

AGENDA
Hailey Planning and Zoning Commission
Monday, May 15, 2023
4:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

From your computer, tablet, or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: [tel:+15713173122,,506287589#](tel:+15713173122,506287589#)

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda

- [CA 1](#) Adoption of Meeting Minutes dated May 1 2023. **ACTION ITEM.**
- [CA 2](#) Adoption of Findings of Fact, Conclusion of Law of a Rezone Application, in conjunction with a Development Agreement, submitted by Wood River Land Trust to rezone Lots 5 & 6, Block 39, Townsite (119 N 2nd Ave) from General Residential (GR) to Transitional (TN) Zoning Districts. **ACTION ITEM**
- [CA 3](#) Adoption of Findings of Fact, Conclusion of Law of a Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments. The proposed project will be located at 50 W. Maple Street (Lots 16-20, Block 5, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, and the Downtown Residential Overlay (DRO). The proposal also includes: eighteen (18) parking spaces, thirteen (13), two-bedroom units and five (5) studio units. **ACTION ITEM.**
- [CA 4](#) Adoption of Findings of Fact, Conclusion of Law of a Design Review Application submitted by Lido Equities Group Idaho, LLC c/o Edward Smith for seven (7) condominium buildings with three to five (3-5) units each, for a total of thirty-one (31) units, ranging in size from 778 square feet to 1,278 square feet. The proposed project is located on Woodside Boulevard, between Laurelwood and Winterhaven Drives on COPPER RANCH CONDO #1 AM PARCEL A5 PHASE 6 within the Limited Business (LB) Zoning District. This project is known as Copper Ranch Phase 6 and subject to the Copper Ranch Planned Unit Development Agreement. **ACTION ITEM**

Public Hearing

- **PH 1** Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapters 16.01, Definitions, 16.04, Development Standards and 16.08, Townhouses and Title 17: Zoning Regulations, Chapters 17.02, Definitions; 17.05, Official Zoning Map and District Use Matrix; 17.06, Design Review and 17.09 Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development. **ACTION ITEM**

- **PH 2** Consideration of a Preliminary Planned Unit Development Application, submitted by Darin and Kathleen Barfuss, to subdivide parcel 1371 Silver Star Drive (HAILEY FR S1/2 TL 7731 SEC 16 2N 18E) into five (5) single-family lots, ranging in size from 8,024 to 12,976 square feet, plus a 3,685 square foot park space. The Applicant also proposes to dedicate two (2) of the single-family residences as Community Housing Units and requests waivers to the following code requirements:
 - Lot Size: Reduce the minimum lot size of the LR-2 Zoning District
 - Park Space: Reduce the park space requirement.
 - Flag lots: Increase the maximum allowed number of flag lots in a subdivision from one (1) to two (2) **ACTION ITEM**

- **PH 3** Consideration of a Design Review Application submitted by the City of Hailey for a new 4,820 square feet mixed-use building consisting of two (2), one (1)-bedroom units above office and industrial space for the Hailey Water Division located at 4297 Glenbrook Drive (Lot 17 and 18, Parcel K, Sewer Plant, Block 42, Woodside Subdivision No. 10) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

Staff Reports and Discussion

- **SR 1** Discussion of current building activity, upcoming projects, and zoning code changes. *(To be presented as time permits)*
- **SR 2** Discussion of the next Planning and Zoning Meeting: **June 5, 2023 starts at 5:30 PM**
 - **TA:** Live/Work within LI or Public Use Definition
 - **DR:** Holt Garage

Return to Agenda

DIF Advisory Committee

[5:30:50 PM](#) Chair Fugate called to order.

CA 1 Motion to adopt Meeting Minutes dated April 17, 2023. (ACTION ITEM) Adjourn

[5:31:09 PM](#) Smith motion to approve CA 1. Scanlon seconded. Stone abstained. Remaining in Favor.

[5:31:34 PM](#) Scanlon motion to adjourn. Stone seconded. All in Favor.

AGENDA

Hailey Planning and Zoning Commission

Monday, May 1, 2023

5:30 p.m. (Begins after DIF Advisory Committee Hearing)

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Present

Commission: Dan Smith, Sage Sauerbrey, Janet Fugate, Owen Scanlon, Dustin Stone

Staff: Robyn Davis, Cece Osborn, Emily Rodrigue, Chris Simms, Christian Ervin

[5:31:47 PM](#) Call to Order

- Public Comment for items not on the Agenda.

[5:32:40 PM](#) Sue Ahern, Copper Ranch Lane, wanted to talk about something new from their meeting with the Board of Directors for Copper Ranch. There is new discussion going between Lido Apartments and Copper Ranch regarding north property line on Northside of Copper Ranch. Developer stated wants to eliminate the walkway between the two properties and add additional landscaping along the property line. This would help maintain privacy for the copper ranch owners who are the most affected by the size and scope of the Lido Apartments. It was also stated that screening will be provided to shield headlights that will shine directly into the copper ranch units. Woodside Blvd very conveniently connects Lido Apartments to the Gravity Fitness Center. Apartment residents can easily use Woodside for the Gym access. There is no need for these residents to cut through Copper Ranch Property. It's an invasion of privacy and security. Residents of Copper Ranch are in total support of the developers plan to move forward with this.

She respectfully request commissioners to look at this issue and approve that as this is an important improvement for the health safety and welfare for Copper Ranch residents.

[5:34:26 PM](#) Cindy Shearstone, Copper Ranch, would also like to comment on what Sue just said.

[5:34:54 PM](#) Chris Simms and commissioners discussed if these comments need to wait till Copper Ranch, PH 3.

[5:38:01 PM](#) Cindy Shearstone, wanted to thank the staff and developer of Lido Apartments that they were willing to go back to the drawing board look over what's going over there and the non necessity of having a walking path. The other comment wanted to make is that its a sad state of affairs in our City that it has come to this a year and half later and she was there starting off at the very first meeting of PZ and she was ignored and so were several other who came were ignored about issues of this being so close.

[5:39:08 PM](#) Bozena Morawski, distinctly seconds Sue Aherns comment about the walkway.

Consent Agenda

- [CA 1](#) Adoption of Meeting Minutes dated April 17, 2023. **ACTION ITEM.**
- [CA 2](#) Adoption of Findings of Fact, Conclusion of Law of a Amendment to the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.16: Development Impact Fees, Section 15.16.130: Development Impact Fee Schedule, to provide for annual adjustments tied to year-over-year inflationary increases in the cost of providing services. **ACTION ITEM.**
- [CA 3](#) Adoption of Findings of Fact, Conclusion of Law of a Text Amendment Application submitted by F & G Idaho, LLC, to amend Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Article M: Townsite Overlay, Section 17.04M.060(C): Maximum Building Height to remove the General Residential (GR) Zoning District from the maximum building height of thirty feet (30') outlined within the Townsite Overlay (TO) Zoning District. **ACTION ITEM.**
- [CA 4](#) Adoption of Findings of Fact, Conclusion of Law of a City-Initiated Text Amendment to amend Title 16: Subdivision Regulations, Chapter 16.03: Procedure, Section 16.03.020: Council Preliminary Plat Approval, Item D., to allow for City Staff and the City Engineer to approve and grant an extension of the preliminary plat. **ACTION ITEM.**

[5:39:56 PM](#) **Stone motioned to approve CA 2-4. Scanlon seconded. Sauerbrey abstained.**

Remaining in Favor.

[5:40:37 PM](#) **Stone motioned to approve CA 1. Smith seconded. Sauerbrey abstained. Remaining in Favor.**

Public Hearing

- [PH 1](#) [5:41:03 PM](#) Consideration of a Rezone Application, in conjunction with a Development Agreement, submitted by Wood River Land Trust to rezone Lots 5 & 6,

Block 39, Townsite (119 N 2nd Ave) from General Residential (GR) to Transitional (TN) Zoning Districts. **ACTION ITEM.**

[5:41:27 PM](#) Osborn introduced project location and provided summary of proposed project and site history. Osborn summarized why it's a sound basis for the proposed rezone. Osborn turned floor to applicant team.

[5:43:28 PM](#) Scott Boettger, stated the rezone was done in 2000. Boettger explained why proposing development agreement and projects history. Osborn noted she had conflicting dates on when structures were built. Boettger explained shacks were built earlier and then placed on the property in 1916.

[5:45:01 PM](#) Chair Fugate asked what would happen if the property changes hand, if zoning stays in place. Davis confirmed zoning would stay in place and development agreement would stay in place as its recorded.

[5:45:46 PM](#) Scanlon asked, referring to page 35 of staff report under subsection F about the verbiage, asking if applicant has existing plans in place in the event of a disaster. Boettger confirmed.

[5:47:06 PM](#) Stone asked for clarification on verbiage of null and void in the agreement. Simms and Stone discussed language proposed. Stone asked if trying to get more office space. Boettger confirmed. Stone asked if there's a reason not looking at existing office space. Boettger explained reasoning.

[5:49:20 PM](#) Smith referred to development agreement, noting document refers to eastern and in his mind is northern. Staff confirmed can amend language. Smith noted two typos- party and endure. Smith asked if there have been any comments from the neighbors. Boettger explained before even started process talked to the neighbors. Smith confirmed no negative comments. Boettger confirmed.

[5:51:30 PM](#) Sauerbrey asked for more information on conceptual garage/adu. Boettger explained new property in works for staff housing and how interns would still need space.

[5:52:37 PM](#) Smith asked if intended to utilize any of the bedrooms in the Anderson home. Boettger confirmed could potentially. Smith suggested amending language 1A.

[5:53:28 PM](#) **Chair Fugate opened public comment.**

[5:53:52 PM](#) Elizabeth Jeffery, block away, this is a chronically, there are like 8 cars parked in front of the original structure every day and wondering if this will move that parking strip all the way up the block in front of the buildings.

[5:54:49 PM](#) **Chair Fugate closed public comment.**

[5:54:58 PM](#) Boettger confirmed do not intend to expand the parking and opportunity to move the residents will help elevate the parking concern.

[5:55:30 PM](#) Stone asked if parking is called out. Osborn explained parking incentive for transitional zone. Davis noted right of way parking is allowed year round in the Townsite.

[5:56:08 PM](#) Scanlon asked if right of way parking covers the parking requirements. Staff confirmed. Scanlon asked if have onsite parking. Boettger explained parking and confirmed no issue parking for employees. Scanlon explained believes this project complies and should move forward.

[5:57:05 PM](#) No questions by Stone.

[5:57:15 PM](#) Smith agrees with Scanlon's comments. Sauerbrey agrees with what has already been said. Chair Fugate agreed as well.

[5:58:12 PM](#) **Smith motion to approve the Zone Change Application, submitted by the Wood River Land Trust for an amendment to the City of Hailey Zoning District Map, Section 17.05.020, proposing to change the underlying zoning for 119 N. 2nd Avenue (Hailey Lots 5 & 6 Blk 39 .138@ 6,000 Sf Exempt App Received 2022) from the General Residential (GR) to the Transitional (TN) Zoning District, within the Townsite Overlay (TO), finding that the changes are in accordance with the Comprehensive Plan, essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, the proposed uses are compatible with the surrounding area, and the proposed amendment will promote the public health, safety and general welfare. Scanlon seconded. All in Favor.**

- [PH 2 5:59:20 PM](#) Continuation of Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments. The proposed project will be located at 50 W. Maple Street (Lots 16-20, Block 5, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, and the Downtown Residential Overlay (DRO). The proposal also includes: eighteen (18) parking spaces, thirteen (13), two-bedroom units and five (5) studio units. **ACTION ITEM.**

[6:00:01 PM](#) Rodrigue summarized the original proposed project and how it exceeded proposed building height. Rodrigue summarized proposed text amendment that applicant submitted. Rodrigue explained since text amendment hearing, applicant has submitted revised plans adjusting project to be within current allowed building height.

[6:02:14 PM](#) Scanlon recused himself from this project and the commission for this project. Scanlon discussed alley and Maple Street paving requirements and that need some understanding on how to proceed. Scanlon noted adjustments made to landscaping and terrace. Scanlon made few comments regarding River Street Design Concept standards.

[6:05:25 PM](#) Sam Stahlnecker, asked for feedback on actual width of concrete for River Street Design, that they are proposing 8.5 feet. Stahlnecker explained reasoning on why would like to incorporate a retaining wall and how creating a small landscape strip would be difficult to maintain.

[6:07:02 PM](#) Scanlon asked to go to page 82 of staff report. Scanlon explained change to floor plan and how it amended the overall proposed height. Scanlon explained the design of the parapets and that

applies to the elevation design. Scanlon discussed the design of the garbage enclosures and that has submitted to Clear Creek for review.

[6:10:11 PM](#) Chair Fugate asked if it's his intention to go to the other plan should the zoning change. Scanlon explained what would do with the increased height and how that primary relates to drainage of the property.

[6:11:46 PM](#) Sauerbrey asked if would reincorporate the two bedroom design if that's the case. Scanlon confirmed. Sauerbrey asked about snow storage location. Scanlon area he is referring to his handicap parking. Sauerbrey asked if there is any snow storage. Scanlon stated it will all be hauled away. Sauerbrey asked if the property manager would handle all snow removal and if it needs to too. Davis explained a right of way maintenance agreement will be developed and that is where it would be captured. Sauerbrey asked about mini splits and if still has space. Scanlon confirmed will still install, and that will occur on the south or east of the roof. Sauerbrey asked if the change to go back to the lower height. Scanlon explained would like to get approval to tonight so can move forward and start construction. Sauerbrey asked about community and employee housing. Scanlon explained applicant's intent. Sauerbrey asked if could make sure as condition of approval as some sort of draft agreement. Davis stated staff would like to see deed restriction or language for community housing Scanlon will work with staff on that. Sauerbrey asked since losing the two bedrooms, if studio units would be better fit for employee housing. Scanlon stated that was discussed with the applicant.

