass of the larger buildings.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3 | <p>3. Architectural Character</p> |
| | | | 17.06.090(C)3a | <p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> |

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| | | | Staff Comments | <i>Gable forms and modulation have been utilized to be reflective of the historic architecture in a contemporary manner. The materials utilized and proposed color scheme accentuate modern tones, also reflective of the current era.</i> |
| ☒? | ☐ | ☐ | 17.06.090(C)3b | b. Building Orientation |
| | | | | Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street. |
| | | | Staff Comments | <i>The front entries are defined through the use of glazing and lowered roof and/or gabled roof elements that overhang and protect the entries. The entries have been configured to face Main Street to the west. The Commission may wish to discuss if the front entries are prominent enough.</i> |
| ☒ | ☐ | ☐ | | Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation. |
| | | | Staff Comments | <i>The building orientation respects that of the existing grid pattern of the surrounding area.</i> |
| ☒? | ☐ | ☐ | 17.06.090(C)3c | c. Building Form |
| | | | | Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design. |
| | | | Staff Comments | <p><i>Gable forms and modulation have been utilized to help reduce the perceived scale of the proposed building and fit with the traditionally found forms and scales of the surrounding area.</i></p> <p><i>A flat roof is proposed on the Family Apartment Building only, which is three stories in height. This building incorporates roof elements, such as parapets, gables, balconies and window features, to provide further interest and variety.</i></p> <p><i>The Senior Apartment Building has been redesigned and incorporates roof undulation and parapets that provide interest and variety, and also further differentiates one building from the other. City Staff suggests that the Commission discuss whether the proposed height variation and/or the addition of more prominent gables, are sufficient in providing interest, variety and help break up the large mass of the proposed buildings.</i></p> <p><i>The Commission may wish to discuss if the additional roof undulation and/or redesign is sufficient for reducing perceived mass of the larger buildings.</i></p> |
| ☒? | ☐ | ☐ | 17.06.090(C)3d | d. Roof Form |
| | | | | Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable. |
| | | | Staff Comments | <i>Lowered and/or gabled roof forms over the front entry of each building helps to delineate their locations and reduce the scale of the buildings. The modulation of the façade also diminishes the mass of the building; however, the Commission should discuss whether the revised designs of each building, building offsets and modulations are adequate to break up the long wall planes and large massing of each building.</i> |
| ☒? | ☐ | ☐ | 17.06.090(C)3d | <p>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</p> <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |

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| | | | Staff Comments | <p><i>A flat roof is proposed on the Family Apartment Building only, which is three stories in height. This building incorporates roof elements, such as parapets, gables, balconies and window features, to provide further interest and variety. This roofline has been designed to retain snow. While the gable portions of the roof may shed snow, they do so away from pedestrian areas.</i></p> <p><i>The Senior Apartment Building has been redesigned and incorporates roof undulation and parapets that provide interest and variety, and also further differentiates one building from the other. The Applicant can further describe how the proposed roof retains and/or sheds snow safely on the property, awesome from pedestrian travel areas.</i></p> <p><i>With the exception of the front yard setback (3'-10") of the Senior Apartment Building, all setbacks proposed are within and/or greater than ten (10') feet.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged. |
| | | | Staff Comments | <i>The use of roof forms and pitch are similar to those found in the surrounding area.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | Staff Comments | <p><i>Gable forms and modulation have been utilized to help reduce the perceived scale of the proposed building and fit with the traditionally found forms and scales of the surrounding area.</i></p> <p><i>A flat roof is proposed on the Family Apartment Building only, which is three stories in height. This building incorporates roof elements, such as parapets, gables, balconies and window features, to provide further interest and variety.</i></p> <p><i>The Senior Apartment Building has been redesigned and incorporates roof undulation and parapets that provide interest and variety, and also further differentiates one building from the other. City Staff suggests that the Commission discuss whether the proposed height variation and/or the addition of more prominent gables, are sufficient in providing interest, variety and help break up the large mass of the proposed buildings.</i></p> <p><i>The gabled portions and modulation of the façades are compatible with buildings in the surrounding area and to provide further interest to each building.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | e. Wall Planes |
| | | | | Guideline: Primary wall planes should be parallel to the front lot line. |
| | | | Staff Comments | <i>The primary wall planes of the proposed buildings sit parallel to the front lot line.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood. |
| | | | Staff Comments | <i>The wall planes are proportional to the site and respect the scale of the surrounding neighborhood. The planes jog and modulate to reduce the mass of each façade.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | Staff Comments | <i>The proposed buildings utilize pop-outs, such as balconies, decks and gables, and architectural elements over windows, which help break up and/or reduce the longer wall planes.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | f. Windows |
| | | | | Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | <i>Staff Comments</i> | <i>The windows are of scale to match residential construction in the surrounding area.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | <i>Staff Comments</i> | <i>The proposed buildings and windows have been carefully planned to respect the privacy of neighbors in the surrounding area.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3g | g. Decks and Balconies |
| | | | | Guideline: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | <i>Staff Comments</i> | <i>Decks and balconies are designed to be integrated with the façade and in scale with the buildings, as well as the surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3g | Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | <i>Staff Comments</i> | <i>The decks and balconies are designed to be integrated with the façade and in scale with the buildings, as well as the surrounding neighborhood. Each balcony and/or desk faces the street and/or drive aisle, and are not detrimental to or impede the privacy of the surrounding neighbors.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | h. Building Materials and Finishes |
| | | | | Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |
| | | | <i>Staff Comments</i> | <i>The buildings feature some modulation to break up the long wall plans and mass of the building. The modules incorporate color and a change in exterior material, further reducing the appearance of large, single-planed wall construction.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane. |
| | | | <i>Staff Comments</i> | <i>The buildings incorporate material and color change on all facades of the proposed buildings, which reduce the large mass and long wall planes.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | i. Ornamentation and Architectural Detailing |
| | | | | Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings. |
| | | | <i>Staff Comments</i> | <p><i>Some limited architectural detailing is incorporated. A variety of materials will be used on the exterior of the buildings and will complement that of the surrounding area.</i></p> <p><i>Cement Fiber Siding, which will be affixed horizontally and vertically, will be in Mountain Sage and Pearl Gray. Wood beam and posts, vinyl windows and fencing in gray CMU and wrought iron; deck and railing systems in Powder Coated Black, and asphalt roof shingles in Gray, will also be incorporated to both buildings.</i></p> <p><i>As requested by the Commission at the February 27, 2020 public hearing, more color, though the same color palate as originally proposed, has also been incorporated into the design.</i></p> <p><i>Lowered and/or gabled roof forms are proposed over the front entry of each building. Timber framing, windows and powder coated metal railings have been added to provide interest and more detail to the buildings.</i></p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged. |
| | | | <i>Staff Comments</i> | <i>The more contemporary design of the building doesn't allow for porches, stoops or shutters.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood. |
| | | | <i>Staff Comments</i> | <i>Though the design is more contemporary in nature, the detailing and ornamentation is fairly compatible with that of the surrounding area.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | 4. Circulation and Parking |
| | | | | Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues. |
| | | | <i>Staff Comments</i> | <i>Sidewalks and paths are provided throughout the site, coming to and from the building, and are located away from vehicular traffic and snow storage locations.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: The visual impacts of on-site parking visible from the street shall be minimized. |
| | | | <i>Staff Comments</i> | <i>Parking is located to the rear of the buildings, screened by landscaping and/or sidewalks. It was mentioned at the February 27, 2020 public hearing that additional landscape screening may be needed to better screen the parking area between the two buildings.</i> <i>The Applicant has revised the Landscape Plan to show that the street trees between the two buildings will be retained and two additional trees (Chanticleer Pears of 4" caliper) are proposed to be added in front of the opening between the two buildings.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side. |
| | | | <i>Staff Comments</i> | <i>The onsite parking and carports are accessed from Maple Street and are not located on the street side of the building.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: Detached garages accessed from alleys are strongly encouraged. |
| | | | <i>Staff Comments</i> | <i>N/A, as no detached garages are proposed as this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. |
| | | | <i>Staff Comments</i> | <i>N/A, as no garages are proposed at this time and access to parking can be achieved from Maple Street.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |
| | | | <i>Staff Comments</i> | <i>N/A, as no garages are proposed at this time and access to the parking can be achieved from Maple Street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. |
| | | | <i>Staff Comments</i> | <i>The proposed project includes a Senior Apartment Building and a Family Apartment Building. No off-street parking spaces for recreational vehicle spaces are proposed at this time.</i> <i>The Commission suggested that the Applicant consider providing off-street parking opportunities for recreational vehicles; however, the Applicant doesn't intend to allow for onsite parking of recreational vehicles for the tenants.</i> |
| | | | 17.06.090(C)5 | 5. Alleys |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. |
| | | | <i>Staff Comments</i> | <i>N/A, as no alleys exist onsite.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)5 | Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. |
| | | | <i>Staff Comments</i> | <i>N/A, as no alleys exist onsite.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)5 | Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. |
| | | | <i>Staff Comments</i> | <i>N/A, as no alleys exist onsite and none are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)5 | Guideline: Landscaping and other design elements adjacent to alleys should be kept simple and respect the functional nature of the area and the pedestrian activity that occurs. |
| | | | <i>Staff Comments</i> | <i>N/A, as no alleys exist onsite and none are proposed at this time.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | 6. Accessory Structures |
| | | | | Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. |
| | | | <i>Staff Comments</i> | <i>The carports are accessory and are located to the rear of the proposed buildings.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | 7. Snow Storage |
| | | | | Guideline: All projects shall be required to provide 25% snow storage on the site. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. |
| | | | <i>Staff Comments</i> | <i>Snow storage locations are planned around key pedestrian routes. Snow storage locations will not impede pedestrian access to/from the building.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | 8. Existing Mature Trees and Landscaping |
| | | | | Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. |
| | | | <i>Staff Comments</i> | <i>At the February 27, 2020 public hearing, the Commission suggested that the Applicant provide an Arborist Review specific to existing trees onsite, as well as consider retaining as many of the existing trees as possible. Revised Landscape Plans have been submitted (Sheets L1.0 and L1.1), which show several trees to be removed, protected and/or new trees to be planted. Approximately 43 trees are proposed to be removed. Several of the proposed trees to be removed are larger than six (6") inch caliper; thereby requiring an Arborist Review.</i> <i>Please refer to Section 17.06.080(A)1b for further details and information regarding the Arborist Review.</i> |

| | | | | |
|---------------------------------------|--------------------------|-------------------------------------|-----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | | | | <i>Additionally, the Hailey Tree Committee is scheduled to meet and discuss the project on March 12, 2020. Additional comments from the City Arborist and the Hailey Tree Committee, including any recommendations made, will be brought to the hearing on March 16, 2020.</i> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | <i>Staff Comments</i> | <i>Mature landscaping features, such as trees, are present onsite. Please refer to Section 17.06.080(A)1b for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | <i>Staff Comments</i> | <i>Noxious weeds will be controlled according to State Law.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)9 | 9. Fences and Walls |
| | | | | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |
| | | | <i>Staff Comments</i> | <i>Some fencing exists onsite. Most fencing will be removed and disposed of; new wrought iron fencing is proposed.</i> <i>Fencing will be located around the proposed play area. The play area fence will be an open vision, wrought iron fence (or similar), and will be approximately five (5') feet in height with a four (4') foot wide gate.</i> <i>The perimeter fencing, previously proposed, has been removed. No new fencing around the perimeter of the site is proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 | Guideline: Retaining walls shall be in scale to the streetscape. |
| | | | <i>Staff Comments</i> | <i>N/A, as no retaining walls are proposed at this time.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)10 | 10. Historic Structures |
| | | | | General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. |
| | | | <i>Staff Comments</i> | <i>N/A, as no historic structures exist onsite. Blaine Manor Medical Center was previously located onsite and was approved for demolition in January 2018. This building was not a historical structure and did not require a review and/or approval by the Hailey Arts and Historic Preservation Commission.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)10 | Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; |

| | | | | |
|--|--|--|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | | | | ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions. |
| | | | <i>Staff Comments</i> | <i>N/A, as no historic structures exist onsite. Blaine Manor Medical Center was previously located onsite and was approved for demolition in January 2018. This building was not a historical structure and did not require a review and/or approval by the Hailey Arts and Historic Preservation Commission.</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

General Conditions:

- 1) All conditions of the Planned Unit Development approval shall be met.
- 2) All applicable Fire Department and Building Department requirements shall be met.
- 3) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- 4) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- 5) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- 6) The building design shall be modified as follows (*Commission to discuss if any modifications are needed*):

Public Works Department:

- 7) All Construction shall be in conformance with City of Hailey Specifications and Standard Drawings or ISPWC for public infrastructure.
- 8) Final Designs shall be submitted and approved by the City prior to any construction.
- 9) The City intends to store snow within the Maple Street right-of-way where parking spaces are currently shown east of the northern site entrance, and within the public alley right-of-way. Any landscape damage as a result of this activity shall be the responsibility of the property owner to repair. Snow from private property shall not be stored on public rights of way.