[6:19:02 PM](#) Stone does not see condition of approval for community housing. Staff will add.

[6:19:31 PM](#) Smith asked if portion of building is flat roof. Scanlon confirmed all flat roof. Smith suggested staff make that note of flat roof. Smith asked about landscaping. Scanlon confirmed trees will be reasonable to obtain and install. Smith suggested that be clarified as well. Smith believes this proposal has some benefit. Smith thinks this will be a nice fit for the area. Smith asked if the sidewalk will extend out pass the street trees. Stahlnecker confirmed concrete does extend to asphalt.

[6:23:14 PM](#) Stone does not recall a landscaping strip needs to be there asked if city opposed to retaining wall. Staff confirmed no opposition. Stone is interested in the condition of approval that discusses work force housing.

[6:24:14 PM](#) Chair Fugate thinks need to see language for work force housing as well and that landscaping needs to be clarified too. Chair Fugate asked staff about the alley and striping. Davis stated alley is not paved, and that city will expect the applicant to regrade the alley but will not expect them to pave the alley. Davis explained the sidewalk. Davis confirmed will work with the applicant team internally to refrain what they have proposed. Stahlnecker confirmed that sounds good.

[6:26:47 PM](#) Stahlnecker explained what is before them is a design review and do not have a planned unit development. Stahlnecker does not believe the owner is ready to deed restrict the units, but happy to come up with some language with staff. Chair Fugate asked what work force housing means to the owner. Stahlnecker stated the owner's intent is to rent to community members and employees. Scanlon explained not afraid of language but concerned about saying cant rent for more than X. Discussion continued regarding language for work force housing.

[6:31:03 PM](#) Chair Fugate opened public comment.

[6:31:11 PM](#) Robert Richardson, 630 S River Street, appreciate landscaping and fencing modification. Believes verbiage states fence is only on the east but drawing shows east and west and would like that stated. Developer stated not tied to the pavers and he would be open to removal. [6:32:06 PM](#) Appreciate the changes to the height in this revision, then the alternative revision if the change is approved.

[6:32:39 PM](#) Chair Fugate closed public comment.

[6:33:13 PM](#) Commission reviewed conditions of approval, noting changes staff needs to make.

[6:40:19 PM](#) Commission staff and applicant discussed potential of removal of the proposed pavers near the pavers.

[6:46:48 PM](#) Sauerbrey motion to approve the Design Review Application by F & G Idaho, LLC, for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments and located at 50 W Maple Street (Lots 16-20, Block 5, Hailey Townsite, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (o) are met), as amended. Smith seconded. All in Favor.

[6:47:52 PM](#) Chair Fugate called for 5-min. break.

[6:54:59 PM](#) Chair Fugate called meeting back to order.

- **PH 3** [6:55:11 PM](#) Consideration of a Design Review Application submitted by Lido Equities Group Idaho, LLC c/o Edward Smith for seven (7) condominium buildings with three to five (3-5) units each, for a total of thirty-one (31) units, ranging in size from 778 square feet to 1,278 square feet. The proposed project is located on Woodside Boulevard, between Laurelwood and Winterhaven Drives on COPPER RANCH CONDO #1 AM PARCEL A5 PHASE 6 within the Limited Business (LB) Zoning District. This project is known as Copper Ranch Phase 6 and subject to the Copper Ranch Planned Unit Development Agreement. **ACTION ITEM.**

[6:55:52 PM](#) Osborn introduced project and provided summary of project history and proposal. Osborn noted amendments to application since last hearing. Osborn explained parking history and requirements and how the applicant has addressed concerns expressed. Osborn explained snow storage changes. Osborn explained applicants additional proposed waivers – setbacks, seven less housing units per the development agreement and to reduce parking requirement to standard required at time of subdivision development. Osborn noted applicants proposed amenity – bus pull out. Osborn turned floor to applicant team.

[7:01:42 PM](#) Jeffery Smith, introduced himself and his applicant team. J. Smith summarized efforts of working with staff and residents then turned floor to Sam Stahlnecker.

[7:02:55 PM](#) Stahlnecker went through the proposed changes. Stahlnecker noted existing condo plat where building 17 was proposed and will be going through the plat process for that.

Stahlnecker continued explain proposed changes with parking and snow storage. Stahlnecker confirmed snow storage is accessible. Stahlnecker explained there is a lengthy explanation for the proposed waivers.

[7:09:28 PM](#) Rick Stewart, addressed exterior lighting, snow clips, gutters and downspouts. Stewart stated explained where downspouts drain off too, confirming none go into or under roadways. Stewart went on to address energy efficiency, and the widening of the garage doors. Stewart provided a material board for the commission to review.

[7:14:21 PM](#) Scanlon asked if garages have man doors. Stewart stated all garages are overhead doors only. Scanlon expressed concern of only having overhead doors. Sauerbrey asked if could increase the garages. Stewart explained buildings were designed to code.

[7:16:56 PM](#) Smith noted have opportunity to install man doors. Smith pointed out options on floorplan where could install man doors to the garage. Commission discussed with applicant benefits of man doors and really encouraged applicant to consider including man doors to the garage.

[7:24:45 PM](#) Chris Simms offered options regarding discussion of man door.

[7:25:06 PM](#) Stewart explained changes from original design while trying to match existing structures.

[7:26:18 PM](#) Chair Fugate asked if the snow clips and downspouts will remedy the issue with ice on doorsteps and walkways on the other buildings. Stewart stated it will be better than nothing, will address to the best of their ability.

[7:27:14 PM](#) Sauerbrey asked if there are exterior lights for heat tape. Stewart confirmed.

[7:27:39 PM](#) **Chair Fugate opened public comment.**

[7:28:01 PM](#) Sue Ahearn, Copper Ranch, very encouraged with the applicant and that they have considered their concerns and acted on them. The parking is a huge huge issue for them who live there. Very encouraging fact that it is going to be paved. Ahern stated does have garage door with no man door, and when moved in was given a key that will unlock the garage door if it fails.

[7:29:22 PM](#) Jeff Hamilton, same as Sue, have a key. Copper Ranch owner and involved in our community and voting citizen of Hailey. Like many others had serious concerns about the safety and quality of our 200 residents. Understands the economic benefits of progress and a responsible project should never compromise safety and quality. Appreciate the City staff working with the developer. Hope whatever is approved here is worthy.

[7:31:20 PM](#) **Chair Fugate closed public comment.**

[7:31:48 PM](#) Scanlon complimented applicant team and how they worked with the residents.

[7:33:11 PM](#) Stone asked about the proposed snow storage access. Stahlnecker believes it could be accessed from the existing parking lot and the new parking lot. Stone suggested removing two trees in way of moving snow from new parking lot.

[7:34:24 PM](#) Chair Fugate asked how wide the access is from Gravity to the snow storage. Stahlnecker estimates that it is about 40 ft from edge of building. Stahlnecker explained showing areas and that can certainly look at other areas.

[7:36:13 PM](#) Stone complimented developer on listening to people in the neighborhood.

[7:37:16 PM](#) Smith suggested leaving as open as possible given the snow received last year. Smith complimented residents and applicant team on parking change and larger garage doors. Smith noted appreciation of addition of downspouts and gutters. Smith is looking forward to addition of landscaping. Smith stated thinks did good a job in trying to minimize issues raised.

[7:40:45 PM](#) Sauerbrey agrees with comments made, thanked applicant team considering neighbors' concerns. Sauerbrey thinks these are very well designed buildings. Sauerbrey hopes that in the future get to a point where can minimize parking and have adequate housing. Sauerbrey asked if the developer or applicant if they would be amendable to community housing. Stahlnecker explained applicant team did have a lengthy discussion and at this point does not believe it is a viable option at this time.

[7:46:14 PM](#) Smith thanked residents who attended. Chair Fugate agrees, and appreciate what the applicant team has done to accommodate the current and future owners. Chair Fugate is glad to see the snow shedding should be alleviated. Chair Fugate asked if applicant team is willing to find garage doors with a specific keep, suggesting making that a condition of approval.

[7:48:23 PM](#) Commission and staff reviewed conditions of approval.

[7:51:33 PM](#) Scanlon motion to approve the Design Review Application by Lido Equities Group Idaho, LLC, for construction of Phase 6 of the Copper Ranch Development, which includes the addition of thirty-one (31) residential units, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Title 17, Title 18, and City Standards, provided conditions (a) through (u) are met. Smith seconded. All in Favor.

Staff Reports and Discussion

- [SR 1](#) [7:54:31 PM](#) Discussion of current building activity, upcoming projects, and zoning code changes. *(To be presented as time permits)*
 - [2022 Annual Report](#)
 - [GGLO Presentation](#)

Davis summarized Annual Report and GGLO presentation from last City Council meeting.

- [SR 2](#) [8:01:32 PM](#) Discussion of the next Planning and Zoning Meeting: **May 15, 2023 starts at 4:30 PM**
 - TA: Cottage Housing
 - DR: City Water Shop

- PP: Starlight Lane

Staff summarized upcoming projects.

[8:06:44 PM](#) motioned to adjourn. seconded. All in Favor.

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 1, 2023 the Planning & Zoning Commission considered and approved a Zone Change Application submitted by the Wood River Land Trust for an amendment to the City of Hailey Zoning District Map, Section 17.05.020. The Applicant proposes to change the underlying zoning for 119 N. 2nd Avenue (Hailey Lots 5 & 6 Blk 39 .138@ 6,000 Sf Exempt App Received 2022) from the General Residential (GR) to the Transitional (TN) Zoning District, within the Townsite Overlay (TO). The rezone is affiliated with a draft Development Agreement that seeks to retain the historical nature of the structures on site.

Notice: Notice for the public hearing was mailed to property owners and agencies within 300 feet on April 7, 2023 and published in the Idaho Mountain Express on April 12, 2023. Notice was posted on the property on April 24, 2023.

FINDINGS OF FACT

Application: The Wood River Land Trust proposes to amend the underlying zoning of their 0.138-acre property at 119 N. 2nd Avenue (Hailey Lots 5 & 6 Blk 39 .138@ 6,000 Sf Exempt App Received 2022) from the General Residential (GR) to the Transitional (TN) Zoning District, maintaining the property's designation in the Townsite Overlay (TO) Zoning District. As shown below, the property borders the following zoning districts: General Residential (GR) to the north and east, Transitional (TN) to the south, and Business (B) to west.

Current Zoning



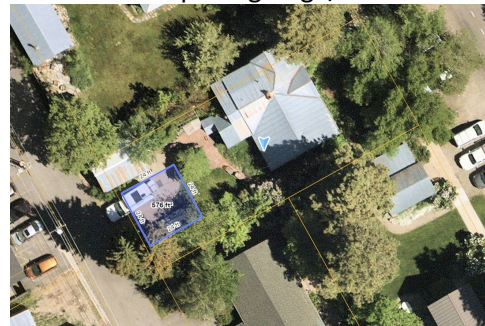
Proposed Zoning



N. 2nd Avenue Frontage



Conceptual garage/ADU



Analysis and Discussion:

The subject property is located east of the Main Street/State Highway 75, one-and-a-half (1.5) blocks east of the Central Core (CC) Overlay District. The lot borders Business (B) zoning to the west, Transitional (TN) to the south, and General Residential (GR) to the north and east. Further east is the Limited Residential (LR-1) zoning of Old Hailey. The subject property includes a historic structure that

was built in the early 20th century (1916), a feature that is characteristic of structures within the parcel's Townsite Overlay (TO) Zoning District.

In tandem with the Zone Change Application, the Applicant has submitted a draft Development Agreement that proposes to retain the historical nature of the structure and resembles an agreement associated with their adjacent property to the south, 119 E. Bullion Street, which was rezoned from GR to TN in 2020 for similar reasons.

The Zone Change Application for 119 N. 2nd Avenue can be understood as a continuation of the organization's land use and zoning at their adjacent property— the Applicant uses both sites for mixed commercial/office and residential uses. While mixed uses are allowed in the B and TN zoning districts to the west and south, the GR zoning district precludes commercial office use but allows for home occupations.

Of relevance, the existing and proposed Development Agreements for the Wood River Land Trust's properties on this block serve to prevent drastic development of the property and to retain the historical character of the buildings onsite. Historically, the buildings were used residentially. Aesthetically, they align with the residential quality of the buildings to the east in Old Hailey. Functionally, they house commercial uses that are softer than the uses to the west: a bustling grocery store with retail/wholesale trade, a health and fitness center with group classes, and more.

1. Existing Land Uses

- a. Adjacent to the:
 - i. North and East
 - 1. GR Zoning District
 - a. Single-family homes, residential
 - ii. South
 - 1. TN Zoning District
 - a. Mixed use: WRLT office, residential
 - b. Office: law office
 - c. Personal services: beauty salon
 - iii. West
 - 1. B Zoning District
 - a. Old Town Mercantile: three-story commercial building including office, retail, health and fitness, and more uses
 - b. Daycare Center: Kids Kampus Preschool Daycare
 - c. Healthcare and medical service: Hailey Eye Center
 - d. Office: The Nature Conservancy office

2. Purposes of the Zoning Districts:

- Townsite Overlay (TO):
 - o The purpose of the Townsite Overlay District is to promote the health, safety and welfare of current and future residents of the City of Hailey; to modify the bulk

requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey Townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create sufficient flexibility to allow for desirable development; to conserve building resources; and to enhance neighborhoods with increased pedestrian orientation, all in accordance with the city of Hailey comprehensive plan, for the desirable future development of the city of Hailey.

- General Residential (GR):
 - o The purpose of the GR District is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood.
- Transitional (TN):
 - o The purpose of the TN District is to provide a buffer zone between residential and business areas within the townsite overly district. The zone provides for restricted business activities within residential areas which are directly adjacent to or across a street or alley from established business zones. Uses shall be limited to those that generate relatively little traffic. The residential character of the area shall be maintained by preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area and requiring adequate onsite parking. The term “transitional” does not imply that the properties within the district will be transitioning from residential to business zoning.
- Business (B):
 - o The purpose of the B District is to provide areas for general business and commercial activities and a limited number of residential uses.
- 119 N. 2nd Avenue (Hailey Lots 5 & 6 Blk 39 .138@ 6,000 Sf Exempt App Received 2022)
 - o The Applicant is proposing that the parcel, currently zoned within GR be rezoned to TN.
 - o The proposed zoning— as well as the Applicant’s current uses and future intentions for the site— continues to allow for residential uses and expands the allowable commercial uses. Staff concurs that the parcel’s location adjacent to the B Zoning District, as well as the softer nature of the mixed office/residential use, justifies an increase in commercial uses to the extent allowed by the TN Zoning District. Notably, the proposed Development Agreement aligns with a tenet of the TN Zoning District: “preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area.” The Development Agreement affiliated with this Zone Change Application proposes to ensure the historical and residential quality of the 1914 building.

3. Bulk Requirements Comparison:

As described in the rightmost column of the first table, the proposed rezone presents negligible changes to the bulk requirements. If approved, the rezone would:

- o Increase the base side setback by two feet (2’); however, overall, the side setback may decrease depending on the height of the existing building;

- Decrease permissible lot coverage, unless 75% or more of the required parking may be provided in an enclosed structure.

Aside from types of units permitted in TN versus GR, the rezone application presents no other changes to the bulk requirements for this parcel.

		Zoning Districts		Summary of proposed changes
		Existing	Proposed	
		GR, TO	TN, TO	
Lot dimensions	Minimum lot size (square feet)	6,000 ⁵	6,000 ⁵	No change.
	Minimum lot width (feet)	50 ⁶	50 ⁶	No change.
Building Height	Maximum building height	35 ^{21,22}	35	No change.
Setbacks	Minimum front yard setback (feet)	20	20	No change.
	Minimum side yard setback (feet)	8 ^{7, 19, 20, 24}	10 ^{7, 19, 20}	Minimal change: Two-foot (2') change in the base setback, dependent on building height.
	Minimum rear yard setback (feet)	10 ^{7, 19, 20}	10 ^{7, 19, 20}	No change.
Multi-family and mixed-use density	Mixed use residential density: maximum units per acre	-	10	Change in permitted uses or types of units.
	Multi-family residential density: maximum units per acre	10	10	No change.
Total lot coverage	Total maximum coverage by all buildings, which includes 1 accessory dwelling unit (percentage)	40	30 ¹⁰	Decrease in total lot coverage. No change if 75% of the required parking spaces are enclosed within a structure, see Note 10.
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	-	No change.
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	-	No change.

Notes:

5. (not applicable)	In GR and TN Zones, townhouse sublots shall have an aggregate density of no more than 10 lots per acre.
6. (not applicable)	Townhouse sublots shall conform to the standards established in the IFC.
7. (not applicable)	Townhouse unit shall be allowed 0 setbacks from the lot lines created by a townhouse subplot and the separation of the

	building containing townhouse units in a townhouse development parcel shall be not less than 6 feet as measured between any wall or any projection of a building, including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or the minimum distance required by the IBC and IFC, whichever is greater.
10. (applicable)	In TN Zone, 40 percent lot coverage will be allowed where at least 75 percent of required parking spaces are enclosed within a structure.
19. (not applicable, pertinent to corner and reverse corner lots)	See also subsections 17.07.010 F and G of this title.
20. (not applicable, pertinent to corner and reverse corner lots)	See also subsections 17.07.010 F and G of this title.
21. (not applicable)	For a building with any portion of the building footprint within the special flood hazard area, building height shall be measured 2 feet above the base flood elevation (BFE).
22. (not applicable)	For buildings in the Limited Residential (LR) Zone Districts, buildings shall in no instance exceed a building height of 32 feet from record grade. For buildings in the General Residential (GR) Zone Districts, buildings shall in no case exceed a building height of 35 feet from record grade.
24. (applicable to the existing zoning and comparison)	Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one foot (1') for every two and one-half feet (21/2') of wall height (see section 17.04M.090, Diagram 1, of the Hailey Municipal Code), but not less than the base setback for the GR Zone District. This shall apply to walls on the side yards of properties but shall not apply to sublots within a development.

Criteria for Review:

17.14.060(A) Criteria Specified: When evaluating any proposed amendment under this Article, the Commission shall make findings of fact on the following criteria:

1) The proposed amendment is in accordance with the Comprehensive Plan;

The Comprehensive Plan aims to “Retain a compact City comprised of a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted on the Land Use map” (Goal 5.1, pg. 29). The Land Use Map depicts broad community goals, meant to guide land use decisions. On the Land Use Map, the Wood River Land Trust’s parcel is located on the periphery of the “Downtown” core, in the “Residential Buffer” and along a “Pedestrian & Bicycle Route” (2nd Avenue). The Comprehensive Plan (pg. 29) describes the intent of the related areas, as follows.

Downtown - the historic commercial center containing the greatest concentration of commercial, cultural, and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.

The historical relevance of the Wood River Land Trust's buildings and the parcel's proximity to the Downtown core increase the relevance of the proposed Development Agreement. City Staff is in strong support of the stipulations of the agreement, which can prevent development and retain the historical character of the early 20th century building. The history and culture of Hailey are imbued in historic structures, like the one at 119 N. 2nd Avenue. In offering measures to preserve the historic structure, the Applicant and the Development Agreement affiliated with this Zone Change Application support the Comprehensive Plan's goals for Downtown Hailey. Additionally, the proposed mixed uses of the building support the commercial and civic activity of modern Downtown Hailey.

Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.

The proposed rezone to the TN Zoning District soundly aligns with the parcel's location in the "Residential Buffer." By changing the nature of the site's uses, the proposed rezone will create a buffer zone between residential and commercial uses on the periphery of Hailey's Downtown core. When elaborating on the importance of Hailey's Downtown, the Plan stresses the value of mixed-use buildings:

Promoting mixed use in Downtown ensures a diversified, sustainable economic condition. Mixed-use buildings lining Downtown Main Street allow for commercial activity on the ground floor with residences or offices above. This type of planning helps maintain the neighborhood scale. These types of buildings also ensure round the clock activity and eyes on the street for added safety.

As stated on page 27 of the Comprehensive Plan, "Successful downtowns are dependent on a mix of complementary activities that help generate human activity and foot traffic." As evidenced by the current use of the parcel, as well as the adjacent parcel, the proposed residential and commercial uses are complementary to each other and beneficial, on principle, to the Downtown core.

Finding: Compliance. The Commission found that this criterion was met.

2) Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

Public facilities and services are available to support the proposed uses on site and generally permitted by the proposed TN Zoning District. Firstly, the change of uses from the GR to TN Zoning Districts are not significant; the TN Zoning District allows for soft commercial uses that are friendly to residential neighborhoods. Secondly, the uses permitted by the TN Zoning District are already occurring on site, as well as on the adjacent parcel.

Though no plans to redevelop the site are proposed at this time, the Applicant has submitted conceptual plans for a garage/ADU. Such infill development— which is encouraged at this site, per the purpose of the Townsite Overlay (TO) Zoning District and goals of the Comprehensive Plan— makes efficient use of public facilities and services; and, is vastly preferred to expanding into the undeveloped natural landscape surrounding Hailey.

Finding: Compliance. The Commission found that this criterion was met.

3) The proposed uses are compatible with the surrounding area; and

As discussed at the beginning of this report, the proposed rezone can be understood as a continuation of the organization's land use and zoning of their adjacent property. The Applicant uses both sites for mixed uses, specifically commercial office and residential uses. Increasing the TN Zoning District at this site proposes to expand the "residential buffer" that exists in the limited TN zoning and is envisioned by the Comprehensive Plan Land Use Map. Aside from the adjacent uses in the TN Zoning District, the proposed uses at 119 N. 2nd Avenue include uses that exist on either side of the parcel: 1) offices that are less-public facing than harder commercial uses, and 2) residences. City Staff concurs that the proposed uses are compatible with the surrounding area.

Finding: Compliance. The Commission found that this criterion was met.

4) The proposed amendment will promote public health, safety, and general welfare.

City Staff notes a strong basis in the Hailey Comprehensive Plan for this type of amendment— mixed use near the Downtown core and effective residential buffers. By adhering to Hailey's robust Comprehensive Plan, the people and community of Hailey stand to benefit from strategic and smart land use planning that enhances the quality of places and efficiently distributed resources.

Finding: Compliance. The Commission found that this criterion was met.

Action: The Commission is required by the Hailey Municipal Code to make a recommendation to the Hailey City Council based on compliance with the Comprehensive Plan and the following criteria:

17.14.040(B) Recommendation.

- 1. Following the hearing, if the Commission or Hearing Examiner makes a substantial change from what was presented at the hearing, the Commission or Hearing Examiner may either conduct a further hearing after providing notice of its recommendation, or make its recommendations to the Council, provided the notice of the Commission's or Hearing Examiner's recommendation shall be included in the notice of the hearing to be conducted by the Council.**
- 2. The Commission or Hearing Examiner shall recommend, with reasons therefore, to the Council that the proposed amendment be granted or denied, or that a modified amendment is granted.**
- 3. If the proposal initiated by an Applicant is not in accordance with the Comprehensive Plan, the Commission or Hearing Examiner shall notify the Applicant of this finding and inform the Applicant that the Applicant must apply for an amendment to the Comprehensive Plan before the Hailey Municipal Code or Zoning Map can be amended.**

A. The Hearing Examiner or Commission and Council shall make findings of fact on the following criteria:

- 1. The proposed amendment is in accordance with the comprehensive plan;**
- 2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**
- 3. The proposed uses are compatible with the surrounding area; and**

4. The proposed amendment will promote the public health, safety and general welfare.

B. Rezones: When evaluating any proposed zoning ordinance map amendment to rezone property to business (B) zoning district, limited business (LB) zoning district or transitional (TN) zoning district, the hearing examiner or commission and council shall consider the following:

- 1. Vacancy rates of existing buildings and land within the existing business (B), limited business (LB) or transitional (TN) zoning districts. A lower vacancy rate will favor a rezone, while a higher vacancy rate will not favor a rezone.**
- 2. The distance of the parcel proposed for rezone from the central core overlay district boundary. A shorter distance from the central core overlay district boundary will favor a rezone, while a longer distance from the central core overlay district boundary will not favor a rezone. (Ord. 1191, 2015).**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.14.040(A), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.14, Amendment, other Chapters of Title 17, and City Standards.

DECISION

The Commission recommends to approve the Zone Change Application submitted by the Wood River Land Trust to rezone 119 N. 2nd Avenue (Hailey Lots 5 & 6 Blk 39 .138@ 6,000 Sf Exempt App Received 2022) from the General Residential (GR) to the Transitional (TN) Zoning District, within the Townsite Overlay (TO), finding that the changes are in accordance with the Comprehensive Plan, essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, the proposed uses are compatible with the surrounding area, and the proposed amendment will promote the public health, safety and general welfare; and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.14, Amendment, additional applicable requirements of Title 17, Title 18, and City Standards.

Signed this ____ day of _____, 2023.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 1, 2023, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments. The proposed project will be located at 50 W. Maple Street (Lots 16-20, Block 5, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, and the Downtown Residential Overlay (DRO). The proposal also includes: eighteen (18) parking spaces, thirteen (13), two-bedroom units and five (5) studio units.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 1, 2023 and mailed to property owners within 300 feet on March 1, 2023. No additional notices were sent, or publications made.

Background and Project Overview: On March 20, 2023, the Commission reviewed the Applicant's Design Review proposal to construct two (2) new apartment buildings, that are three stories in height, on the vacant parcel of Lots 16-20, Block 5, Hailey Townsite. This project, to be known as Maple Street Apartments, will comply with the GR, TO, and DRO requirements, and was originally proposed as follows:

- Building A: Six (6) residential units
- Building B: Twelve (12) residential units
- Onsite Parking Spaces: 18 spaces
- Public Right-of-Way Improvements:
 - River Street Typical Section with Bulbout, Landscaping, Street Trees, Sidewalk/Bike Path
 - River Street: 11 public right-of-way parking spaces
- Vehicular access to the site from the existing alley
- Varied unit sizes and number of bedrooms:
 - Eight (8) two-bedroom units at 846 square feet
 - Seven (7) two-bedroom units at 820 square feet
 - Three (3) studio units at 484 square feet
- Storage space is available for each unit.
- Approximately 4,200 square feet of common useable open space was proposed.

The original proposed buildings were three (3) stories in tall, which resulted in an overall building height of approximately 31' 9 ³/₄". This iteration of the project exceeded the building height maximum of the Townsite Overlay (TO) Zoning District by 1'-9 ³/₄" from record grade. Staff notified the Applicant and suggested that the overall building height proposed be reduced to meet the required building height of the district, or 30'.

Prior to the first Design Review Hearing for this project, the Applicant submitted a Text Amendment Application proposing to amend the maximum building height of the GR and TO Zoning Districts, from 30' to 35'. This height amendment would bring the proposed Maple Street building design into TO District compliance. City Staff recommended that the Text Amendment Application be amended to apply to the DRO District, instead of the TO District, citing a lesser degree of impact such a change would have for surrounding residents in the DRO versus the TO. The Text Amendment Application was heard

by the Planning and Zoning Commission on April 17, 2023, at which time the Commission concurred with the DRO amendment recommendation from City Staff. Commissioners unanimously motioned to recommend approval to the Hailey City Council the Text Amendment, referring to increasing the maximum building height to 35' to those parcels located in the DRO.