Streets and Right-of-Ways:

- 10) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - a) At the southeast corner of Main Street and Maple Street:
 - i. The valve box shown within the new sidewalk area shall be traffic rated
 - ii. The area between the pedestrian ramp and the first 90° parking stall shall be striped and delineated as "No Parking"
 - b) On Maple Street:
 - i. Drywell street cut for S05a shall be extended to sewer service street cut, if service remains as proposed
 - ii. All areas between the 90° parking and project entrance, public alley, etc., shall be striped and delineated as "No Parking"

- iii. Signage shall be installed behind sidewalk for “No Parking/Snow Route”, per City Design (R7-203)
 - c) Signage shall be provided along public alley, same as Maple Street “Snow Route”, installed at two locations.
 - d) Curb at east end of Maple Street shall transition to flush.
 - e) ITD Permits are required for all curb/sidewalk work within State Right-of-Way; asphalt patch per ITD Specifications.
 - f) Street trees along Main Street:
 - i. City Irrigation System will need to be located and bubblers disconnected at trees to be removed for any disturbance in this area (this line will continue onto other properties).
 - ii. Any damage to the City Irrigation System must be repaired by the Contractor, and City should be called for inspection of said system after completion of work
 - iii. Because the development will install an onsite irrigation system for their irrigable areas behind the curb lines, it is recommended to use the private system to irrigate all street trees on the property frontage or its frontage.
 - iv. The development should be responsible for the care of all street trees, with the exception of individual tree holiday lighting
 - v. The Developer shall install 1.25” conduit with electrical for all street trees and connect to the same power source as the street lights. Details shall be provided at final design.
 - g) Power details shall be provided for three new street lights along Main Street. The Applicant shall remove the existing street light along Main Street, at the northern end.
- 11) Prior to construction, the Applicant shall submit the following:
- a) A Construction Staging Plan
 - b) A Traffic Control Plan
 - c) A Pedestrian Traffic Control Plan for all sidewalk closures
 - d) An Irrigation Plan
- 12) All sidewalks, interior and perimeter, shall be maintained year-round by the Owner.
- 13) Transformer Boxes shall not block any sidewalk or pedestrian ways, shall be shown on the Building Permit drawings and shall be screened from view.

Water and Wastewater:

- 14) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to, the following requirements and improvements:
- a) The Applicant shall remove any abandoned water services or water mains at the main line connection.
 - b) The City will need access to the meter split from the combined fire/potable line within the anticipated mechanical room. If a plat is pending, an easement or agreement for such shall be required.
 - c) The Applicant shall remove or cap any existing sewer mains or services to be abandoned.

- d) The Applicant shall utilize the existing sewer service, which connects near the manhole out of the northern alley, instead of constructing a new sewer service for the northern building.

City Arborist/Hailey Tree Committee:

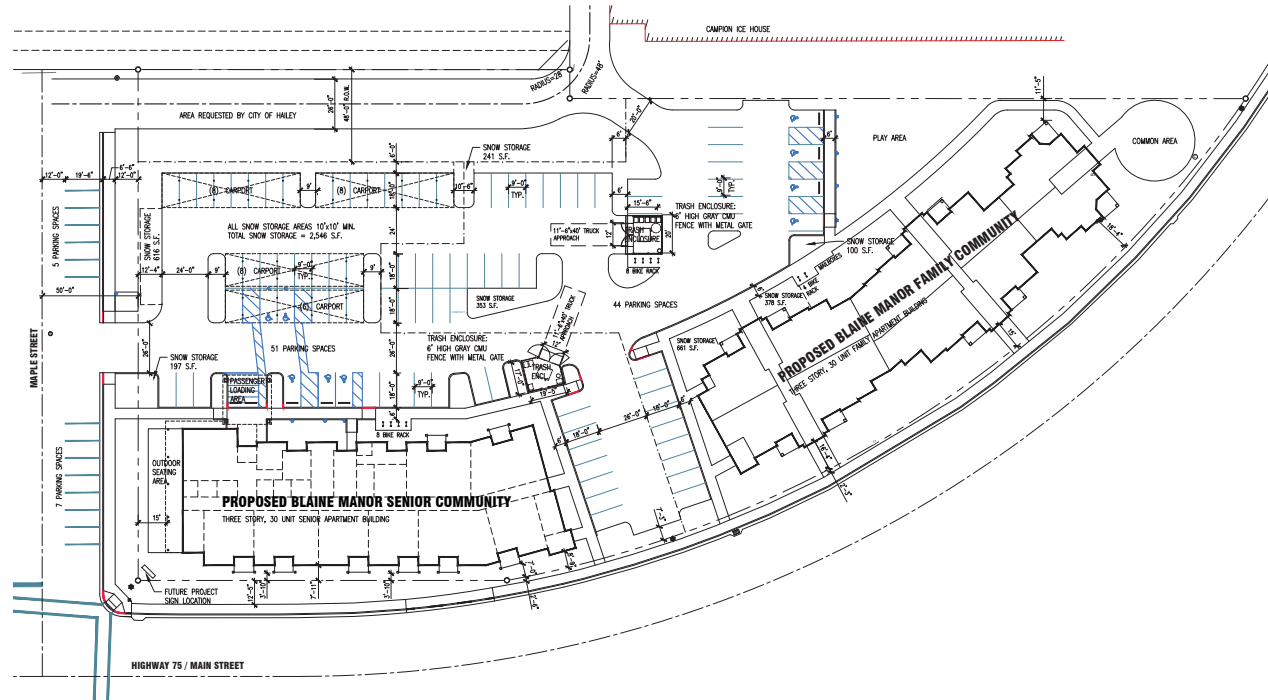
- 15) The Arborist Review Report, analyzing the health, condition and remaining lifespan of all trees larger than six-inch (6”) caliper, shall be reviewed for adequacy by the Hailey Tree Committee.
- 16) The recommended landscape specification changes from the City Arborist and Hailey Tree Committee (if any) shall be incorporated into the Building Permit Plan submittal.
- 17) Additional landscape screening shall be incorporated on Main Street in front of the parking lot to screen the lot from view.

Motion Language

Approval: Motion to approve the Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building, to be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (1) through (17) are met.

Denial: Motion to deny the Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building, to be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that _____[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____[Commission should specify a date].



1 SITE PLAN
SCALE: 1" = 30'-0"

BLAINE MANOR SENIOR AND FAMILY COMMUNITY

MAPLE STREET
HAILEY, IDAHO

GENERAL SITE NOTES

SCALE: 1"=30'-0"
ZONING: B (BUSINESS)
AREA:
SENIOR COMMUNITY: 47,011 S.F./1.08 ACRES
FAMILY COMMUNITY: 55,289 S.F./1.27 ACRES
TOTAL AREA: 102,300 S.F./2.35 ACRES

NUMBER OF DWELLING UNITS PROPOSED:

SENIOR COMMUNITY
1 BEDROOM UNITS 18
2 BEDROOM UNITS 12

FAMILY COMMUNITY
2 BEDROOM UNITS 18
3 BEDROOM UNITS 12

TOTAL DWELLING UNITS: 60

BUILDING AREA:

SENIOR COMMUNITY
FIRST FLOOR 12,036 S.F.
SECOND FLOOR 11,896 S.F.
THIRD FLOOR 11,890 S.F.
TOTAL: 35,822 S.F.

FAMILY COMMUNITY
FIRST FLOOR 12,341 S.F.
SECOND FLOOR 12,146 S.F.
THIRD FLOOR 12,146 S.F.
TOTAL: 36,633 S.F.

TOTAL BUILDING AREA: 72,455 S.F.

MAXIMUM HEIGHT ALLOWED/PROPOSED: 40FT./39'-6" FT.

PARKING SPACES PROVIDED FOR SENIOR: 51
PARKING SPACES PROVIDED FOR FAMILY: 44
TOTAL PARKING SPACES: 95

DEVELOPER: ARCH COMMUNITY HOUSING TRUST
P.O.BOX 1292
KETCHUM, IDAHO 83340

ARCHITECT:



PROJECT

**BLAINE MANOR
SENIOR & FAMILY
COMMUNITY**

MAPLE STREET
HAILEY, IDAHO 83333

SEAL

LOANED
ARCHITECT
2-14-20
Mark Sanders
Loaned Mark Sanders
architect seal required

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FILE

DATE: FEBRUARY 14, 2020

FILE NO: 19-302 A1.0

OWNER: MARK SANDERS

REVISIONS

SHEET

A1.0

SITE PLAN

MARCH 2020
DESIGN REVIEW, SUBDIVISION, AND PUD APPLICATIONS

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAH0 STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF BLAINE DESIGN STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE MOST CURRENT EDITION OF THE STANDARDS ON SITE DURING CONSTRUCTION.

2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL CATERPILLAR (1-800-343-1586) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.

3. CONTRACTOR SHALL COORDINATE RELATIONS OF UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.

4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).

6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.

7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE SUBGRADE SHALL BE EXCAVATED AND SHAPED AS NECESSARY TO OBTAIN OPTIMUM ENGINEERING CONTROL. IN-LEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.

PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A HEAVY DUTY ROLLER, LOADED CUMULUS TRUCK, OR LOADED SCISSOR TRUCK, AS CORNERED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTING ACCORDING TO THESE SPECIFICATIONS, UNSUITABLE OR DAMAGED SUBGRADE AREAS, AND/OR AREAS WHERE PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING TRAFFIC LOADS.

IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE SUBGRADE SHALL BE IMMEDIATELY DAMAGED AREAS SHALL BE IMMEDIATELY REPAIRED. IMMEDIATE REPAIRS SHALL BE EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBGRADE, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH P.T. RUN GRAVEL.

8. 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.0.4, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D-1557.

9. 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.0.4, 3/4"). SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D-1557 TO A99 OR ITD I-91.

10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC (SECTION) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 808 IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A1 IN ISPWC SECTION 805.

11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" DECHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.

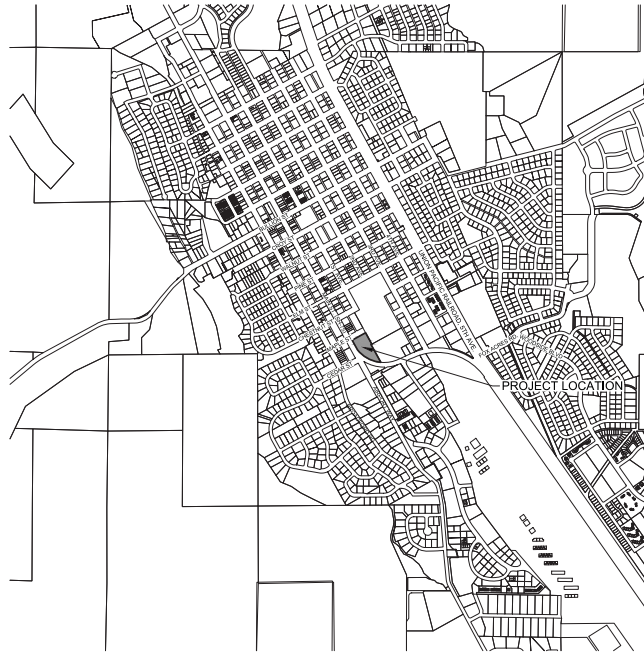
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

13. ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, 705, AND 706. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 701. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING BY APPLYING MEMBRANE FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94, APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

14. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SO 301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.