On April 19, 2023, the Applicant submitted revised building plans, bringing all proposed structures of Maple Street Apartments into compliance with the existing 30' maximum building height in the TO/DRO, as currently permitted by Hailey Municipal Code. This revision necessitated floor plan adjustments to the northern portion of the third floor on Building B (along River Street). The adjustments now show two (2) studio units of 480 square feet in this area, replacing two (2) two-bedroom units that were originally planned for that portion of Building B. A westerly-pitched roof, situated well below the 30' maximum height, now occupies the area of the building that was originally demonstrating non-compliance. The project's net-loss of bedrooms associated with the revision is two (2).

The Planning and Zoning Commission held a continuation of the Design Review Public Hearing process on May 1, 2023, at which point they reviewed the revised building plans and provided the Applicant with clarification and feedback on their application. The Commission unanimously motioned to approve the Design Review Application by F & G Idaho, LLC, and they also offered the Applicant the following suggestions and additional Conditions of Approval:

- **Ensure all right-of-way improvements apply the City of Hailey's River Street Standard Drawings/Typical Section, and that any variations to the Standard Drawings receive City Staff approval.** While City Staff would prefer to see the Applicant install 6' wide street sidewalks along the project's River Street frontage, Commissioners and Staff agreed to allow the Applicant to construct 8.5' wide sidewalks, recognizing the challenges associated with additional site landscaping that would result from decreasing the sidewalk width. The Applicant confirmed that the proposed 18" retaining wall directly adjacent to the River Street sidewalk improvements would be included as planned. Additionally, Staff and Commissioners informed the Applicant that the proposed crosswalk striping for Maple Street would only be required for the paved portion of the right-of-way, but that the Applicant shall be responsible for installing thermoplastic crosswalk stops at the gravel edge on both the north and south side of Maple Street. Condition of Approval "(c) vi." now reflects this distinction.
- **Provide additional screening/buffering measures for the patio area on the northern property line, thus reducing the impacts of site activity for the adjacent parcel owners.** The Commission revisited previously held concerns with patio placement and impact for the proposed open space along the project's northern property line. The Applicant submitted a revised landscape plan that includes the addition of twenty-four (24) deciduous shrubs (6'-12' at maturity) to buffer the patio area. Conflicting landscape plans necessitated clarification from the Applicant regarding the fence extension along the northern property boundary, at which point the Applicant assured Staff and Commissioners that they would be fully willing and able to extend the fence along the entire northern boundary, if so desired. Relocating the patio space (creating more physical separation) and swapping patio pavers in exchange for turf (discouraging prolonged use of the area) were also both offered as suggestions to reduce the impact of Maple Street residents on the adjoining property owners. Site topography and increased landscaping needs were both identified by the Applicant and City Staff as discouraging factors in implementing the aforementioned suggestions.

- **Ensure that all disturbances to the eastern alleyway are repaired to their original state.** The Applicant requested clarification on Condition of Approval “c) i.”, which addresses asphalt replacement for alley asphalt disturbances greater than 25% of the alley area adjoining the property. The alley directly to the east of the property is not currently paved, and the Applicant shared concerns about their responsibility for paving the entirety of the alley, as they would likely be disturbing more than 25% of the alley area. Staff and the Commission confirmed for the Applicant that they would not be responsible for repaving the entirety of the alley, and the Applicant agreed to replace and repair all disturbed alley surfaces to their original state. This would include scraping and regrading the dirt surface that is currently present, once construction and disturbance is complete. This clarification is now reflected in the Conditions of Approval.
- **Provide an updated landscaping plan.** The Commission highlighted that the Applicant’s most recently submitted landscaping plan shows Conifer Trees with an 8’-12’ caliper, whereas this should actually read 8”-12” caliper. The Commission requested an updated landscaping plan as a Condition of Approval, now shown as “n”).
- **Provide a statement from the owner of Maple Street Apartments that restricts unit occupancy to those individuals who live and work full-time in the local community.** As this project is not a Planned Unit Development (PUD), Staff and Commissioners cannot require the Applicant to offer community housing amenities. However, the Applicant expressed great interest in offering the units as rentals for local workers, at a rate commensurate to prevailing wages for the City of Hailey and Blaine County. City Staff and Commissioners wish to work with the Applicant to craft an occupancy commitment that capitalizes on Applicant/Developer intent/interest, ensuring that Maple Street Apartments alleviates community/local workforce housing supply shortages to some degree. The Applicant, City Staff, and Commissioners mutually agreed to an additional Condition of Approval, Condition “o)”, which states that the Applicant shall restrict housing units, as developed with, and recommended by Staff, prior to issuance of a Certificate of Occupancy.

Procedural History: The Applicant submitted a Design Review Preapplication on March 15, 2022 and it was certified complete on March 22, 2022. A subsequent public hearing before the Planning and Zoning Commission was then held on Monday, June 6, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

The Applicant then submitted a full Design Review Application on January 26, 2023, and a public hearing before the Planning and Zoning Commission was held on March 20, 2023. Design Review was continued to May 1, 2023, at which time the Commission motioned to approve the Application.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application <i>Finding: Compliance. This standard has been met.</i>
				Engineering:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Life/Safety: <i>The building shall comply with IFC and IBC code requirements. A building sprinkler system and alarm system shall be installed, as set forth in the IFC. These have been made Conditions of Approval. Finding: Compliance. This standard has been met.</i></p> <p>Streets, Water & Wastewater: Streets: <i>All infrastructure will require detailed final construction drawings to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures, including adherence to the River Street Typical Section/Standard Drawing. Components that will need to be finalized between the Applicant, Staff, City Engineer, and Project Contractor at the project's Preconstruction Meeting include, but are not limited to:</i></p> <ul style="list-style-type: none"> - Sidewalk Improvements - Street tree wells/landscaping areas - Streetlights - Bulbout dimensions and curvature - ROW parking - Site drainage - Irrigation and electrical plans - "No Parking" signs be installed along the project sidewalk frontage on Maple Street. - Snow Parking sign bases shall be installed along River Street. - The Applicant shall work with the City Engineer to select quantity, placement, and overall design of all project signs and adhere to all requirements listed in Section 18.14.014(D) of the Hailey Municipal Code. <p><i>These have been made Conditions of Approval.</i></p> <p>Water: <i>The Applicant shall abandon any existing, unused water services. This has been made a Condition of Approval.</i></p> <p>Wastewater:</p> <ul style="list-style-type: none"> - <i>Currently, there is no sewer tap from the city for the parcel; a new sewer tap shall be installed at the center of the property, in relation to the sewer mainline.</i> - <i>The new sewer tap shall be witnessed, and in the case that this is not possible, be supplied the "coupon" from the sewer main.</i> - <i>While the sewer mainline is exposed, it shall be inspected by the Wastewater Division.</i> <p><i>These have been made Conditions of Approval. Finding: Compliance. These standards have been met.</i></p> <p>Building: N/A</p> <p>Parks and Greenspace: N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			Staff Comments	<p><i>No signage exceeding four square feet in sign area is proposed at this time.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of two (2) apartment buildings (A and B) with a total of eighteen (18) residential units. The site plan shows a total of eighteen (18) onsite parking spaces, of which, one (1) parking space is an accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or four (4) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of four (4) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and street parking along River Street. Eleven (11) street parking spaces are proposed along River Street. Right-of-way parking spaces on River Street shall use shortened “head-in” parking lines and adhere to the River Street Standard Drawings. This has been made a Condition of Approval.</i></p> <p><i>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions to winter parking within the public right-of-way. This has been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.
			Staff Comments	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located, and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.

				<p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<p><i>The Applicant shall install Dark Sky compliant, downcast, and low wattage fixtures, and shall comply with the Outdoor Lighting Ordinance.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04M.060 Bulk Requirements	<p>General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts:</p>
			<i>Staff Comments</i>	<p>Building Height:</p> <ul style="list-style-type: none"> - Permitted Building Height: 30’. - Proposed Building Height: 28’ 1”. <p><i>The Applicant originally submitted engineering plans that reported both Building A and Building B at a height of 31’ 9 ¾”. This proposed design was not compliant with Hailey Municipal Code for building height in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The Applicant submitted a Text Amendment Application which increased the maximum building height in the GR and TO Zoning Districts to 35’. Per recommendation of City Staff, this Application was revised to apply to the Downtown Residential Overlay (DRO) District, instead of the TO. This revised Application was recommended for approval by City Council, per the Planning and Zoning Commission. Newly submitted plans show the proposed building height below the maximum building height currently set by Hailey Municipal Code. If the proposed DRO Text Amendment is not adopted by the Hailey City Council, the current proposed building heights of Maple Street Apartments will still remain in compliance with GR/TO/DRO Bulk Requirements as currently codified.</i></p> <p>Building Setbacks:</p> <ul style="list-style-type: none"> - Permitted Setbacks: <ul style="list-style-type: none"> o Front Yard: 12’ o Side Yards: Alleyway: 6’; Private Property: 10’; Right of Way: 12’ o Rear Yard: Alleyway: 6’; Private Property: 10’ - Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard: Building A: 20’; Building B: 20’ o Side Yard: Building A, east: 10’, west: 20’; Building B, south: 22’, north: 15’ <p><i>Rear Yard: Building A, 20’; Building B, 26’ Maximum Lot Coverage:</i></p> <p><i>Total footprint for both buildings as proposed is 4,826 square feet, not including the open stairwells; Lot size is 20,393 square feet.</i></p> <p><i>General Residential (GR) District with lots larger than 4,500 square feet, and building proposed is 2 or more stories above grade with no garage:</i></p> <ul style="list-style-type: none"> o Permitted Coverage: 25% o Proposed Coverage: 23.7% <p><i>The original proposed lot coverage was not compliant with Hailey Municipal Code for maximum lot coverage. After discussion with the City Attorney and analysis of the Hailey Municipal Code, it was found that unenclosed stairwells, as presented in this project, are not explicitly considered as part of the overall building footprint. With this interpretation, the overall building footprint and lot coverage is now in compliance with Hailey Municipal Code.</i></p>

				<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<p><i>The Applicant originally proposed River Street sidewalk width to be 8.5'. City Staff requested that this frontage be reduced to a 6' width, with infill landscaping provided in the 6.5' width area previously proposed with concrete sidewalk. After consideration of the additional effort and resources that infill landscaping would require (plantings, more irrigation, etc.), City Staff will allow for the sidewalk width to remain at 8.5', contrary to the River Street Typical Section/Standard Drawing.</i></p> <p><i>Staff still request that the newly installed sidewalk provide a transition/end treatment for future tie in at the northern extent of the project's right-of-way improvements along River Street.</i></p> <p><i>A new 5.5' wide concrete sidewalk is proposed along the Maple Street frontage or the full extent of the southern edge of the parcel. Per the River Street Typical Section Drawings, the minimum sidewalk widths for side street sidewalks are six feet (6'). That said, the public right-of-way is narrower than traditional downtown streets and the Public Works Department will work internally with the Applicant as to a suitable sidewalk width given the substandard ROW width.</i></p> <p><i>All right-of-way improvements impacting asphalt areas adjacent to curb and gutter features shall carry a finished grade not to exceed four percent (4%), or prior approval by the City Engineer. This has been made a Condition of Approval.</i></p> <p><i>Components that will need to be finalized between the Applicant, Staff, City Engineer, and Project Contractor at the project's Preconstruction Meeting include, but are not limited to:</i></p> <ul style="list-style-type: none"> - Sidewalk Improvements - Street tree wells/landscaping areas - Streetlights - Bulbout dimensions and curvature - ROW parking - Irrigation and electrical plans - Street signage <p><i>These have been made Conditions of Approval.</i></p> <p><i>Additionally, both areas of street improvement do not currently host any sidewalks or bike lanes. The improvements will also include the addition of 11 street trees. One (1) street drywell and catch basin will be installed adjacent to the River Street improvements. All sidewalks will be lined with 6" concrete vertical curbs.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>Finding: Compliance. This standard will be met.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<p><i>Building A follows an east-west orientation that maximizes sun exposure for all units. This orientation is complimented by juliette balconies connected to the living/dining areas (2-bedroom units) and living/bedroom areas (studio units) on the 2nd and 3rd floors. A 1,553 square foot patio space buffers the south elevation of Building A, which provides all residents with a well-lit, spacious area to enjoy.</i></p> <p><i>Building B follows a north-south orientation, with the southern-most section of the building benefiting from maximum sun exposure. Juliette balconies on the west elevation are also included for each of the 2nd and 3rd floor units. A grass area with tree/shrub plantings buffers the entirety of the west elevation of Building B. This grass area has an additional pathway providing connection to the patio area, thus encouraging shared use of both exterior spaces.</i></p> <p><i>Ground level units each have sliding glass doors exiting from the unit directly into either patio space (Building A) or green space (Building B), further maximizing sun exposure and access to outdoor spaces.</i></p> <p><i>A second patio area of 540 square feet is offset from the northern elevation of Building B. The location of this patio will provide residents with a more shaded and temperate outdoor space to enjoy, with partial shade being provided by Building B and twenty-four (24) deciduous shrub plantings now proposed along the northern boundary of the site. This patio will also host four (4) "U" style bike racks, totaling sixteen (16) bike spaces on site.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated, or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p><i>At this time, there appears to only be a single tree on the lot that will be removed, of at least a 6-inch caliper. Deep snow cover and subsequent late spring growth prevented Staff from inspecting other plant material at the site. Anecdotal evidence suggests that a mix of native grasses and shrubs occupy the entirety of the site.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<p><i>Site circulation has been designed to keep vehicular access and onsite parking to the existing alley. Sidewalks and right-of-way improvements are planned for the southern and western lengths of the parcel, with a buffered bike lane proposed along River Street (west) and a bike advisory lane proposed along Maple Street (south), directly adjacent to the larger of the two proposed patio areas.</i></p> <p><i>Sidewalks are also proposed along the interior portions of Building A and B, skirting the western and southern extents of the parking area. Bike rack areas have also been placed in locations that do not require the bicyclist to enter/exit the parking area in order to access the street, thus reducing risk and enhancing safety for access through the site and to the building.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	<p><i>Trash receptacles, recycling and utility boxes are located to the rear of the site/parking area and away from both buildings. They will be screened from view with planted trees and shrubs, and their location does not interfere with any foreseen uses. Snow will be hauled from the site, eliminating conflict with snow storage. The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure location. This has been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<p><i>The existing alley will be utilized for building services.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A, as no vending machines are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<p><i>Onsite parking is accessed off of the existing alley and is screened from both River and Maple Streets. Main access to both Building A and B faces the onsite parking area.</i></p> <p><i>Snow will be hauled and removed from the site, including from all pedestrian gathering areas. Thus, onsite parking will not be obstructed from snow accumulation. This has been made a Condition of Approval.</i></p>

				<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			Staff Comments	The site is serviced by two public streets, River Street and Maple Street. Onsite parking can be accessed from the existing alley on the east side of the property, accessed via Maple Street. <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			Staff Comments	No snow storage areas have been provided onsite, as it is conditioned that snow will be hauled from the site. Please refer to Section 17.06.080(A)1g for further detail. <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail.