15. PER IDAHO CODE I 56-113, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE NOT DAMAGED OR DISTURBED BY THE CONSTRUCTION, AND RE-ESTABLISH AND RE-MONUMENT AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT REFERENCE POINT OR CORNER OR BENCHMARK AT THE LOCATION OF A PERMANENTLY DAMAGED OR DISTURBED MONUMENT OR BENCHMARK.

16. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE FOR A SURVEY CONDUCTED BY GALENA ENGINEERING, LIMITED TOPOGRAPHIC DATA WAS SURVEYED BY GALENA ENGINEERING (11092018 AND 10222019) AND SUPPLEMENTED BY BLAINE COUNTY LINDER (2017).



VICINITY MAP
N.T.S.

| <u>SHEET#</u> | <u>DESCRIPTION</u> |
|---------------|--------------------------------------------------|
| C0.1 | COVER SHEET |
| C1.0 | DEMOLITION PLAN |
| C2.0 | SITE, GRADING AND DRAINAGE, AND UTILITY PLAN |
| C3.0 | PLAN AND PROFILE FOR PUBLIC ALLEY (NOT INCLUDED) |
| C4.0 | DETAIL SHEET |
| C5.0 | DETAIL SHEET |

COVER SHEET
BLAINE MANOR SENIOR & FAMILY COMMUNITIES
LOCATED WITHIN SECTION 9 & 16, T.2 N., R.18 E., BM., CITY OF HALEY, BLAINE COUNTY, IDAHO
PREPARED FOR ARCH COMMUNITY HOUSING TRUST

PROJECT INFORMATION
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PRELIMINARY
NOT FOR
CONSTRUCTION

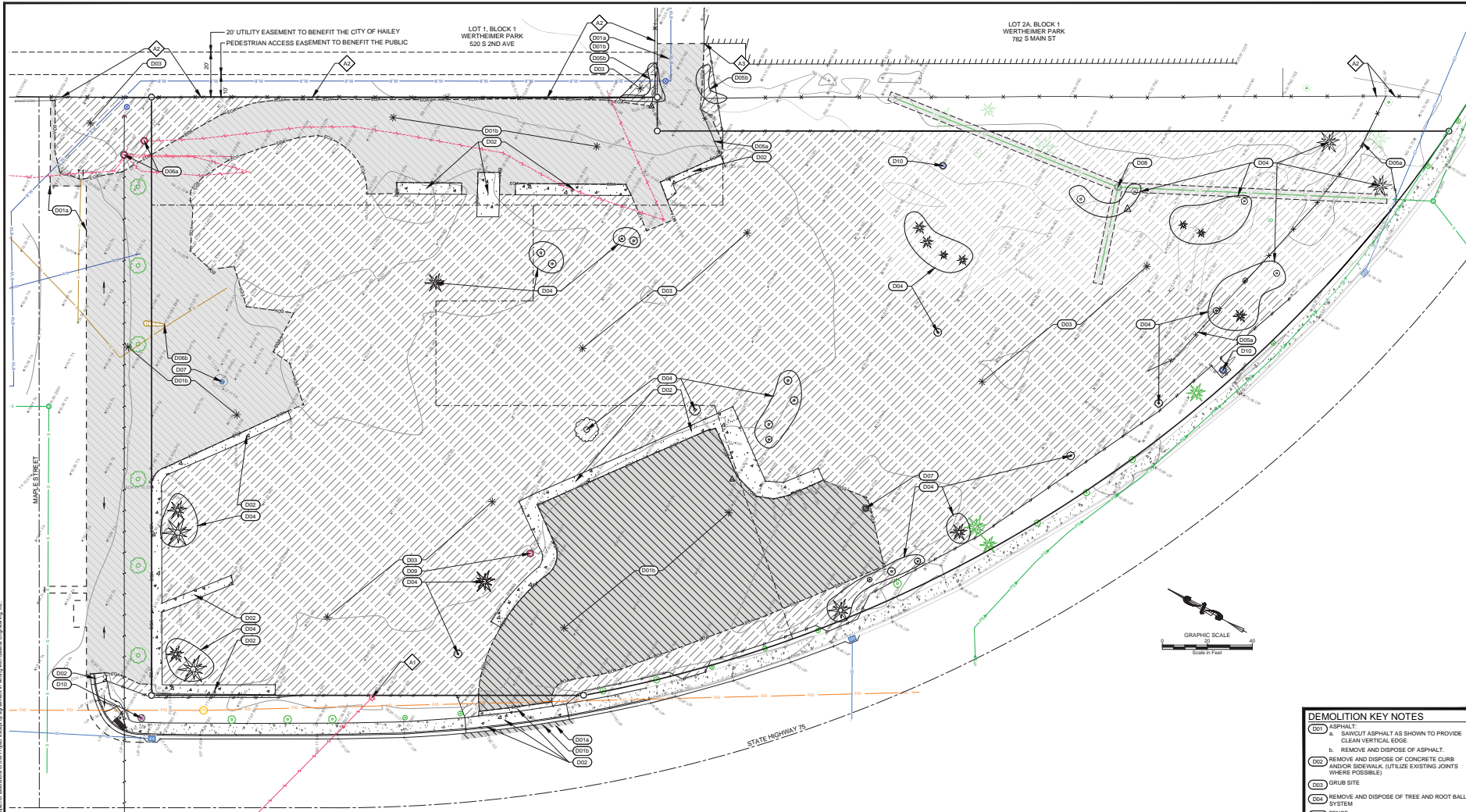
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SKS/CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Haley, Idaho 83333
(208) 788-1706
email: galena@galena-engineering.com

| NO | DATE | BY | REVISIONS |
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| NO | DATE | BY | REVISIONS |
|----|------|----|-----------|
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C0.1



LEGEND

EXISTING ITEMS

- Property Line
- Interior Lot Lines
- Adjoining Lot Line
- Centerline
- Easement
- FD08 = Found 1/8" Rebar
- FD10 = Found 1/2" Rebar
- ENTRL = Survey Control
- CT = Center Tree
- DT = Deciduous Tree
- SHN = Sign
- FNC = Fence
- FDB = Fiber Optic Line
- GM = Gas Main
- DMR = Gas Marker
- TVB = Cable TV Buried

- Pressure Sewer Main
- Sewer Main
- SS = Sewer Service
- SMH = Sewer Manhole
- SCD = Sewer Cleanout
- Storm Drain
- CR = Catch Basin
- DNELL = Drywell
- 8" Water Main
- VS = Water Service
- WV = Water Valve
- VS = Valve Box
- ADN = Americans with Disabilities Act
- AP = Angle Post
- BAL = Ballot
- BOH = Back of Walk

- TVBOX = Cable TV Box
- PRM = Buried Telephone Line
- PRM = Buried Telephone Manhole
- Overhead Power Line
- Light
- PP = Power Pole
- GUY = Guywire
- Pressure Sewer Main
- Sewer Main
- SS = Sewer Service
- SMH = Sewer Manhole
- SCD = Sewer Cleanout
- Storm Drain
- CR = Catch Basin
- DNELL = Drywell
- 8" Water Main
- VS = Water Service
- WV = Water Valve
- VS = Valve Box
- ADN = Americans with Disabilities Act
- AP = Angle Post
- BAL = Ballot
- BOH = Back of Walk

Items to be Removed

- Asphalt
- Concrete Sidewalk
- Area to be Grubbed
- Sewer Line
- Concrete Tree
- Deciduous Tree
- Drywell
- Overhead Power Line
- Light
- Power Pole
- Guywire
- Fence
- Water Valve
- Irrigation Valve Box
- Sewer Manhole
- Sewer Main to be Abandoned

DEMOLITION KEY NOTES

- (D01)** ASPHALT:
 - a. SAWCUT ASPHALT AS SHOWN TO PROVIDE CLEAN VERTICAL EDGE.
 - b. REMOVE AND DISPOSE OF ASPHALT.
- (D02)** REMOVE AND DISPOSE OF CONCRETE CURB AND/OR SIDEWALK. UTILIZE EXISTING JOINTS WHERE POSSIBLE.
- (D03)** GRUB SITE
- (D04)** REMOVE AND DISPOSE OF TREE AND ROOT BALL SYSTEM
- (D05)** FENCE:
 - a. REMOVE AND DISPOSE OF FENCE.
 - b. REMOVE AND RETAIN FENCE FOR REINSTALLATION.
- (D06)** RELOCATE UTILITIES (BY OTHERS):
 - a. POWER POLE: CONTRACTOR TO COORDINATE WORK WITH CHAD POWER.
 - b. GAS SERVICE: CONTRACTOR TO COORDINATE WORK WITH INTERMOUNTAIN GAS.
- (D07)** REMOVE AND DISPOSE OF DRYWELL.
- (D08)** REMOVE AND DISPOSE OF SEWER MANHOLE. PLUG END OF PIPE WITH LEAN CONCRETE AND ABANDON PIPE IN PLACE.
- (D09)** REMOVE AND DISPOSE OF LIGHT.
- (D10)** REMOVE AND DISPOSE OF IRRIGATION / POTABLE WATER VALVE BOX.
- (D11)** RETAIN AND PROTECT:
 - 1. LIGHT POLE
 - 2. FENCE LINE
 - 3. BUILDING

DEMOLITION PLAN
BLAINE MANOR SENIOR & FAMILY COMMUNITIES
 LOCATED WITHIN SECTIONS 8 & 16, T.2 N., R.18 E., 1/4 SEC. 10, BLAINE COUNTY, MONTANA
 PREPARED FOR BLAINE COMMUNITY FOUNDATION TRUST

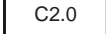
PRELIMINARY
NOT FOR CONSTRUCTION

SKS
 DESIGNED BY
 CHECKED BY
 DRAWN BY
 BMF

GALENA
ENGINEERING, INC.
 Civil Engineering & Land Surveyors
 317 N. 1st Street
 Helena, MT 59601
 (406) 781-1700
 email: galena@galenaengineering.com

PURPOSE: ISSUE FOR REVISION DESIGN REVIEW AND PUD (03/05/2020)

C1.0



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Caltrans Engineering, Inc.

OR MATCH EXISTING, WHICHEVER IS GREATER.

TYPICAL STREET ASPHALT SECTION

NTS

2
C4.0

TYPICAL CONCRETE SECTION

N.T.S.



6" CONCRETE VERTICAL CURB & GUTTER
 N.T.S.

4
C4.0

ZERO REVEAL CURB & GUTTER
TYPICAL CURB TRANSITION DETAIL
N.T.S.

NOTES:

1. SUBBASE CAN BE "TYPE II OR 1/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
4. 12-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIOL.
5. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WIDESPREAD).



CONCRETE VERTICAL CURB

N.T.S.

NOTES:

1. ANCHOR SLEEVES SHALL BE INSTALLED SO THAT THE HOLES WILL ALIGN AND THE TOP BE FLUSH WITH THE SIGN POST ANCHOR.
2. ALL INSTALLATIONS SHALL HAVE 8" SQUARE CONCRETE FOUNDATIONS OR GROUTED INTO SOLID ROCK.

 **SIGN POST INSTALLATION DETAIL**

N.T.S.


TYPICAL SECTION
CONNECTION FOR NEW SEWER
N.T.S.