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.
			Staff Comments	The proposal is for multi-family buildings (A and B) of eighteen (18) dwelling units in the General Residential (GR), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. A variety of homes, single-family and multi-family, as well as commercial spaces, exist in these zones. Undulation is created by the utilization of building pop-out features and/or parapets, as well as the staggering of Building B in relation to Building A. Cool hues and various exterior materials are proposed to further reduce the mass of the proposed buildings. Juliette balconies have been included in the building design for the 2 nd and 3 rd floors of both buildings, adding in a residential design element that helps situate the buildings amongst the surrounding neighborhoods.

				<p><i>The northern portion of the third floor of Building B has undergone changes to its layout and roofline. In order to achieve the standard for maximum building height for GR parcels in the TO, the Applicant team removed two (2) of the two-bedroom units from this portion of Building B and replaced them with two (2) studio units. The new roofline for this area of the building begins at a lower elevation and rises towards the east, aligning more closely with the elevation of rooflines of other surrounding buildings and creating more compatibility with such.</i></p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p>
			Staff Comments	<p><i>N/A, as the project is not a corporate design.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p>
			Staff Comments	<p><i>Building design at ground level emphasizes human scale, pedestrian orientation, and encouragement of human activity/interaction through the inclusion of patio and green space.</i></p> <p><i>The larger patio, sized at just over 1,500 square feet, stretches beyond the entire southern elevation of both Building A and Building B. Large sliding glass doors are included for each ground level unit and face into the larger patio and the green space, with smaller planting proposed in front of the doors to create some privacy for residents while allowing for light and visual engagement to remain. The green space along River Street includes more plantings and a pathway to the Maple Street patio, further encouraging human activity and interaction with the outdoor space. A variety of landscaping and plant material will also be utilized across the site, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i></p> <p><i>Staff suggested that the Applicant consider additional landscape buffering and a privacy fence be installed around the smaller patio. The Applicant submitted revised landscaping plans that now include twenty-four (24) deciduous shrub plantings along the exterior northern edge of the patio and parcel, in addition to an extension of an existing fence heading towards the west. The addition of these features will maintain human scale and interaction for residents within the project site, while also ensuring that the adjoining residents on the private property to the north maintain their own sense of privacy and buffer from the proposed apartments, at the ground level.</i></p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>
			Staff Comments	<p><i>The front façades of the buildings occupy most of the street frontage along River and Maple Street. Windows of various shapes and sizes, Juliette balconies, multiple gabled rooflines, and upper-level projections emphasize human scale and break up the building surfaces. The building's frontages with a large patio and grass area – surrounded by an 18" retaining wall – create human scale as well and provide variety in surfaces and volumes of the site from multiple vantage points.</i></p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

				<i>The buildings feature multi-level material changes, incorporating variety in texture and material color. Multiple gabled rooflines and subtle dormers promote visual variety to the upper third of the buildings, and these elements are further complemented by natural-colored wood paneling.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as no future additions or renovations are planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior of the building. Lap siding portions will feature a distinct hue of darker blue, with greyish-white stucco panels canvassing the other areas. Accents of white trim and the natural wood siding within roof gables provide further variety in material texture and color.</i> <i>A Materials Sample Board has been provided and will be brought to the hearing. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The exterior materials proposed have been integrated into the architecture of the building, although the blue siding color is distinct amongst the surrounding buildings, especially for such large buildings compared to other surrounding single-family homes. The proposed scale and exterior design complement the nearby Blaine Manor development along Main Street and could provide adjacent neighborhood connectivity in this way. Please refer to Section 17.06.080(A)2f for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.
			<i>Staff Comments</i>	<i>Both Building A and Building B (three stories) are proposed to have flat-roofed buildings, and the Applicant has included parapets and juliette balconies on the south, west, and north elevations, as well as gabled roofs over the street-facing stairwell areas.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.

				vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<p>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</p> <ol style="list-style-type: none">1. Solar orientation (south facing windows and glass doors).2. All glass fenestrations will be double-glazed.3. All glazing will have low emissivity properties.4. All exterior walls will use rain screen weatherproofing technology.5. Prewiring for Solar PV panels on the roofs.6. Two EV charging stations in the parking lot.7. All electric heating and cooling in the apartments. <p>The Applicant intends to include R-60 roof insulation in Building B, as solar gain from south and southwest facing windows cannot be utilized as an energy conservation measure, due to Building B’s north-south facing axis.</p> <p>If needed, the Applicant can further describe any of the above methods and/or other alternative energy sources utilized to minimize energy consumption.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p>Applicant is proposing dormers above tenant entryways to prevent water runoff and ice fall onto pedestrians.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<p>The Applicant is proposing a flat roof drainage design that will be captured in interior rooftop drains and then routed to drywells.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<p>N/A, as no vehicle canopies are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<p>All building signage will be applied for under a separate sign permit following completion of construction. Signage will be compatible with the building design. The Applicant shall also install parking signage that informs and restricts parking in the River Street right-of-way during the winter months, and the Maple Street right-of-way during all months. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>Proposed planting and retaining walls will be low profile and softened with landscaping elements. Landscape elements include autumn blaze maple and columnar blue spruce tree species. There is an existing fence along the northern edge of the parcel that will remain part of the site, as well as a proposed extension of the same fence leading towards the western edge of the property. The northern property line (including the fence) is proposed to be softened and buffered by twenty-four (24) Peking Cotoneaster deciduous shrubs. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)3c for further detail. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded, and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Solar panels will be installed parallel with the roof slopes of the building. The buildings' height, in respect to those buildings around it, will ensure that the panels will not be in view of adjacent properties. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)3e for further detail. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>There will be no ground mounted HVAC equipment. The trash receptables and their constructed enclosure will be surrounded by a fence and landscaping buffers. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground. <u>Finding:</u> Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles. <u>Finding:</u> Compliance. This standard has been met.</i>
4. Landscaping: 17.06.080(A)4, items (a) thru (n)				

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p>
			Staff Comments	<p>It appears that plant materials will be appropriate for the environment. Drought tolerant fescue mix for grass area is proposed.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p>
			Staff Comments	<p>All proposed plant species are hardy to the Zone 4 environment.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p>
			Staff Comments	<p>The Applicant has submitted a site irrigation plan that includes water conservation measures, such as bubblers and drip lines.</p> <p>The Applicant shall provide irrigation and to all street trees within the public right-of-way, in addition to providing a connection for future tie into the irrigation system by the City or other entity/developer. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			Staff Comments	<p>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses, and groundcover. The Landscape Plan (Sheet L1) shows a total of thirty (30) trees to be planted. This plan currently shows inaccurate caliper sizes of 8'-12' for the proposed conifer plantings; this was a misspelling by the Applicant, and the correct and intended caliper sizes are 8"-12". The Applicant will provide an updated landscaping plan that shows correct caliper sizes for final review. This has been made a Condition of Approval.</p> <p>The following trees are proposed to be planted onsite:</p> <ul style="list-style-type: none"> - One (1) Columnar Blue Spruce at twelve-to-fourteen-inch (8-12") caliper - Six (6) Subalpine Fir (8-12") caliper - Five (5) Autumn Blaze Maple at three to four-inch (3-4") caliper - 6 (6) Little Leaf Linden at three to four-inch (3-4") caliper - Two (2) Swedish Aspen at three to four-inch (3-4") caliper <p>Street trees are proposed, which include:</p> <ul style="list-style-type: none"> - Five (5) Radiant Crab at three-inch (3") caliper - Five (5) Spring Snow Crab at three-inch (3") caliper

				<p><i>The River Street Typical Section will also be utilized. The Applicant has provided a site plan that demonstrates irrigation for street trees, but no electrical needs are presented. The Applicant shall provide electrical conduits and “j boxes” at tree wells for future electrical needs. A detailed irrigation and electrical plan for street trees and landscaping within the right-of-way shall also be submitted and approved prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>The Applicant shall show the locations of all street trees, including dimensionally correct locations and sizes of the tree wells with the footprint of the suitable soil, structural soil, or suspended pavement areas. Said exhibit shall include the supporting mathematical calculations and shall be supplied at the time of Building Permit submittal. The exhibit shall also include a checklist for use during construction inspections, as directed by City Staff. This has been made a Condition of Approval.</i></p> <p><i>A Right-of-Way Maintenance Agreement shall be adopted by the City Council prior to issuance of a Certificate of Occupancy. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and street trees. Further detail will be provided within the Public Right-of-Way Maintenance Agreement. These have been made Conditions of Approval.</i></p> <p><i>All newly landscaped areas with proposed tree plantings meet the caliper requirements of this standard.</i></p> <p><i>Staff would like to commend the Applicant on the wide variety of flowering deciduous shrubs selected for planting, as these flowering species support the health and resilience of our local pollinator population.</i></p> <p><i>This project will be reviewed by the Hailey Tree Committee in May 2023.</i> <i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			Staff Comments	N/A, as the proposed project is not located in the LI or SCI-I Zone Districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			Staff Comments	N/A, as the proposed project is not located in the B, LB, TN and/or SCI-O Zone Districts
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			Staff Comments	<p><i>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan. Drainage shall not be directed toward pedestrian areas, including sidewalks or egress/ingress building sites.</i> <i>Finding: Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Applicant will be responsible for maintaining plant material in a healthy condition. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>Applicant has proposed an eighteen-inch (18") height retaining wall for the complete length of the western edge of the parcel. Wall design will be low profile, according to the Applicant. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>City Staff will allow the proposed retaining wall to be constructed without landscaping provided within or in front, due to extensive proposed grass area behind the wall and the street trees and landscaping that will be installed adjacent to the wall along River Street. In the interest of controlling costs and resources for property maintenance, the Applicant requested that the retaining wall be permitted for installation, without landscaping strips directly in front or behind the wall. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls over 24" are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no low retaining walls with capped surfaces are proposed at this time.</i>

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The project is located on the corner of River Street and Maple Street. The proposed buildings and patio area take full advantage of sunlight exposure, and</i>

				<p>the placement of the larger patio area on the Maple Street side of the parcel ensures that residents are not as exposed to the busier traffic flows along River Street. The large grass area in front of Building B also provides physical and sound buffering from River Street. The proposed mobility corridor along River Street with the bulbout feature responds to the site-specific conditions associated with a corner lot, in addition to supporting the larger River Street mobility enhancement efforts that will be addressed in the coming years.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</p>
			<i>Staff Comments</i>	<p>Interior and perimeter sidewalks are proposed, as well as a buffered bicycle lane along the property's frontage of River Street and a bicycle advisory lane along Maple Street. Pedestrian circulation is ample and includes pathways connecting the grass area to the larger patio, as well as pathways between and to each of the buildings and the parking area.</p> <p>Site plans do not clearly demonstrate a complete crosswalk proposed for Maple Street. The Applicant shall ensure that the proposed crosswalk striping begin on the corner of River Street and northern side of Maple Street and extend across the entirety of Maple Street, with thermoplastic stops to be installed at each gravel edge for the north and south sides of the Maple Street right-of-way. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</p>
			<i>Staff Comments</i>	<p>The proposed building has been organized to maximize efficient site circulation. Site circulation has been designed to keep onsite vehicular access to the existing alley off of Maple Street, while additional angled parking will be available along River Streets. A new sidewalk and bike lane is shown along the property frontage of River Street, in addition to the new sidewalk along Maple Street. Residents will have convenient access to dwellings and outdoor open spaces from both the interior and exterior of the site, via the placement and connectivity of multiple pathways and egresses. Please see Section 17.06.080(A)1c for further detail.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures, and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide privacy and solar gain.</p>
			<i>Staff Comments</i>	<p>Refer to Section 17.06.080(A)2, items (a) through (m) for further details.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p>
			<i>Staff Comments</i>	<p>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

General Requirements for the Downtown Residential Overlay District (DRO)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	<p>General Application: The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	<p>Use and Bulk Requirements: Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO).</p> <p>A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>The project proposes six (6) dwelling units on the ground floor, in addition to onsite parking for each unit and a storage closet for each unit.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	<p>Multifamily and Mixed-Use Density:</p> <p>A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping, and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.</p>
			<i>Staff Comments</i>	<p><i>Please refer to the Design Review Standards as noted herein.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	<p>B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>Thirteen (13) units are either 816 or 842 square feet, and five (5) units are 480 square feet.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	<p>Parking Spaces, Screening and Storage Requirements:</p> <p>A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within a Mixed-Use Building:</p> <ol style="list-style-type: none"> A minimum of one space per residential dwelling unit, where up to twenty-five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of two (2) apartment buildings (A and B) with a total of eighteen (18) residential units. The site plan shows a total of eighteen (18) onsite parking spaces, of which, one (1) parking space is an accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or four (4)</i></p>

				<p>of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of four (4) spaces as compact spaces.</p> <p>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</p> <p>The Applicant is proposing to improve the public right-of-way and street parking along River Street. Eleven (11) street parking spaces are proposed along River Street. Parking requirements for the proposed project are met.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p>B. Useable Open Space, Screening and Landscaping:</p> <ol style="list-style-type: none"> 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens. 2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and 3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.
			<i>Staff Comments</i>	<p>The total lot area is 20,393 square feet in size. The Applicant is required to provide 2,039 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant proposing 2,093 square feet of patio space, in addition to the large green space in front of Building B. This standard has been met.</p> <p>The parking area is not adjacent to a differing residential zone district.</p> <p>Please refer to Section 17.04M.060 for further details regarding setbacks.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p>C. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			<i>Staff Comments</i>	<p>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access said parking of twenty-two (22') in width.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p>D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis, and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p>Onsite storage units are only required for the five (5) studio units measuring 480 square feet. That said, the Applicant is proposing storage closets for each unit (18 total), located adjacent to entryways. Bicycle spaces are provided, and racks appear to adhere to Title 18 requirements.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety, or welfare of the public.

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.

DECISION

The Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments. The proposed project of eight (8) two-bedroom units at 846 square feet, seven (7) two-bedroom units at 820 square feet, three (3) studio units at 484 square feet, eighteen (18) onsite parking spaces, and right-of-way improvements, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (o) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. If the total area of disturbed surface in the alley exceeds twenty-five percent (25%), the Applicant shall replace and repair all alley surfaces adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
 - ii. The Applicant shall redesign to meet the River Street Typical Section Standard Drawing and resubmit civil plans that adhere to all applicable sections of the Hailey Municipal Code prior to issuance of a Building Permit.
 - iii. The Applicant shall install right-of-way parking spaces on River Street which use shortened "head-in" parking lines and adhere to the River Street Standard Drawings.
 - iv. All right-of-way improvements impacting asphalt areas adjacent to curb and gutter features shall carry a finished grade not to exceed four percent (4%) unless prior approval by the City Engineer.
 - v. The Applicant shall work with the City Engineer to select quantity, placement, and overall design of all project signs and adhere to all requirements listed in Section 18.14.014(D) of the Hailey Municipal Code.
 - vi. The Applicant shall ensure that the proposed crosswalk striping begin on the corner of River Street and northern side of Maple Street and extend south across the entirety of the paved area on Maple Street, with thermoplastic stops to be installed at the north and south gravel/pavement edge.
 - vii. The Applicant shall provide electrical conduits and "j boxes" at tree wells for future electrical needs.
 - viii. Detailed electrical plans for street trees shall be submitted and approved prior to issuance of a Building Permit.
 - ix. The building shall comply with IFC and IBC code requirements.

- x. A building sprinkler system and alarm system shall be installed, as set forth in the IFC.
 - xi. The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department prior to public right-of-way improvements and issuance of a Certificate of Occupancy.
 - xii. A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit. Irrigation connections shall be made for future tie in by the City or other entity/developer.
 - xiii. The Applicant will provide detailed interior landscape irrigation plans and system layouts, which are to include water conservation measures (such as motion sensors or drip irrigation).
 - xiv. The Applicant shall install parking signage that informs and restricts parking in the River Street right-of-way during the winter months, and the Maple Street right-of-way during all months.
 - xv. The Applicant shall abandon any existing, unused water services. The Applicant shall show the locations of all street trees, including dimensionally correct locations and sizes of the tree wells with the footprint of the suitable soil, structural soil, or suspended pavement areas. Said exhibit shall include the supporting mathematical calculations and shall be supplied at the time of Building Permit submittal. The exhibit shall also include a checklist for use during construction inspections, as directed by City Staff.
 - xvi. A new sewer tap shall be installed at the center of the property, in relation to the sewer mainline.
 - xvii. The new sewer tap shall be witnessed, and in the case that this is not possible, be supplied the “coupon” from the sewer main.
 - xviii. While the sewer mainline is exposed, it shall be inspected by the Wastewater Division.
 - xix. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and street trees. Further detail will be provided within the Public Right-of-Way Maintenance Agreement.
 - xx. A Right-of-Way Maintenance Agreement shall be adopted by the City Council prior to issuance of a Certificate of Occupancy.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
 - e) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure location.
 - f) The Applicant shall remove and haul snow from the site, as needed.
 - g) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
 - h) While no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties.
 - i) The Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way.

- j) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- k) The Applicant shall submit a photometric plan that complies with Chapter 17.08, Article C of the Hailey Municipal Code
- l) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- m) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- n) The Applicant shall submit an updated landscaping plan in accordance with Title 17 standards prior to issuance of a Building Permit.
- o) The Applicant shall restrict housing units, as developed with, and recommended by Staff, prior to issuance of a Certificate of Occupancy.

Signed this _____ day of _____, 2023.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 1, 2023 the Hailey Planning & Zoning Commission considered and approved a Design Review Application by Lido Equities Group Idaho, LLC, represented by Samantha Stahlnecker of Opal Engineering, for construction of Phase 6 of the Copper Ranch Development, which comprises of seven (7) condominium buildings with three to five (3-5) units each, for a total of thirty-one (31) units. The condominium units range in size from 778 square feet to 1,278 square feet. The proposed project is located on Woodside Boulevard, between Laurelwood and Winterhaven Drives on COPPER RANCH CONDO #1 AM PARCEL A5 PHASE 6 within the Limited Business (LB) Zoning District. This project is known as Copper Ranch Phase 6 and subject to the Copper Ranch Planned Unit Development Agreement.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on April 12, 2023.

Background and Project Overview: In 2003, Lido Equities Group Idaho, LLC, went through the entitlement process to develop the Copper Ranch Subdivision under a Planned Unit Development Agreement for 135 condominium units across twenty-seven (27) buildings. Due to the economic recession of 2008, the development of Copper Ranch has been delayed and prolonged. The development process was originally organized into five (5) phases and was scheduled to be completed in 2006. The project's Planned Unit Development Agreement has been amended four (4) times since 2003, and the Applicant proposes a Fifth Amendment in tandem with this Design Review Application. Since the start of the entitlement process, the Applicant has built ninety-seven (97) units, provided recreational facilities, and agreed to build transit facilities: one (1) bus pull-out stop with a protected shelter.

This Design Review Application marks the Applicant's proposal to complete the final phase of the Copper Ranch Subdivision— Phase 6. Phase 6 was anticipated to include thirty-eight (38) units across eight (8) buildings on approximately 1.9 acres of Copper Ranch property.

On February 21, 2023, the Applicant team presented a design proposal that included eight (8) buildings with thirty-six (36) units. In this application, the Applicant has maintained the proposed architecture of but has eliminated one (1) of the buildings. Eliminating "Building 17" alleviates the subdivision's compliance issues with on-site parking and snow storage access. See snapshots of the site plans proposed for the public hearings on:

February 21, 2023

May 1, 2023



Regarding the issue of the availability and geometry of parking spaces at Copper Ranch— when the original Design Review was approved for the Copper Ranch Subdivision in 2003, two-and-a-half (2.5) parking spaces were required for each unit. Since then, the Municipal Code pertaining to parking in multi-family developments has changed. Per the Subdivision Code (Section 16.04.020.L.6), two (2) guest/overflow parking spaces are currently required for each multi-family unit located on a private street. Per the Design Review Code (Section 17.09.040), 1-1.5 parking spaces are currently required per unit, depending on the size of the unit. The updated Design Review proposal reflects a concurrent and affiliated application to amend the existing Planned Unit Development Agreement, which must consider the Subdivision Code and potential condominiumization of the Phase 6 buildings. The proposed amendment to the PUD Agreement— requiring a minimum of 2.5 parking spaces per unit— attempts to reconcile the discrepancy between the number of parking spaces currently required by the Design Review Code (43 spaces) and the number of parking spaces that would've been or will be required if the land is subdivided or condominiumized (105 spaces). Additionally, the minimum requirement of 2.5 parking spaces per unit reflects the conditions under which the subdivision was planned.

The residents' frustrations with parking are exacerbated by the small geometry of parking spaces and garages at Copper Ranch, as well as improper snow storage. Firstly, size requirements for off-street parking spaces are not regulated by Hailey's Municipal Code nor by the International Building Code. However, the Applicant has slightly increased the size of the proposed garages openings to be nine feet (9 ft.) wide, instead of eight feet (8 ft.) wide. Secondly, the Developer recognizes that snow has been improperly stored at Copper Ranch. Specifically, snow has not been stored in the designated space behind Gravity Fitness and has overflowed into the private streets. In the new design, the Applicant ensures access to the designated snow storage area via the site that was planned for Building 17 and is now planned to be developed into surface parking.

The architectural plans for the remaining seven (7) buildings are consistent with the plans considered at the hearing on February 21, 2023. The condominium buildings range between 1,836 and 3,408 square feet in size, each including three (3) or five (5) units that range between 778 to 1,278 square feet in size. Each of the condominium units includes two (2) to three (3) bedrooms; one (1) to two (2) bathrooms; an open-layout living, kitchen, and dining room; closets for laundry, utilities, food, and clothing storage; as well as an attached one-car garage. Each unit is accessed via an interior door from the garage, or an

exterior door on ground level or via an outdoor staircase. One of the units is designed to meet the Americans with Disabilities Act (ADA) Standards for Accessible Design. Across the proposed development, the Applicant includes four (4) different building designs, nine (9) different condominium unit designs, and four (4) color schemes.

The Applicant plans to follow this Design Review Application with an amendment to the affiliated Planned Unit Development Agreement, to be discussed and reviewed by Council at a later date. Under the PUD Amendment, the Applicant is requesting the following waivers and/or amendments:

- Reduce setbacks of the LB Zoning District, both in the front yard (adjacent to Woodside Boulevard) and rear yard (adjacent to Copper Ranch Phase 4).
- Reduce total number of units. The Applicant is proposing seven (7) less housing units than required by the PUD Agreement. If the Commission approves Phase 6 as proposed, with thirty-one (31) condominium units, the new total within the Copper Ranch Subdivision will be one hundred and twenty-eight (128) housing units.
- Reduce parking requirement to reflect the standard that shaped the original design of the subdivision: two-and-a-half (2.5) parking spaces per condominium unit. The parking plan for the entire subdivision will be considered by City Council as part of the PUD Agreement. Staff requests that the Commission consider the proposed amendment, two-and-a-half (2.5) parking spaces per unit, in the context of the Phase 6 design.

As outlined by the original Planned Unit Development Agreement, the Applicant has agreed to construct transit facilities— specifically, a bus pullout and a weather protected shelter on Woodside Boulevard. Thus far, the Applicant has constructed a shelter and landing pad for the existing bus stop in front of the subdivision’s recreational facility (Gravity Fitness). Per the recommendation of Mountain Rides Transportation Authority (MRTA) and support of Hailey City Staff, the Applicant has agreed to construct the remaining element of the amenity, a bus pullout, in a different location: in front of the neighboring Lido Homes Apartment project, just north of the proposed project and south of Winterhaven Drive. The construction of the bus pullout involves an asphalt pullout lane, plus transitions with a relocated curb, gutter, and sidewalk. Staff, MRTA, and the Applicant will work internally to identify who can relocate the existing shelter and build a landing pad for it at the new location, in front of Lido Homes Apartment project.

Procedural History: Updated plans associated with this Application were submitted on April 20, 2023. A public hearing before the Hailey Planning and Zoning Commission will be held in the Hailey City Council Chambers and virtually via GoTo Meeting on May 1, 2023.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments.
				Streets: No comments.
				Life/Safety: No comments.

				<p>Water & Wastewater: Upon request from the Wastewater Division, the Applicant updated the civil engineering plan set to reflect the locations of manholes 05108AB, 05108BB and 05108CB.</p> <p>The Water Division requests that the Applicant:</p> <ul style="list-style-type: none"> - repair or replace the meter vaults that have been hit by snow removal equipment over the years. - replace the frost-free hydrant at the north end of Wimbledon Court because it has also been damaged by snow removal equipment. At the minimum, the Applicant needs to replace it with a working frost-free hydrant. Preferably, the Applicant would upgrade the frost-free hydrant to be a fire hydrant, which could be used for dual purposes at the dead end main. - upgrade the lids on the existing vaults, which have an 18" diameter, to meet the 24" diameter requirement with a metal ring. This upgrade is necessary for City Staff to remove the foam pads and work on the meters. - use a heavy traffic rated lid for meter vaults located in the pavement. - replace the foam pads that are missing or deteriorating from vaults, with a 4" thick foam pad. - raise or lower any meter vault that is not at the correct grade. Adding a riser or cutting down the vaults to make grade is not desired. - abandon any unused service. <p>All of these have been made Conditions of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			Staff Comments	<p>N/A – The proposed design does not incorporate any signage of four (4) square feet or greater. An existing, permanent Copper Ranch sign is located on the southeastern corner of Copper Ranch Lane and Woodside Boulevard.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p>
			Staff Comments	<p>Per the Design Review Code, Multifamily Dwellings are currently required to provide one (1) parking space per dwelling unit that is smaller than 1,000 square feet and one-and-a-half (1.5) parking spaces per dwelling unit that is larger than 1,000 square feet. The Applicant is proposing a total of thirty-one (31) condominium units in Phase 6— seven (7) that are smaller than 1,000 square feet and require 1 parking space each (for a total of 7 parking spaces), plus twenty-four (24) units that are larger than 1,000 square feet and require 1.5 parking spaces each (for a total 36 parking spaces). Per the current Design Review Code, the proposed units require a total of forty-three (43) parking spaces.</p> <p>In tandem with the Design Review Code, the Subdivision Code (Section 16.04.020.L.6) includes the following requirement: "Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking." The concurrent and affiliated application to amend the existing Planned Unit Development Agreement must consider the Subdivision Code alongside the Design Review Code, which together require three-and-a-half (3-3.5) parking spaces per unit or 105 spaces in total.</p>

				<p><i>When Copper Ranch was subdivided and the original Design Review for twenty-nine condominium buildings was approved, Hailey's Municipal Code required 2.5 parking spaces per condominium unit. The Copper Ranch Planned Unit Development Agreement and the four subsequent amendments neither reiterate nor refer to the preexisting parking requirement; and the 2003 Design Review approval has since expired.</i></p> <p><i>In an attempt to reconcile the discrepancy between the parking standards that have changed over the years, as well as to adhere as best as possible to the total unit count agreed upon for the subdivision, the Applicant proposes to amend the PUD Agreement to reflect the parking requirement that was current to the 2003 Design Review Code: two-and-a-half (2.5) parking spaces per condominium unit. Staff supports this compromise.</i></p> <p><i>The proposed PUD Amendment, requiring 2.5 parking spaces per condominium unit, will pertain to Phase 6, as well as to the previous and built phases. The PUD Agreement will be considered in its entirety by the City Council. While the Applicant team has not yet submitted a parking diagram for the entire Copper Ranch Subdivision (Phases 1-6), they have provided a parking diagram for Phase 6 that includes eighty-four (84) parking spaces. Of the eighty-four (84) parking spaces included in the Phase 6 design, sixty-two (62) are assigned to the Phase 6 residents in garages and surface parking stalls. The remaining twenty-two (22) spaces are proposed to be unassigned and available to previous residents of Copper Ranch. The unassigned parking spaces are located where existing residents are currently parking, at the site previously planned for Building 17. Excluding the unassigned parking spaces, the Applicant team is providing two (2) assigned parking spaces per condominium unit in Phase 6. To assess overall compliance with the proposed PUD Amendment for 2.5 parking spaces per condominium unit across the subdivision, a complete parking diagram will need to be reviewed by City Staff and the City Council. This has been made a Condition of Approval.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>
			Staff Comments	<p><i>N/A – The number of proposed parking spaces is not in excess of what is proposed by the affiliated PUD Amendment Application.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow.