From Horizontal
Unless Otherwise
Specified



7
C.4.0 **SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**
N.T.S.

DRYWELL DETAIL
(FOR USE WITH PRIMARY CATCH BASINS ONLY)
NTS

 **TYPICAL DRYWELL DETAIL**
N.T.S.


FLUSH CONCRETE VERTICAL CURB
 N.T.S.

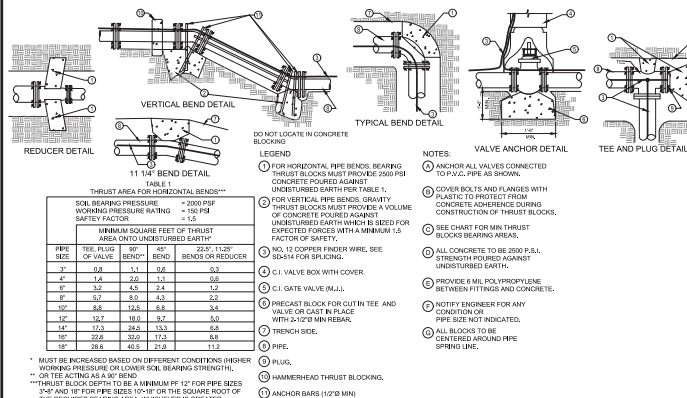
VERTICAL SEPARATION REQUIREMENTS

10
C4.0

| | |
|------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ZONE 1: | A) NO SPECIAL REQUIREMENTS. |
| ZONE 2: | A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES |
| | B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. |
| AND | C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. |
| AND EITHER | D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. |
| OR | E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEC. |
| ZONE 3: | NOT ALLOWED WITHOUT DEC MAIN MUST. |
| NOTE: | SANITARY SEWER FORCE MAINS HAVE MIN. 12" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEC. |

11
C4.0

LANDSCAPE DRYWELL
N.T.S.



LANDSCAPE NOTES:

- REGULATIONS & STANDARDS
 - All contractor work shall be conducted in accordance with ISWPC (Idaho Standard Public Works Construction), 2017, and City of Hailey, ID codes, standards and state and local regulations.
- EXISTING CONDITIONS
 - All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - See Engineer's plans for information about existing features.
- Refer to all plans for all existing and proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
- GRADING & SITE PREPARATION
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overlap to be removed and disposed of off site.
 - Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
- Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
- SOILS
 - No pooling or standing water will be accepted per industry standards.
 - Lawn areas shall receive 12" min depth of screened topsoil.
 - All planter beds shall receive 18" min depth of screened topsoil. Reuse of existing topsoil that has been stockpiled on site is permitted if.
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil shall have a pH of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
 - Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade 2" below adjacent surfaces.
 - Amend all new plantings with 2 parts topsoil, 1 part compost.
- LAWN AREAS
 - Sodded lawn to be tall turf-type fescue, or approved other.
 - Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - Install 3" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - Provide tree rings with a minimum 3" diameter around all trees located in lawn, mulch type to be new with manufacturer's warranty fully intact.
- PLANTER BED MULCH

- All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
- PLANTS
 - All plant material shall be installed per industry standards.
 - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - All Ball and Burlap trees to be installed per Balled and Burlapped shipping detail. All shrubs to be installed per detail.
 - Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - Fertilize all trees and shrubs with 'Agriform' planting tablets and approved equal. Apply per manufacturers recommendations.
 - IRRIGATION
 - Irrigation system shall be built to the following specifications:
 - Adhere to city codes when connecting to city water.
 - All irrigation material to be new with manufacturer's warranty fully intact.
 - Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - 2-wire system to be installed per manufacturers recommendations. Follow all recommended grounding and wire splice recommendations.
 - All remote control valves (including master control valve) to have flow control device.
 - Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - All pipe above 3" caliber to be galvanized, with approved joint restraints at all 45, TEE, ELL, 22, 11.
 - All PVC located under hardscapes to be schedule 40 PVC with same reqs as above.
 - All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - Connect mainline to point of connection in approximate location shown on plan.
 - Contractor is responsible complying with all codes and paying all permits necessary.

- Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- All drip irrigation to be buried 2" below finished grade.
- Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- Install all irrigation per irrigation drawings, utilize material specified or approved equal.
- Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- If any discrepancies are found, then local codes shall prevail.
- CONTRACTOR RESPONSIBILITIES
 - Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies of 1"=20' scale are turned in and approved by owner's representative.
 - In the event of a discrepancy, notify the Landscape Architect immediately.

PLANT SCHEDULE

| TREES | BOTANICAL / COMMON NAME | CONT | CAL | QTY |
|--------|---------------------------------------------------------------------------------------------|-------|----------|-----|
| | Acer glabris 'Flame' / Flame Arbut Maple 20" H x 20" W | B & B | 2.5" Cal | 10 |
| | Amelanchier alnifolia / Serviceberry 15" H x 10" W | B & B | 4" Cal | 12 |
| | Fraxinus americana Autumn Purple / Autumn Purple Ash 40" H x 35" W | B & B | 2.5" Cal | 8 |
| | Gleditsia thurcathos inermis 'Skyline' TM / Skyline Thornless Honey Locust 40" H x 35" W | B & B | 2.5" Cal | 4 |
| | Prunus x cerasifera 'Coppacow' / Crimson Pointe Flowering Plum 25" H x 6" W | B & B | 3" Cal | 15 |
| | Prunella caroliniana 'Chanticleer' / Chanticleer Pear 25" H x 15" W | B & B | 4" Cal | 8 |
| SHRUBS | BOTANICAL / COMMON NAME | SIZE | FIELD | QTY |
| | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 3" H x 3" W | 2 gal | BBB | 243 |
| | Cornus alba 'Ivory Halo' TM / Tatarian Dogwood 5" H x 6" W | 5 gal | | 20 |
| | Cornus sericea 'Ardic Fire' / Ardic Fire Dogwood 3" H x 4" W | 2 gal | BBB | 71 |
| | Malva neglecta / Creeping Malva 18" H x 30" W | 2 gal | BBB | 134 |
| | Perennifolia x Little Spire / Russian Sage 2" H x 2.5" W | 1 gal | BBB | 32 |
| | Philadelphus x Minnesota Snowflake / Minnesota Snowflake Mock Orange 6" H x 6" W | 2 gal | BBB | 16 |
| | Physocarpus opulifolius 'Mondo' TM / Diablo Purple Ninebark 6" H x 6" W | 2 gal | BBB | 25 |
| | Pinus mugo 'Sloemound' / Mugo Pine 3" H x 3" W | 5 gal | | 31 |
| | Rhus aromatica 'Glo-Low' / Glo-Low Fragrant Sumac 18" H x 8" W | 2 gal | BBB | 54 |
| | Existing Tree, Preserve & Protect | | | |

LANDSCAPE REQUIREMENTS

REQUIREMENTS PER CITY OF HALEY MUNICIPAL CODE

EXISTING TREES

TREES EXIST THAT WILL NEED TO BE REMOVED SHALL BE EVALUATED BY AN ARBORIST TO DETERMINE IF HEALTHY AND REQUIRING REPLACEMENT, ONLY THE REQUIRED MINIMUM OF MITIGATION, THE AMOUNT BELOW IS SUBJECT TO CHANGE
*(10-3") (3-4") (3-5") EXTRA TREES PROVIDE 64.5 CALIPER TREES OVER REQUIRED MINIMUMS ARE PROPOSED FOR MITIGATION, IF ARBORIST DETERMINES LESS TREES SHALL BE MITIGATED, THE NUMBER OF PROPOSED TREES SHALL REDUCE RESPECTIVELY, IF MARKET AVAILABILITY LIMITS AMOUNT OF TREES TREES ALTERNATIVE COMPLIANCE SHALL BE PROVIDED VIA MORE TREES OR SHAPPING NON REQUIRED DECIDUOUS TREES TO LARGER EVERGREEN
ADDITIONAL TREES THAT MAY BE REMOVED PER CONSTRUCTION OR HEALTH SHALL BE EVALUATED BY AN ARBORIST TO DETERMINE IF MITIGATION IS REQUIRED
** REPLACEMENT IS REQUIRED, EACH TREE SHALL BE REPLACED WITH AN APPROVED 4" TREE FROM HALEY'S APPROVED TREES LIST
*** PROPOSED LOCATIONS FOR THE TREES ARE SHOWN FOR REFERENCE ONLY IN THE EVENT REMOVAL IS REQUIRED

STREET TREES

TREES TO BE SPACED PER TREE SELECTED

**MIN TREES 40' SPACING PROPOSED

| STREET | LENGTH | TREES REQ'D | TREES PROV'D |
|--------------|--------|-------------------------|--------------|
| MAIN STREET | 17' | 23 EXISTING (5 CONFIRM) | |
| MARLE | 232' E | 6 | 6 |
| NORTH STREET | | | |

NOTE:

"SOUTH ALLEY DEDICATED FOR SNOW STORAGE, TREES WILL BE DAMAGED-DESTROYED, NO TREES PROPOSED

"EAST SIDE, REDUCED TREE COUNT TO PROVIDE FOR SNOW STORAGE ACCESS

NOTE: MAPLE STREET TREES REDUCED PER EASEMENT & SNOW REMOVAL AREA

"MERGE STREET TREE WITH PARKING ISLAND TREE

| ISLANDS | TREES REQ'D | TREES PROV'D |
|---------|-------------|-----------------------------|
| 28 | 23 | 21 (PER OVERHEAD STRUCTURE) |

MINIMUM PLANT SIZE:

"IF 10+ TREES ARE PROPOSED (EXCLUDING STREET TREES)

57 TOTAL NEW TREES PROVIDED

"10% SHALL BE 4" CALIPER: (8 OF 57) TREES TO BE 4", 64 PROVIDED

"20% SHALL BE 3" CALIPER: (12 OF 57) TREES TO BE 3", 124 PROVIDED

"20% SHALL BE 2.5" CALIPER: (12 OF 57) TREES TO BE 2.5", 124 PROVIDED

"WOODY SHRUBS: 26AL

ADDITIONAL REQUIREMENTS:

"ALL PLANTS TO BE ZONE 4 COLD-HARDINESS

"TREES AND SHRUBS OVER 30" SHALL NOT BE LOCATED WITHIN CLEAR VISION TRIANGLE

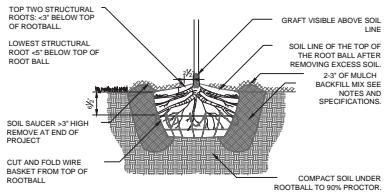
"SNOW STORAGE AREA SHALL BE PROVIDED, AND 25% AREA OF IMPROVED HARDSCAPE SPACES

NOTES:

- DO NOT DAMAGE OR CUT LEADER
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR, HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION
- IF IMPORTED TOPSOIL IS USED IT MUST BE FROM A LOCAL SOURCE AND BE SCREENED FREE OF ANY DEBRIS OR FOREIGN MATTER
- 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE, 3" OF MULCH MIN, DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE

NOTE:

REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT BALLS

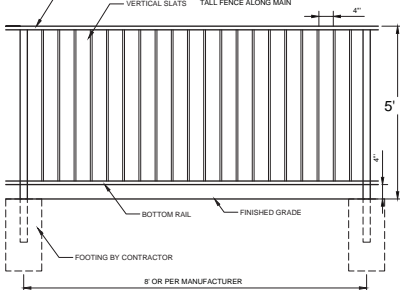


1 BALL & BURLAP TREE PLANTING

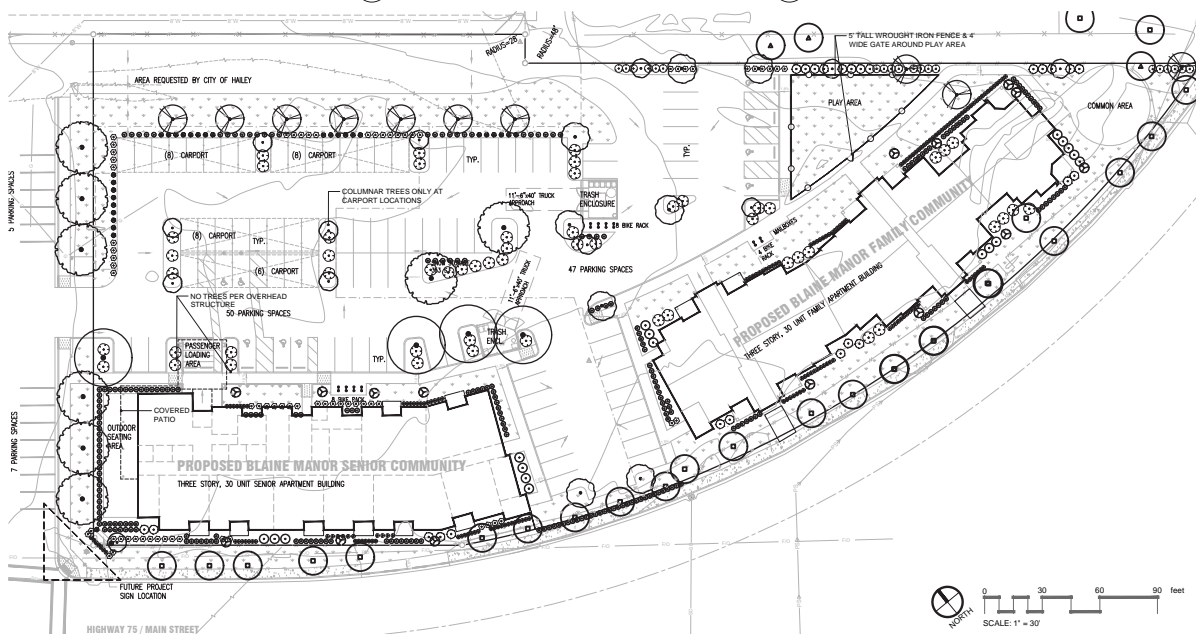
2 SHRUB PLANTING

BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS F HEIGHT ABOVE EXISTING SOIL WHEN COMPLETE.

NOTE: CITY CODE PERMITS 6\"/>



3 5' OPEN VISION FENCE



TAO
THE ARCHITECTS OFFICE LLC
400 MAIN STREET (208) 343-2931
BOISE, IDAHO 83702
BOISE, IDAHO 83702

STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING
(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

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PROJECT
BLAINE MANOR SENIOR & FAMILY COMMUNITY
MAPLE STREET
HAILEY, IDAHO 83333

SEAL
OFFICE OF THE CITY CLERK
CITY OF IDAHO
HAILOID
COUNTY

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FILE
DATE: FEBRUARY 14, 2020
FILE NO: 19-302
DESIGN: JESSEN J BUSTER

REVISONS

SHEET

L1.0
LANDSCAPE PLAN



**STACK ROCK
GROUP**

LANDSCAPE
ARCHITECTURE
& MASTER PLANNING

(208) 345-0500
404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

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PROJECT

**BLAINE MANOR
SENIOR & FAMILY
COMMUNITY**

MAPLE STREET
HAILEY, IDAHO 83333

SEAL



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FILE

DATE: FEBRUARY 14, 2020

FILE NO:
19-302

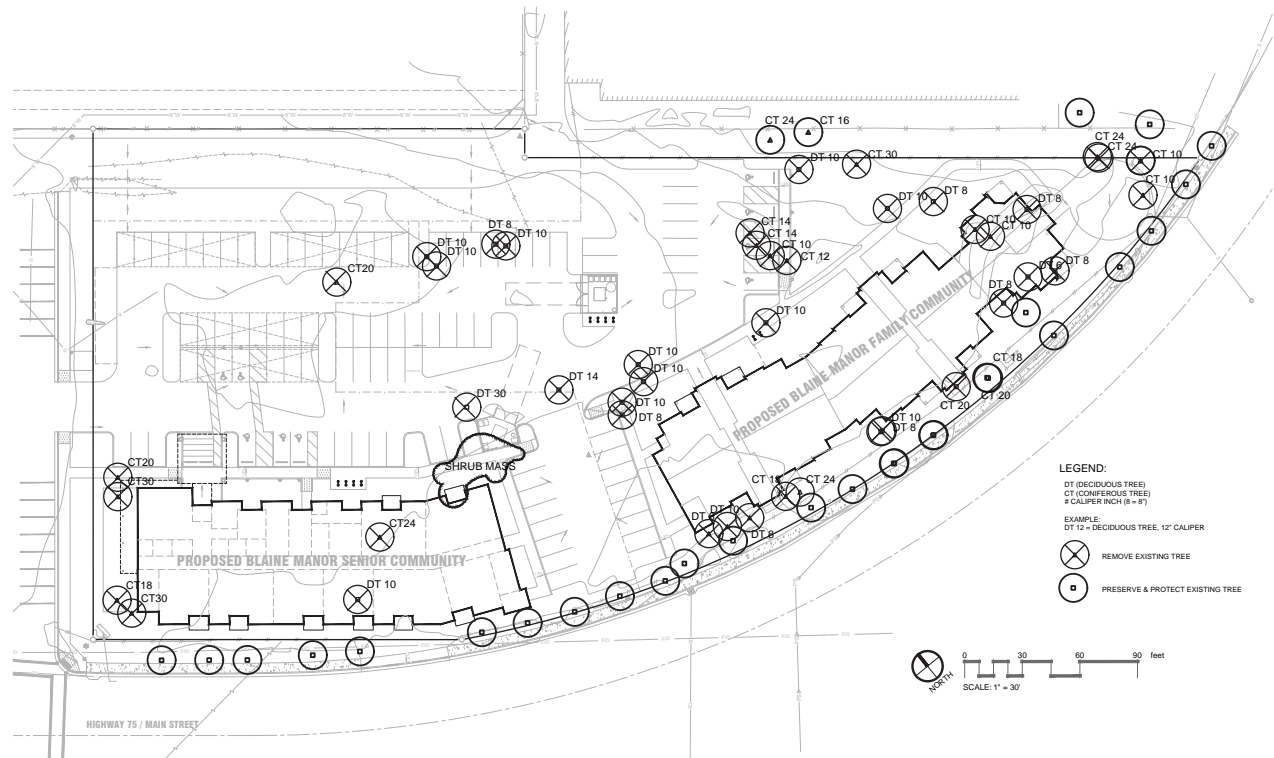
DRAWN:
JESSEN J BUSTER

REVISIONS

SHEET

L1.1
SITE TREE DEMO &
PRESERVATION PLAN

LANDSCAPE SITE & EXISTING TREE INVENTORY:





To: City of Hailey Planning & Zoning, Design Review Board
Date: 03-05-20

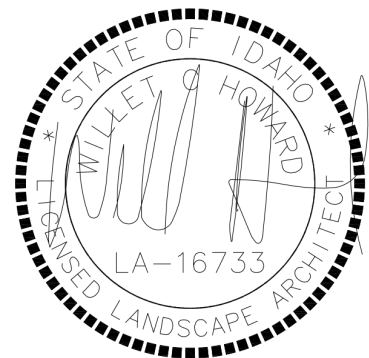
Blaine Manor: Landscape Narrative; Updated Per DR Comments

Blaine Manor Landscaping Overview

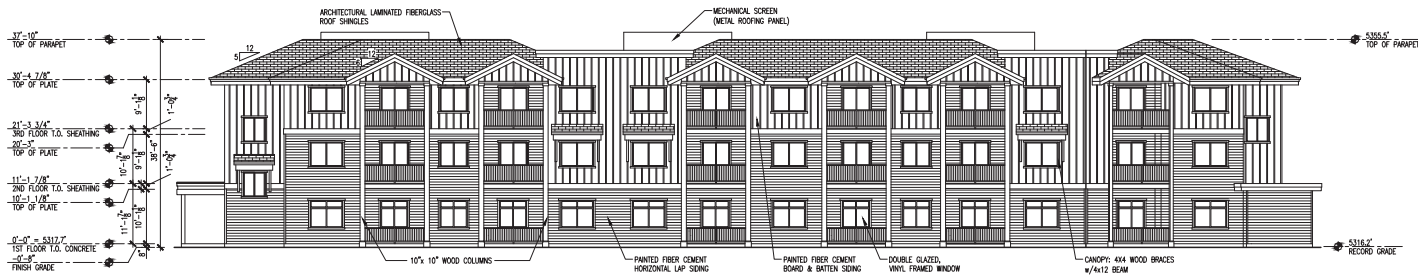
The landscaping for this project meets and/or exceeds the minimum requirements for this project. Street trees are provided as required, 23 existing trees are to be preserved. Parking lot trees are provided where possible, restrictions include an overhead structure that provides a high architectural and aesthetic trade-off, and some canopy trees are reduced to columnar trees adjacent to carports to avoid any conflicts or hazards. Site trees are provided throughout to enhance and complement the architecture, and to provide offset due to tree mitigation from removal of trees.

Some of the conifers are preserved which provide high aesthetic value and site function; many trees are removed due to site improvements, these trees are proposed for replacement by trees which offer higher aesthetic and functional value that will complement the new development. Trees are selected from the Wood River Valley tree list, and trees and shrubs are appropriate for Zone 4 climates & cold-hardiness. Snow storage is a necessity so hardy shrubs which are low spreading and can handle a degree of impact are proposed for these areas. Other plantings throughout are proposed to soften and enhance the patios, and main covered gathering patio.

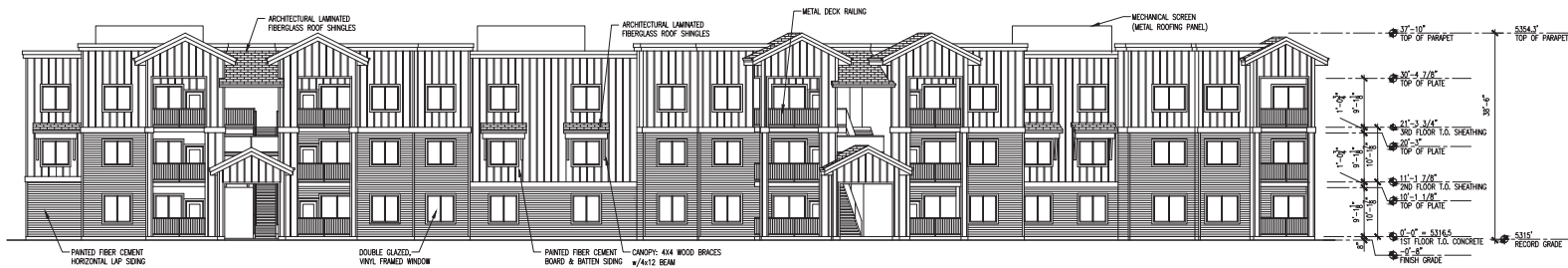
03.05.20



Thanks,
Will Howard, PLA
Stack Rock Group



1 SENIOR COMMUNITY EXTERIOR ELEVATION - WEST (MAIN STREET)
SCALE: 3/32" = 1'-0"



2 FAMILY COMMUNITY EXTERIOR ELEVATION - WEST (MAIN STREET)
SCALE: 3/32" = 1'-0"

PROJECT

**BLAINE MANOR
SENIOR & FAMILY
COMMUNITY**

MAPLE STREET
HAILEY, IDAHO 83333

SEAL

LEARNED
ARCHITECT
ARCHITECT
2-14-20
Mark Sanders
Long Mark Sanders
ARCHITECT

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FILE

DATE: FEBRUARY 14, 2020

FILE NO:
19-302 A5.0

DESIGNER:
MARK SANDERS

REVISIONS

SHEET

A5.2

MAIN STREET
EXTERIOR ELEVATIONS







C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • Fax: 208.726.8041

March 11, 2020

Planning & Zoning
City of Hailey
115 Main St S Ste H
Hailey, ID 83333

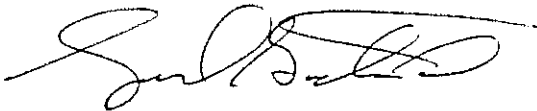
Re: Blaine Manor

To Whom It May Concern,

This letter is to serve for the purposes that Mark Sanders of The Architects Office PLLC, has engaged in conversation regarding the above-mentioned site for the placement of and operations to service garbage.

As per the attached plan's, Clear Creek Disposal is able to provide for the safe and efficient removal of solid waste. This letter shall be used as a "will serve" and for future garbage service. If you have any questions regarding this project, please call.

Sincerely,



Mike Goitiandia
Clear Creek Disposal

.Blaine Manor



Return to Agenda

Community Development Report 2019

City of Hailey



New Commercial Builds in 2019

Commercial Building Permits

- **The Granary:** 3,052 square foot mixed use building including a granary, shed, silo, 1 residential unit and 4 storage/garage units
- **Pioneer Storage Facility:** three self storage buildings, ranging in size from 3,000 square feet to 5,200 square feet for a total of 45 individual units
- **Hailey Auto Clinic:** 2,693 square foot automotive repair and maintenance shop
- **Hailey FF LLC (The Marriott Hotel):** 42,403 square foot hotel including a pool, hot tub and restaurant
- **Stone Fly:** 4,896 square foot storage facility

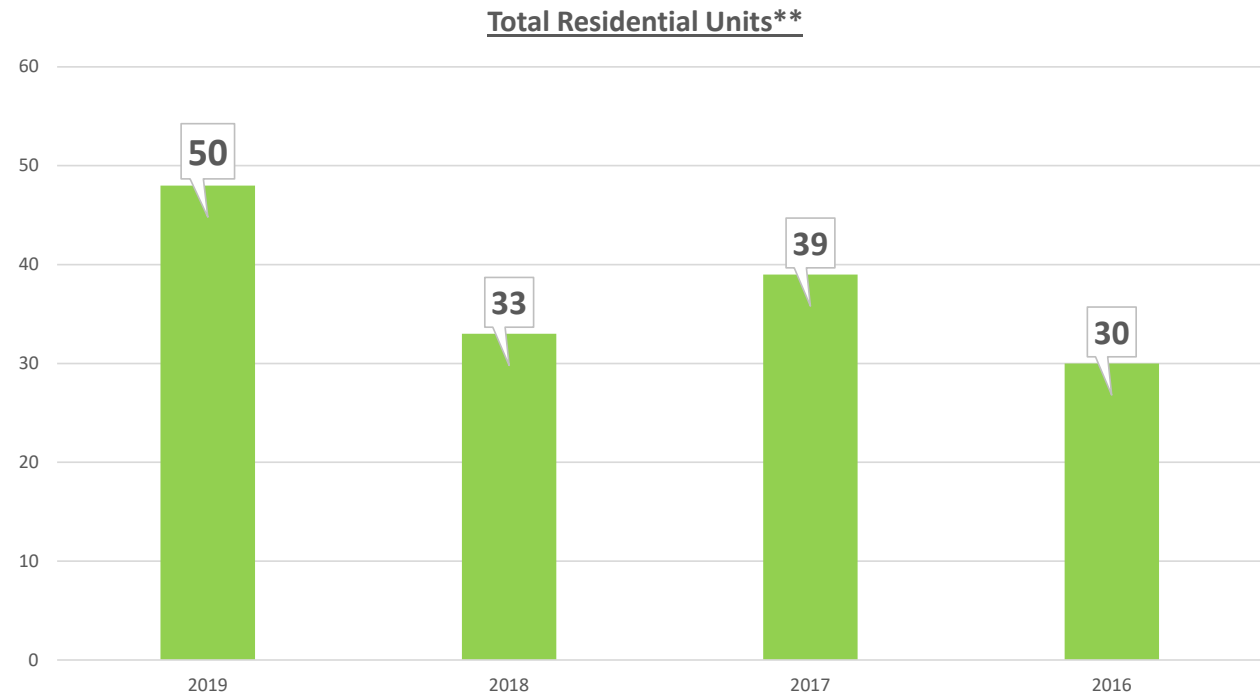


2019 New Residential Projects

- 22 New Single-family
 - 8 Homes in Northridge
 - 1 Homes in Woodside
 - 6 Homes in Old Cutters
 - 2 Homes in Deerfield
 - 1 Home in Della View
 - 1 Home in Lupine
 - 2 Homes in Colorado Gulch Preserve
 - 1 Home in Hailey Replat
- 26 Multi-Family
 - 13 3-story duplexes in Sweetwater
- 2 Mixed-Use
 - The Liquor Store
 - The Granary

50

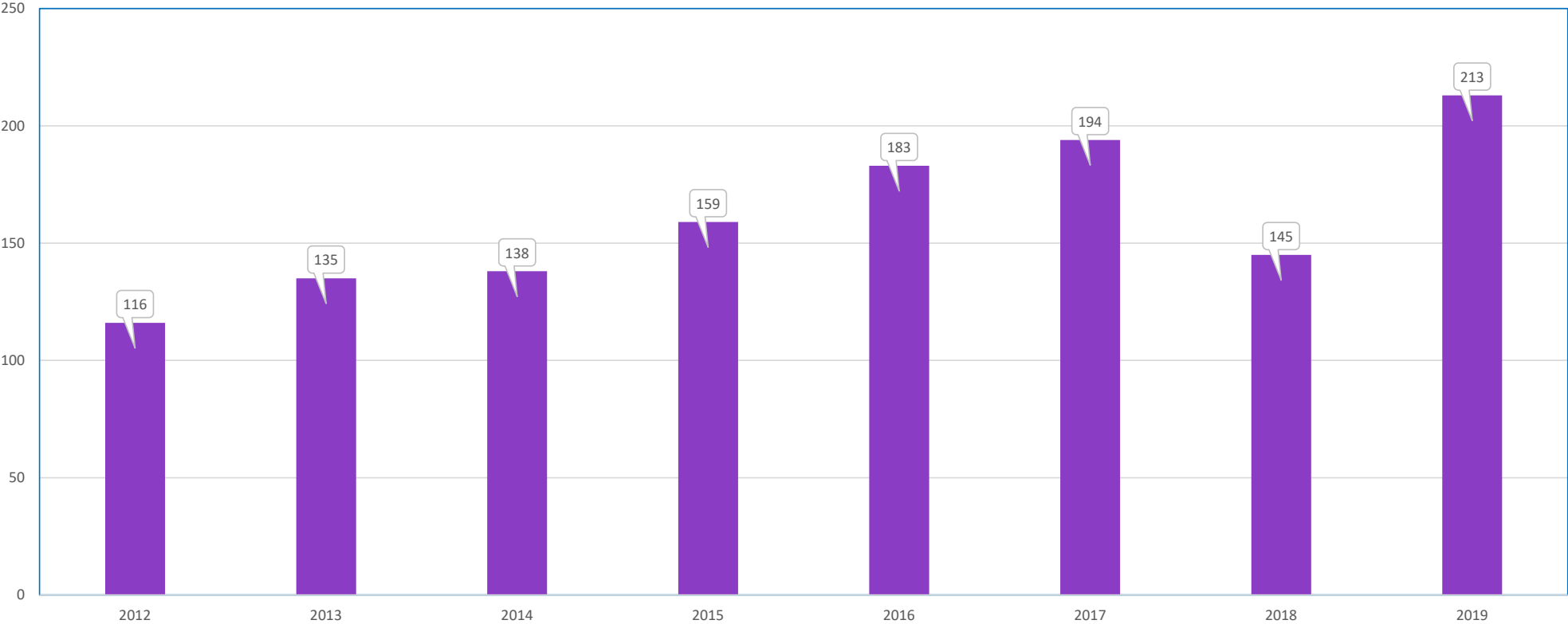
**Permits
issued for
New Residential
units**



**Data was collected during calendar year.
** Data includes New Single Family and Multi-Family units.*

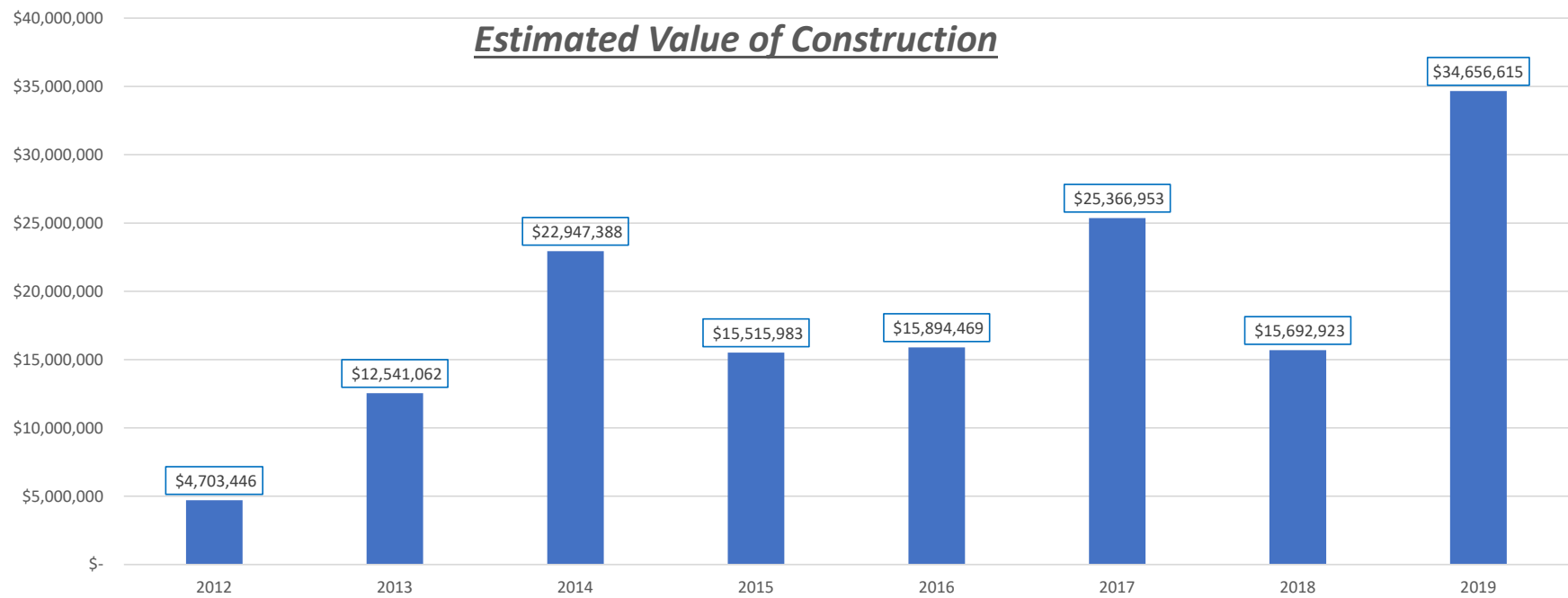
Eight Year Comparison: Building Permits Issued