				<div>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</div> <div>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</div> <div>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</div> <div>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</div>																																																																																									
			Staff Comments	<div>The proposed design for the buildings' exterior light fixtures is compliant, however the specified output of lumens per fixture supersedes the maximum allowance. The lighting details in the attached plans specify an output of up to 3,000 lumens per fixture; per Section 10.08C.040.02, partially shielded luminaires are restricted by a maximum output of 1,000 lumens per fixture. This has been made a Condition of Approval. No other lights are proposed.</div> <div>The Applicant agreed to increase the lumens to be compliant. Commission found that this standard has been met.</div>																																																																																									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Limited Business (LB) Zoning District:																																																																																									
			Staff Comments	<div>Building Height:<div><div>- Permitted: 35'</div><div>- Proposed: 32'-5" and 33'-5.5"</div></div></div> <div>Setbacks:<div>The required and proposed setbacks listed in blue are subject to the stipulations of the Planned Unit Development Agreement, which has been deliberated, amended, and affirmed through multiple entitlement processes. As addressed in the 2003 Findings of Fact, Conclusions of Law, and Decision regarding the original Planned Unit Development (PUD) Agreement, as well as the current application for a Fifth Amendment to the PUD, the Applicant:<div><div>- secured waivers to the front setbacks from Buildings 23 and 25, and</div><div>- is requesting waivers for the rear setbacks of Buildings 24 and 26.</div></div>The existing and proposed setback waivers are indicated below, in blue font.</div><table><tr><th rowspan="2">Building #</th><th colspan="2">FRONT west, Woodside Blvd.</th><th colspan="2">SIDE north</th><th colspan="2">SIDE south</th><th colspan="2">REAR east</th></tr><tr><th>Required</th><th>Proposed</th><th>Required</th><th>Proposed</th><th>Required</th><th>Proposed</th><th>Required</th><th>Proposed</th></tr><tr><td>17</td><td>N/A</td><td>N/A</td><td>8'</td><td>14'2"</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td></tr><tr><td>21</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>10'</td><td>10'</td><td>10'</td><td>15'1"</td></tr><tr><td>22</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>10'</td><td>10'3"</td><td>N/A</td><td>N/A</td></tr><tr><td>23</td><td>17'</td><td>13'2.88"</td><td>N/A</td><td>N/A</td><td>10'</td><td>11'</td><td>N/A</td><td>N/A</td></tr><tr><td>24</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>10'</td><td>4.68'</td></tr><tr><td>25</td><td>15'</td><td>15'4.32"</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td></tr><tr><td>26</td><td>N/A</td><td>N/A</td><td>10'</td><td>14'5"</td><td>N/A</td><td>N/A</td><td>10'</td><td>7'3.48"</td></tr><tr><td>27</td><td>20'</td><td>20'7"</td><td>10'</td><td>17'5"</td><td>N/A</td><td>N/A</td><td>N/A</td><td>N/A</td></tr></table><div>Lot Coverage: There is no limit on lot coverage in the Limited Business (LB) Zoning district.</div></div>	Building #	FRONT west, Woodside Blvd.		SIDE north		SIDE south		REAR east		Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	17	N/A	N/A	8'	14'2"	N/A	N/A	N/A	N/A	21	N/A	N/A	N/A	N/A	10'	10'	10'	15'1"	22	N/A	N/A	N/A	N/A	10'	10'3"	N/A	N/A	23	17'	13'2.88"	N/A	N/A	10'	11'	N/A	N/A	24	N/A	N/A	N/A	N/A	N/A	N/A	10'	4.68'	25	15'	15'4.32"	N/A	N/A	N/A	N/A	N/A	N/A	26	N/A	N/A	10'	14'5"	N/A	N/A	10'	7'3.48"	27	20'	20'7"	10'	17'5"	N/A	N/A	N/A	N/A
Building #	FRONT west, Woodside Blvd.		SIDE north			SIDE south		REAR east																																																																																					
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22	N/A	N/A	N/A	N/A	10'	10'3"	N/A	N/A																																																																																					
23	17'	13'2.88"	N/A	N/A	10'	11'	N/A	N/A																																																																																					
24	N/A	N/A	N/A	N/A	N/A	N/A	10'	4.68'																																																																																					
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27	20'	20'7"	10'	17'5"	N/A	N/A	N/A	N/A																																																																																					

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<p>The sidewalk along Woodside Boulevard was constructed during a previous phase of the development. Internal pathways are included in the design; the internal pathways connect the proposed buildings to each other and the surrounding buildings from previous phases of the Copper Ranch Development. See Sections 17.06.080(A)1c, 17.06.080(D)1b, and 17.06.080(D)1c for comments on the internal pathway connectivity.</p> <p>Per the Water Division, Public Works Staff requests that the Applicant add the locations of manholes 05108AB, 05108BB and 05108CB to the Civil Engineering plan set.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<p>N/A – This project is not within the Townsite Overlay (TO) Zone District.</p> <p><i>The Commission found that this standard has been met.</i></p>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p>Staff Comments: The proposed design includes landscaping and green space around every building. The buildings and parking spaces are compact, so that exterior spaces are consolidated and usable by residents. A Condition of Approval has been added, requesting that the Applicant complete the landscaping requirements of the current and previous phases of the Copper Ranch Development.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated, or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be</p>

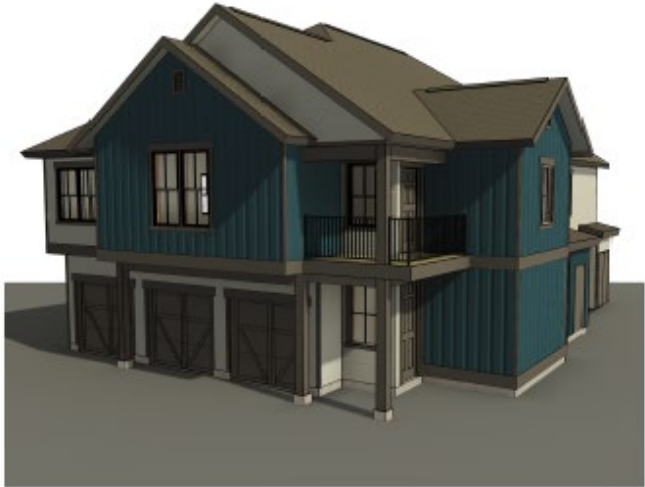
				<p>preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> N/A – Little to no plant material exists onsite.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Site circulation has been designed to keep vehicular access to the private streets of Copper Ranch Lane and Wimbleton Court, which connect to the public street Woodside Boulevard and provide access to condominium driveways and parking. Pedestrian circulation is supported by the sidewalk along Woodside Boulevard, as well as the proposed internal pathways a) between the buildings and b) along the north and south sides of the property. The north pathway provides connections to Gravity Fitness.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> The proposed design does not include areas for loading, trash storage/pickup, nor utility boxes. Trash will be stored, then picked up in rollout trash cans. A Condition of Approval has been added, stating that utility boxes, including other ground and roof-mounted equipment shall be screened from view.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> N/A – No alleys exist, nor are they proposed. That said, the private streets will be utilized for building services.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> <p><i>Staff Comments</i> Onsite parking areas are located along the existing and proposed private streets, which can be accessed via Woodside Boulevard and private streets within the previous phases of the development. The parking is screened from view of the Woodside Boulevard public street, and is further buffered by buildings, landscaping, and/or sidewalks. City Staff has requested that the Applicant consider a shared-parking plan with Gravity Fitness, to ensure that at least two-</p>


				<p><i>and-a-half (2.5) parking spaces per unit are provided. The parking plan for the entire subdivision will be considered by City Council as part of the PUD Agreement. Staff requests that the Commission consider the two-and-a-half (2.5) parking space per unit standard for/in the context of the Phase 6 design.</i></p> <p><i>Sufficient snow storage is planned adjacent to parking and pedestrian circulation areas, which will need to be plowed. All circulation areas shall be maintained year-round by the HOA. This has been made a Condition of Approval.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			Staff Comments	<p><i>As it is proposed, the on-site parking for Phase 6 will predominantly be accessed via a single approach from the Woodside Boulevard public street. The single approach limits potential vehicle/pedestrian points of conflict, the proposed design complies with this standard.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			Staff Comments	<p><i>The Phase 6 site plan proposes approximately 24,250 square feet of hardscape for parking areas and pedestrian circulation. The required snow storage area for Phase 6, twenty-five percent (25%) of the hardscape, equates to approximately 6,063 square feet. The Applicant proposes to meet this requirement using area from Phases 1-5, particularly a large area adjacent to Phase 6. Within Phase 6, 3,775 square feet of area is designated for snow storage, while Phases 1-5 include an excess of 4,125 square feet of designated snow storage. Overall, the subdivision supersedes its snow storage requirement, providing 26.3% of the hardscaped area in snow storage.</i></p> <p><i>Pertinent to this hearing and the revised design for Phase 6, the site where Building 17 was previously planned is now planned for surface parking. The Applicant team collaborated with Staff to remove Building 17 not only to address the discrepancies in parking requirements since 2003, but also to provide access to an underutilized snow storage area. The largest snow storage area at the Copper Ranch Subdivision is located behind or east of Gravity Fitness and the tennis facility, however it has been unused. The construction of Building 17 would've hindered access to this significant snow storage area.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			Staff Comments	<p><i>See the above standard, under Section 17.06.080(A)1i.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>

			Staff Comments	<p>Sufficient area for snow storage is delineated on the site plan; however, some areas appear to have dimensions of less than ten feet (10'). The Applicant shall remedy all snow storage areas, where necessary, to meet this standard. This has been made a Condition of Approval.</p> <p>The Applicant explained that several of the snow storage areas were previously platted with dimensions of less than ten feet (10') om width. Nonetheless, the Applicant will make use of a larger snow storage area adjacent to the Gravity Fitness building. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> <p>Staff Comments N/A – This site is not in downtown Hailey.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p> <p>Staff Comments Snow is proposed to be stored in landscaped areas, not within vehicular access. However, some snow storage areas infringe on pedestrian circulation areas. The Applicant shall remedy the snow storage plan to accommodate pedestrian circulation. This has been made a Condition of Approval.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p> <p>Staff Comments The proposed plant species appear to have a tolerance for road salt and heavy snow, as well as drought. This has been made a Condition of Approval.</p> <p>The Commission found that this standard has been met.</p>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p>Staff Comments The seven (7) buildings proposed in Phase 6 are of similar size to each other, as well as to the buildings of previous phases in the Copper Ranch Development. Compared to in-progress multi-family development at the Lido Apartment Homes to the north, the proposed buildings are smaller in size. The buildings of Copper Ranch Development incorporate gable roofs and overhangs of similar angles.</p> <p>The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p>Staff Comments N/A – The proposed project is not a standardized corporate design.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p>Staff Comments The trim, porches, and color schemes distinguish the entryways and encourage human activity around buildings.</p>

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> The proposed buildings incorporate three (3) or five (5) condominiums each. They are multi-family buildings of a similar style to plexes, which typically include multiple entrances on different sides of a shared building. As such, the proposed design incorporates multiple entrances on different sides of each building, as well as pedestrian pathways and landscaping that encourage pedestrian circulation and activity. Most of the buildings' sides include siding, trim, windows, pop-outs, and colors that break up the appearance of large building surfaces.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A – No plans for future additions or renovations are proposed.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</p> <p><i>Staff Comments</i> The proposed design incorporates a variety of siding, textures, trim, windows, pop-outs, and colors that break up the appearance of large building surfaces. The materials include fiber cement siding, asphalt shingle, stone veneer, steel railings, and vinyl windows. See the following rendering as an example:</p>  <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>

			<p>Staff Comments</p> <p><i>The Applicant proposes four (4) color schemes of similar tones but distinct hues. The colors denote the natural environment— specifically corresponding the color schemes with river, lake, woods, and mountain palettes. As such, there will be variety and cohesion across Phase 6.</i></p> <p><i>The Commission found that this standard has been met.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2h</p> <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.</p> <p>Staff Comments</p> <p><i>N/A – No flat-roofed buildings are proposed in the development.</i></p> <p><i>The Commission found that this standard has been met.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2i</p> <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. <p>Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p> <p>Staff Comments</p> <p><i>The Applicant incorporated solar orientation, south facing windows with eave coverage, as well as windows with double and low emissivity glazing to conserve energy.</i></p> <p><i>The Commission found that this standard has been met.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2j</p> <p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p>Staff Comments</p> <p><i>Roof overhangs are proposed over all entries, but not over pedestrian pathways. The Applicant indicated where snow clips, downspouts, and gutters are included in the architectural plans— off the garage. The inclusion of snow clips, downspouts, and gutters has been made a Condition of Approval.</i></p>	

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Landscape drywells are located in landscaped areas or parking areas that do not impede pedestrian circulation, a plat note plans to connect roof drains and downspouts to the drywells.</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Section 17.08A.020 of this title.
			<i>Staff Comments</i>	<i>N/A – Signage is not included in the proposed design/plans.</i>
				<i>The Commission found that this standard has been met.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include accessory structures.</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include accessory structures.</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include walls nor fencing.</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include walls nor fencing.</i>
				<i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.