Building Permits Issued



** Data was collected during calendar year.*

Eight Year Comparison: Building Permits Valuation

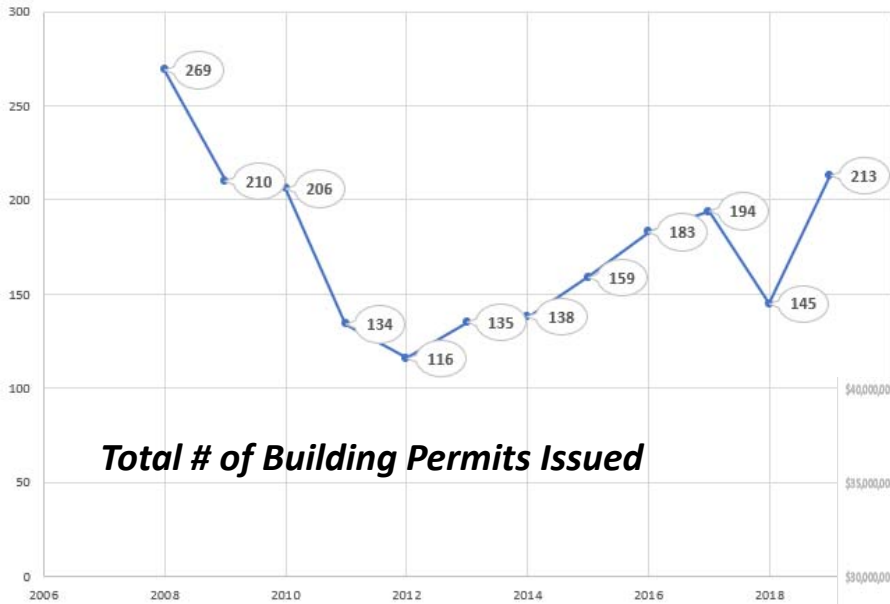


** Data was collected during calendar year.*

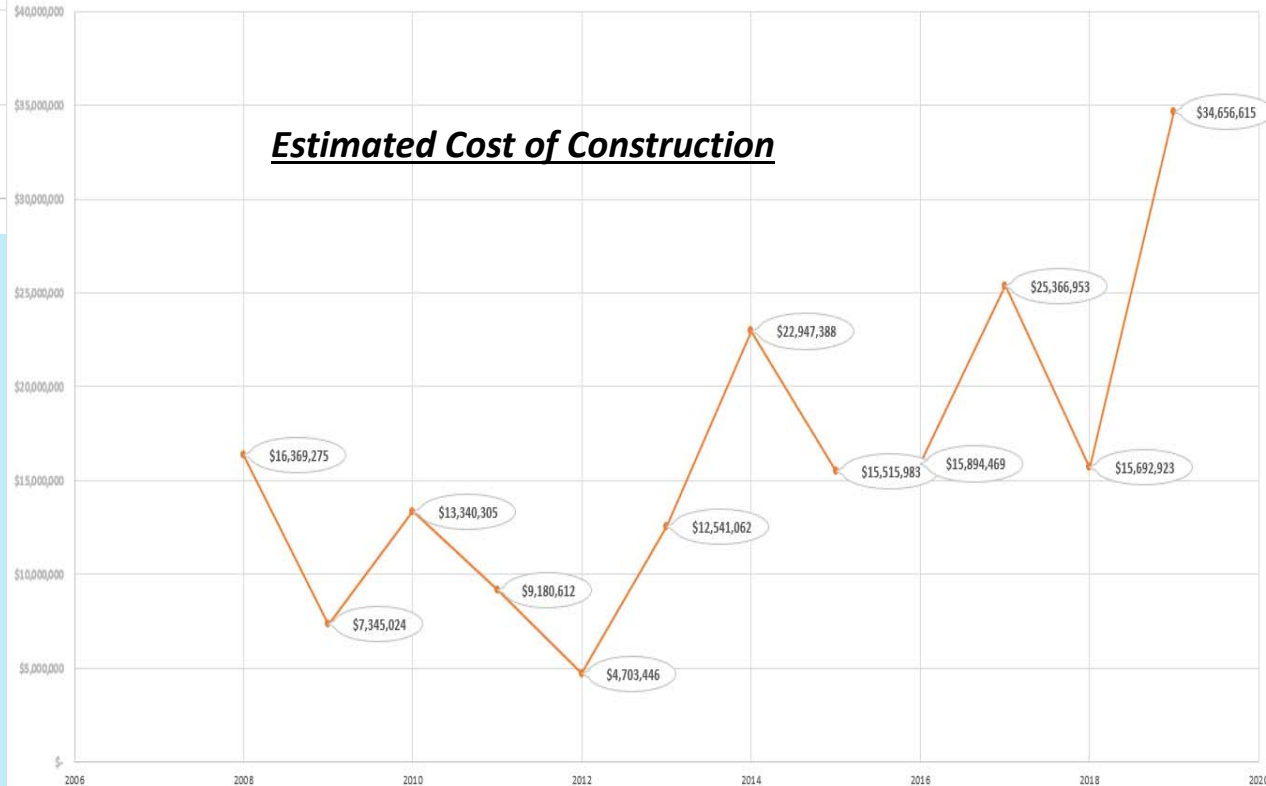
Building Permit Overview since 2008

- As of 2019, total building permits issued was 213. The total estimated cost for all building permits was \$34,656,615.

Total # of Building Permits Issued



Estimated Cost of Construction

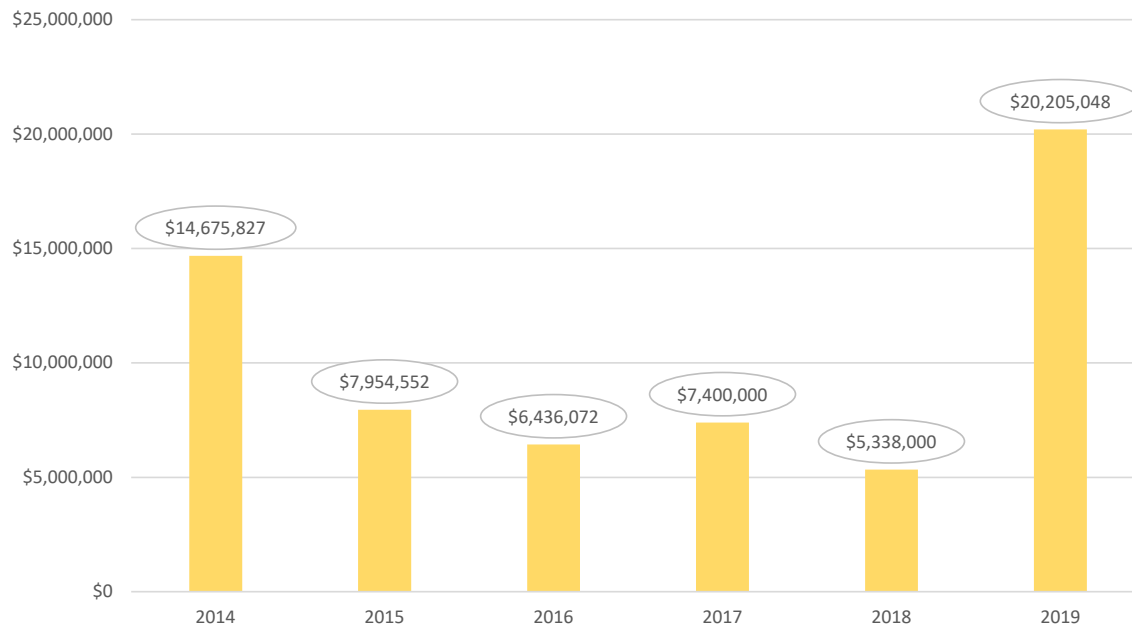


- The lowest number of permits issued was in 2012 for a total of 116 permits. Total estimated cost for all building permits was \$4,703,466.
- The highest number to date was in 2008 for a total of 269 Permits issued. Total estimated cost for all building permits was \$16,369,275.

Six Year Comparison of Top Four Building Permits

Valuation

Top 4 Permit Valuations



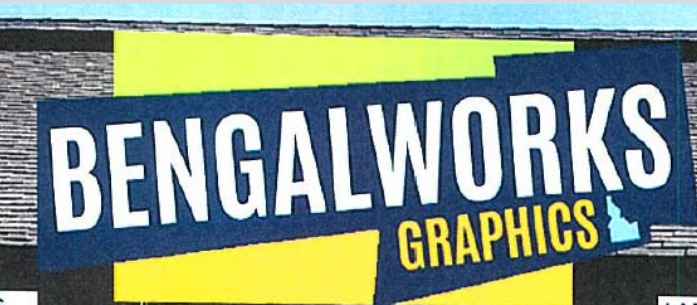
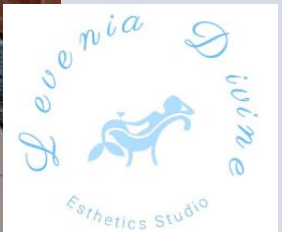
| Year | Permit | Owner | Cost of Construction |
|------|--------|-----------------------------------------------------|----------------------|
| 2019 | 19-098 | Hailey FF LLC (Silver Creek Property Holdings LLC | \$7,500,000.00 |
| | 19-022 | Hailey Leased Housing Association (Balmoral Apart.) | \$6,070,000.00 |
| | 19-060 | Sweetwater Communities LLC | \$5,235,048.00 |
| | 19-010 | Blaine County Recreation District (BCRD) | \$1,400,000.00 |
| 2018 | 18-055 | The Advocates | \$2,500,000.00 |
| | 18-056 | The Advocates | \$1,400,000.00 |
| | 18-049 | Arch Community Housing Trust | \$738,000.00 |
| | 18-114 | Old Rialto Hotel | \$700,000.00 |
| 2017 | 17-025 | DL Evans Bank | \$2,300,000.00 |
| | 17-079 | Galena Pass, LLC (Myrtle Mixed Use) | \$2,000,000.00 |
| | 17-110 | ARCH Community Housing Trust | \$1,600,000.00 |
| | 17-086 | Rosmarie Bogner | \$1,500,000.00 |
| 2016 | 16-135 | Atlantic Aviation | \$3,932,467.50 |
| | 16-081 | Old Cutters, Inc. | \$1,095,301.00 |
| | 16-007 | Albertsons | \$900,000.00 |
| | 16-028 | Justin and Gabby Lager | \$508,303.00 |
| 2015 | 15-050 | City of Hailey | \$4,516,642.00 |
| | 15-158 | Leadership Circle LLC | \$1,820,160.00 |
| | 15-135 | Evans Plumbing, Inc | \$900,000.00 |
| | 15-107 | Sun Valley Land Co.- King's Discount Store | \$717,750.00 |
| 2014 | 14-089 | Friedman Memorial Airport | \$7,500,000.00 |
| | 14-136 | Hailey Ice Inc. | \$3,168,300.00 |
| | 14-110 | Friedman Memorial Airport | \$2,700,000.00 |
| | 14-066 | Blaine County | \$1,307,527.00 |

* Data was collected during calendar year.

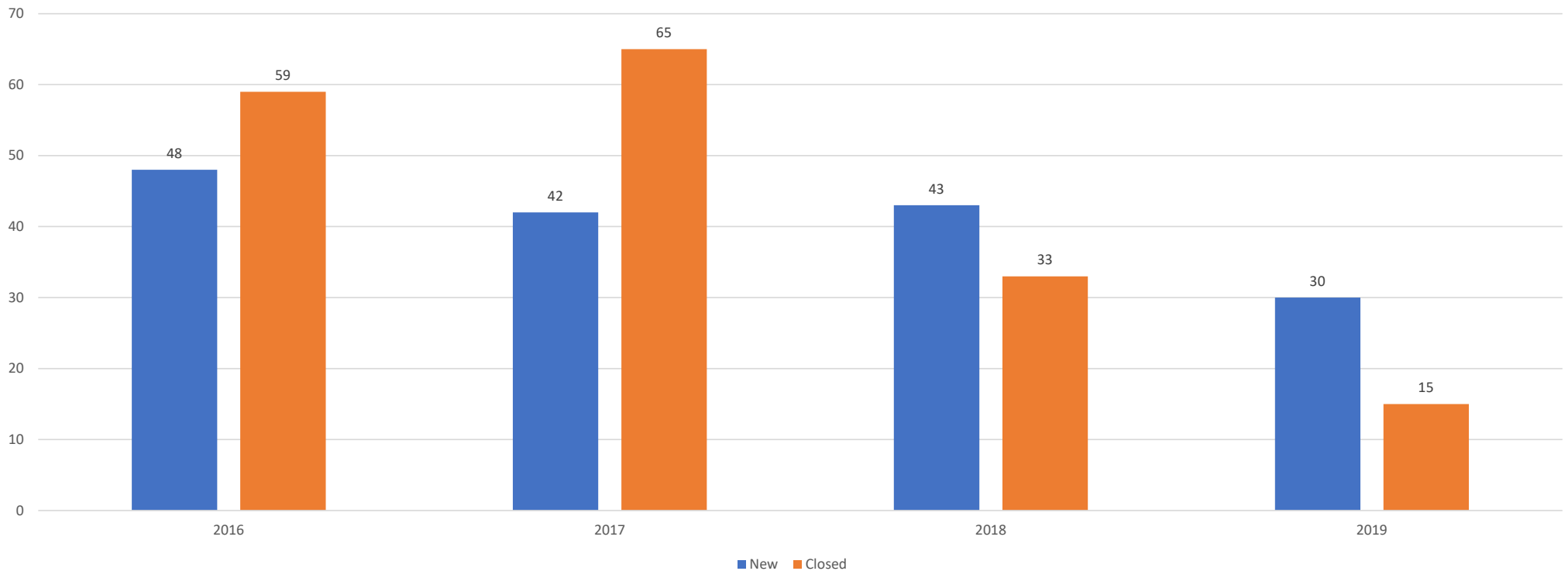
A Glimpse of 2019's New Businesses



Café Della



Business License New vs. Closed



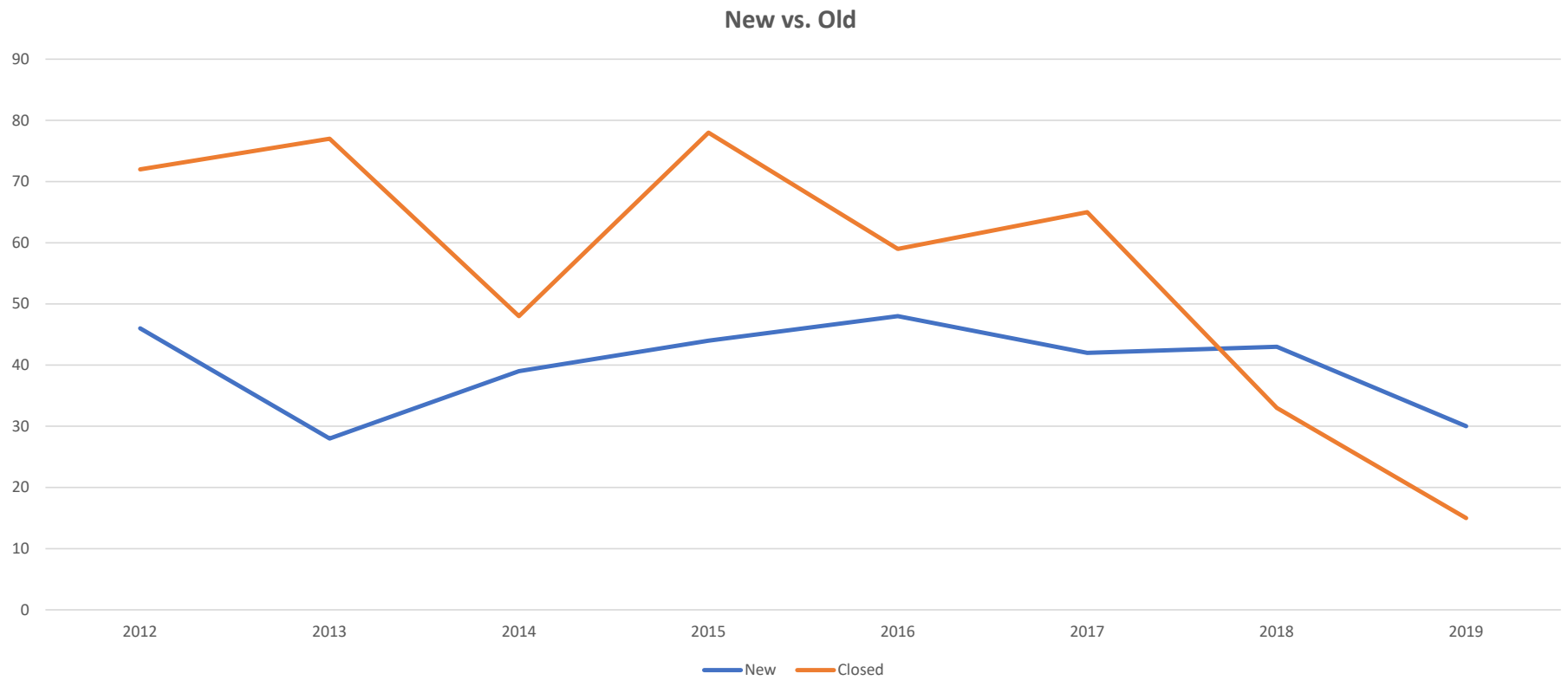
Business Activity

Total Active Businesses in 2019: 483

Increase of 13 New Businesses from 2018

** Data was collected during calendar year.*

Seven Year Comparison: Business Licensing



** Data was collected during calendar year.*

2019 Projects Approved by Planning and Zoning



Pioneer Storage Facility



McDonalds



Sweetwater Block 2, Sweetwater PUD Subdivision



Hailey Car Wash



Hailey Auto Clinic

Long Range Planning Projects

Diverse Housing Initiatives

- **Accessory Dwelling Units:** modify city codes to allow accessory dwelling units in all residential zone districts while addressing on-site parking, scale, neighborhood input, other issues (*ADU Workshop scheduled February 27th*)
- Implementation of **Downtown Residential Overlay:** facilitate successful projects that comply with the new code (*Initiated in 2018*)



- Other code Changes to **further Housing Goals:** develop additional code changes that can further housing goals while retaining great Hailey neighborhoods
- **Influence ongoing developments:** influence planning applications wherever possible to further housing goals
- Continue **project partnerships:** work with ARCH and other project partners to accomplish community housing (*Blaine Manor, Parcel O, Woodside*)



Resilient Hailey

- **Implement Mayors 2020 Resiliency Goals**
- Continue **resiliency collaboration** with other cities and the County as the best way to achieve goals (*Valley wide effort will achieve results*)
- **Influence ongoing developments:** influence planning applications wherever possible to further resiliency efforts
- **Franchise Agreements:** develop forward-thinking approach to current and future franchise agreements with utility providers (*Summer 2020 in collaboration with Admin and Public Works Departments*)



- Water Use: develop **innovative approaches to water conservation** and partnerships towards basin-wide water solutions (*Discussions underway with Public Works and other project partners*)
- Water Use: In collaboration with Blaine County and cities, turn “**Drought tolerant landscaping**” guidelines into standards





Cityscape and Nature

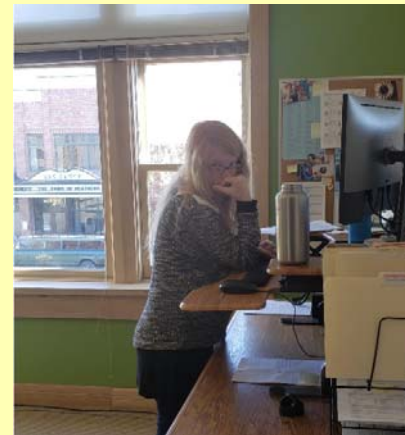


- **Hailey Town Square:** make it a reality!
- **Hailey Flower Project:** grow this seedling initiative and work with downtown businesses for continued success
- **Relocate Forest Service Warehouse Building**
- Grow **Special Events** consider ½ time Special Events coordinator
- Implement goals of **Hailey Arts and Historic Preservation** Commission
- Update **Hailey Greenway Master Plan**
- Pursue **camping** opportunities in or near Hailey
- **Re-envisioning Main Street:** work with the Public Works Department to “re-envision” Main Street in a way that serves pedestrians and increases quality of life
- **River Street:** next steps in the absence of full grant funding
- **Urban Renewal:** explore new Districts that improve blighted areas and provide incentives for vacant land
- **Urban Renewal:** continue partnerships with private sector as a way to achieve capital goals
- Re-write **Wireless Code** in conjunction with other cities and Blaine County



Operational

- Continue to improve **functional aspects** of department: permit processing, work flow
- **Train and mentor** my staff: they are the future of Hailey!
- Continue to **strengthen Building Codes** and building functions, with a growing focus on resiliency
- Expand **successful partner relationships** such as Public Works to achieve great projects and creative problem-solving approaches



Team Projects

Hailey

Flower

Project



Hailey Arts and Historic Preservation Commission

A sheep was chosen to be erected at the corner of Myrtle and Main Streets, in honor of the historical sheep migration route along Myrtle Street that is still used today.



Hailey Mural by Kevin M. Fitzpatrick, located on the North Wall of Jane's Artifacts.



In 2019, Hailey Arts and Historic Preservation completed the historic plaques for the J.C. Fox Building, Rialto Hotel, J.J. Tracy Building, W.H. Watt Building and the Wertheimer Building



Hailey Arts and Historic Preservation Commission 2020 Projects



- A new sculpture for Main Street
- The redesign and relocation of the Forest Service Building



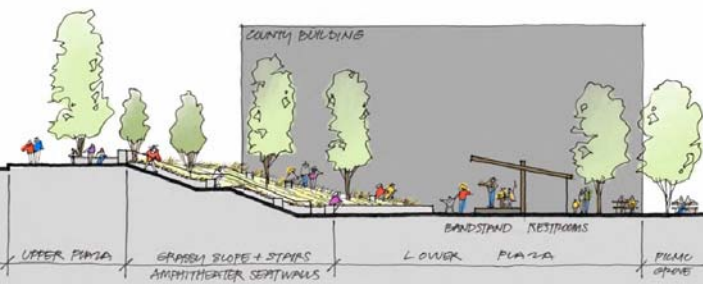
Hailey Urban Renewal

Resolution 19-002: Reimbursement Participation Agreement with Inntrusted, LLC

In April 2019 the Hailey Urban Renewal Agency signed their first Reimbursement Participation Agreement with Inntrusted, LLC for the project site of 711 N Main Street to be redeveloped and improved resulting in a Marriott Fairfield Inn and Suites. The Agreement will be in effective from April 25, 2019 to (1) the completion of all obligations of each Party; or (2) seven years following the issuance of a Certificate of Occupancy for the Participant's project.



Team Projects



Coming Soon: A Town Square Intended for Hailey.

Compiling the Data:

| Total # of Dots for Each Location | | | |
|-----------------------------------|-------|--------|-----|
| Letter | Green | Yellow | Red |
| A | 33 | 7 | 11 |
| B | 6 | 18 | 11 |
| C | 5 | 8 | 8 |
| D | 1 | 3 | 8 |
| E | 21 | 12 | 15 |
| F | 1 | 0 | 2 |
| G | 14 | 14 | 11 |
| H | 1 | 2 | 3 |
| I | 3 | 0 | 2 |
| J | 1 | 1 | 0 |
| K | 5 | 10 | 4 |

| Total # by Points | | | | |
|-------------------|------------|-------------|----------|--------------|
| Letter | Green (x3) | Yellow (x2) | Red (x1) | Total Points |
| A | 99 | 14 | 11 | 124 |
| B | 18 | 36 | 11 | 65 |
| C | 15 | 16 | 8 | 39 |
| D | 3 | 6 | 8 | 17 |
| E | 63 | 24 | 15 | 102 |
| F | 3 | 0 | 2 | 5 |
| G | 42 | 28 | 11 | 81 |
| H | 3 | 4 | 3 | 10 |
| I | 9 | 0 | 2 | 11 |
| J | 3 | 2 | 0 | 5 |
| K | 15 | 20 | 4 | 39 |

Legend:



Workshop One:
Location: Hailey Council Chambers
When: November 5, 2018 at 6:30pm
How many people attended: 20 people

Workshop Two:
Location: Hailey Public Library
When: November 13, 2018 at 4:30pm
How many people attended: 80 people

Hailey Town Square

- 12 potential sites narrowed 2
- 3 workshops
- 134 responses from the Survey



Return to Agenda