			<i>Staff Comments</i>	<i>N/A – The proposed design does not include roof projections.</i> <i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include alternate energy sources.</i> <i>The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>The proposed design does not include any ground-mounted equipment. A Condition of Approval has been added, requiring the Applicant to screen any utility boxes from view.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All utility service lines are proposed to be underground.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>The proposed design does not include any appurtenances on utility poles; none will be permitted.</i> <i>The Commission found that this standard has been met.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>The proposed landscaping and irrigation plan is drought tolerant. Please refer to the attached Landscape Plan for further details.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The proposed plant materials appear appropriate for the environment.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>The Landscape Plan addresses irrigation and appears to comply with this standard. The plan includes features that minimize water, such as an automated a "smart controller" and rain sensor.</i>

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			<i>Staff Comments</i>	<p><i>Landscaping Plans are attached. To summarize, the Applicant proposes seven (7) tree species, five (5) shrub species, six (6) grass and perennial species, and one (1) native grass mix. All the specified tree species are within the required caliper size; however, at least one of the tree species supersedes the maximum apportionment (20%) by one tree. Staff requests that the Applicant amend their landscape plan to abide by the standard as it relates to the ratio of species. This has been made a Condition of Approval.</i></p> <p><i>Additional Conditions of Approval request that the Applicant complete all landscaping requirements from the five (5) previous phases of the Copper Ranch Development if they were left incomplete.</i></p> <p><i>The Commission found that this standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>d. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<p><i>N/A – The proposed project is located within the Limited Business (LB) Zoning District.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>e. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p><i>The proposed landscaping is varied, as shown in the Landscape Plans provided.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>f. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p><i>The plan set includes a Drainage Plan, showing that storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>g. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p><i>The landscape plan includes irrigation plans. The HOA will be responsible for maintaining the irrigation and healthy landscaping. This has been made a Condition of Approval.</i></p> <p><i>The Commission found that this standard has been met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	h. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are proposed at this time. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	i. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are they proposed at this time. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	j. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are proposed at this time. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are proposed at this time. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are proposed at this time. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	N/A – No retaining walls exist, nor are proposed at this time. The Commission found that this standard has been met.

Additional Design Review Requirements for Multifamily within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	The locations of the proposed buildings were planned in an earlier phase of this development, as was the location of the existing private streets (Wimbledon Court and Copper Ranch Lane). The buildings have been configured on the site to best provide open areas for interaction and pedestrian circulation. Three (3) of the eight (8) buildings have been oriented towards Woodside Boulevard to best interface with the existing sidewalk and pedestrian circulation of the public street. The remaining buildings have been oriented towards common areas and internal pathways. Natural connection points to the recreational facilities at Gravity Fitness are also proposed.

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>The site plan includes attractive and interconnected pedestrian sidewalks and pathways that reinforce pedestrian circulation within the site. The site circulation design keeps vehicular access and parking to the private streets and public streets. New internal pathways are proposed around the perimeter of Phase 6, between the buildings, partially along Copper Ranch Lane, and connecting to the recreational facilities at Gravity Fitness.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
			<i>Staff Comments</i>	<i>The buildings have been organized to maximize efficient site circulation. The proposed internal pathways demonstrate the Applicant's awareness of pedestrian needs. Staff suggest improvements for pedestrian circulation by adding snow clips to the roofs. This has been made a Condition of Approval.</i> <i>The Commission found that this standard has been met.</i>
2. Building Design: 17.06.080(D)2, items (a) thru (b)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures, and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i> <i>The Commission found that this standard has been met.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety, or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with**

subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing, and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.**
- 2. The project is in general conformance with the Hailey Comprehensive Plan.**
- 3. The project does not jeopardize the health, safety, or welfare of the public.**
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.**

DECISION

On May 1, 2023, the Hailey Planning & Zoning Commission approved the Design Review Application by Lido Equities Group Idaho, LLC, represented by Samantha Stahlnecker of Opal Engineering, to construct Phase 6 of the Copper Ranch Development, located on Woodside Boulevard between Laurelwood and Winterhaven Drives on COPPER RANCH CONDO #1 AM PARCEL A5 PHASE 6 within the Limited Business (LB) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code

Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (t) are met:

- a) The Design Review approval is contingent upon an approval of the Fifth Amendment to the Planned Unit Development Agreement.
- b) All conditions of the Planned Unit Development Agreement shall be met.
 - i. The Applicant shall supply City Staff with a parking diagram of the entire Copper Ranch subdivision, including all completed and planned development from/for Phases 1-6, to assess the Applicant's overall compliance with the PUD Agreement.
- c) All applicable Fire Department and Building Department requirements shall be met.
- d) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- e) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. The proposed buildings shall have a fire sprinkler system installed, pursuant Section 15.12.030.H 903.2.8.
 - ii. The water meter vaults that have been hit by snow removal equipment over the years shall be repaired or replaced.
 - iii. The frost-free hydrant shall be replaced with a fire hydrant at the north end of Wimbledon Court.
 - iv. The lids on the existing vaults, which have an 18" diameter, shall be upgraded to meet the 24" diameter requirement with a metal ring.
 - v. A heavy traffic rated lid shall be used for meter vaults located in the pavement.
 - vi. The foam pads that are missing or deteriorating from vaults shall be replaced with a 4" thick foam pad.
 - vii. Any meter vault that is not at the correct grade shall be raised or lowered according to City practices; adding a riser or cutting down the vaults to make grade is not desired.
 - viii. Any unused service shall be abandoned.
 - ix. The Applicant shall add the locations of manholes 05108AB, 05108BB and 05108CB to the Civil Engineering plan set.
- f) The private streets and internal pathways— located on private property, as well as in the interior and on the perimeter of the subdivision— shall be unobstructed and maintained year-round by the HOA.
- g) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- k) Ground and roof-mounted equipment shall be shown on the building permit plans and are subject to Staff review and approval. Equipment shall be screened from view and shall not interfere with any pathways or sidewalks.

- a. Snow clips shall be added to the architectural drawings and installed.
- l) Snow storage areas shall be demonstrated to be compliant with the standards from Section 17.06.080.A.1.I-N:
 - a. The Applicant shall improve the designated snow storage areas, so that all snow storage areas have dimensions that are larger than ten feet (10 ft) wide.
 - b. The Applicant shall remedy the snow storage plan as to not impede on internal pathways and pedestrian circulation.
- m) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance, including lumens output.
- n) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- o) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- p) The Design Review approval shall be valid for eighteen (18) months. This extension shall be effective from the day of approval (Findings of Fact dated_____).
- q) The Applicant, prior to issuance of a Building Permit, shall submit a revised landscape plan so that no tree species supersedes 20% of the total number of trees in the plan.
- r) The Applicant shall submit a Maintenance Plan for landscaping prior to issuance of a Building Permit.
- s) If left incomplete, all landscaping requirements from the five (5) previous phases of the Copper Ranch Development shall be completed in Phase 6.
- t) Utility boxes, including other ground and roof-mounted equipment, shall be screened from view.

Signed this _____ day of _____, 2023.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Special Meeting of May 15, 2023

To: Hailey Planning and Zoning Commission

From: Rebecca F. Bundy, Community Development Contract Planner

Overview: Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapters 16.01, Definitions, 16.04, Development Standards and 16.08, Townhouses and Title 17: Zoning Regulations, Chapters 17.02, Definitions; 17.05, Official Zoning Map and District Use Matrix; 17.06, Design Review and 17.09 Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development.

Hearing: May 15, 2023

Applicant: City Staff

Location: General Residential (GR), Limited Business (LB) and Business (B) and Transitional (TN) zoning districts.

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on April 26, 2023.

Background: City review of recent detached townhouse development project applications has indicated a need to clarify some regulations, including those pertaining to cottage development. The following existing code sections should be reviewed and revised to provide more specific and objective guidance to applicants. The City should ensure that the code is resulting in desired development outcomes with an efficient, predictable process.

Specific code sections that should be considered for amendment:

Sections 16.01 and 17.02, Definitions, Townhouse Development: In the current code, any detached townhouse is considered a “cottage”, but a typical “cottage court” development is very different than a less dense detached townhouse development with attached garages, as allowed by the current code. The code could be amended so that there are regulations, very similar to those in the existing code, to govern less dense detached townhouses and new regulations that pertain to denser, true “cottage court” housing. Definitions would be amended accordingly.

Section 17.06.080, Design Standards:

- A. Nonresidential, Multi-Family or Mixed-Use Building: The existing code’s standards in this section apply neatly to a multi-family building but are a bit cumbersome to apply to a development made up of detached townhouse, “cottage” housing or even a development of multiple duplexes. The new code provisions suggested above would apply to all detached townhouse developments of greater than two units.
- D. Multi-Family: Same discussion as above.

Chapter 17.09, Parking and Loading Spaces

Section 17.09.020.01, Location of On-Site Parking Spaces:

- D. Rear Location, Exception: A second exception could be added for “cottage court” consolidated parking areas, so they could be located at the side of the development, if that’s most practical, to minimize the amount of land dedicated to vehicular access.

Section 17.09.040.01, Residential: Requires 1.5 parking spaces per unit for multi-family dwellings. The code could be amended to clarify that this also applies to detached townhouses and that the parking requirement is an average for the development as a whole. The Commission could also consider whether parking requirements for a denser “cottage court” development, with size-limited units, should be amended.

Section 16.04.020, Streets: The existing code does not address access to parking for consolidated parking areas. The driveway standards only apply to less than 3 dwelling units, and the private street standards are geared towards access for single-family type dwelling units with garages attached to or located adjacent to the residence, not for a consolidated parking lot or carport serving a multi-family building or collection of buildings. Typically, the City has allowed driveways for multi-family buildings, such as apartments, to be built just to fire code standards. The code could be amended to provide specific regulations for all consolidated parking configurations.

Section 16.08.080, Density: The existing code limits the number of cottage townhouse units on any parcel to 12 and does not allow more than 2 cottage townhouse developments to be constructed adjacent to each other. Interestingly, there is no similar limitation for attached townhouses or multi-family buildings. The Commission could consider what limitations should, or should not, be applied to neighboring higher density projects.

Please see the attached Cottage Housing Workshop Report for additional information. At the May 15, 2023, workshop, Commission input will be solicited on the items outlined in the report.

Attachments:

- i. Cottage Housing Workshop Report

Standards of Review: Standards of review will not be addressed at this time, as no specific code language is being proposed. This meeting is simply a workshop to guide a subsequent code amendment.

Motion Language:

Continuation: Motion to instruct staff to proceed with proposed code amendments based on Commission input and continue the public hearing to June 20, 2023.

**COTTAGE HOUSING WORKSHOP REPORT
CITY OF HAILEY PLANNING & ZONING COMMISSION
MAY 15, 2023,
4:30 PM**



Cottage Housing, 1000 Block of East Myrtle Street, Hailey, Idaho

What is Cottage Housing?

There is no specific definition for cottage housing, and the term's use varies from jurisdiction to jurisdiction. The following is a fairly typical description:

"Cottage housing is a mildly dense, small scale housing form. Units are typically built at or below 1,200 square feet with modest dimensions. By design, cottage housing is geared toward single-family tenancy and can be constructed as either attached or detached units. The nature of cottage housing is one of community where shared space and semi-private space are favored over purely private space. Cottage housing developments are usually focused around community courtyards where housing clusters numbering four to twelve units open onto the shared space. Cottage housing can provide an affordable alternative to larger single-family homes and suit the needs of many different household types. They're especially adept at serving smaller families, single individuals, the elderly, and those with mobility challenges." Snohomish County, Washington Planning and Development website, <https://snohomishcountywa.gov/3461/37648/Cottage-Housing#:~:text=What%20Cottage%20Housing%20is,either%20attached%20or%20detached%20units>

Cottage Housing History in America

Cottage housing has its roots in the bungalow courts of the early 1900's that populated Los Angeles, Pasadena, Seattle and other, mostly west coast, cities. The early bungalow court was a form of multi-family housing in which several small homes were arranged around a central courtyard or garden. The bungalow court originated in Pasadena, California in 1909 and was the predominant form of multi-family housing in Southern California until the 1930's.

The bungalow court was usually built on a single lot and provided an opportunity for small, individual, inexpensive housing interspersed into the fabric of a single-family neighborhood. Each small home generally had an entry porch facing the communal courtyard. As automobiles were not a ubiquitous part of society at the time, parking accommodations are not a prominent feature of these early courtyard developments.

Link to the City of Pasadena's Planning & Community Development Department website, <https://www.cityofpasadena.net/planning/planning-division/design-and-historic-preservation/historic-preservation/projects-studies/bungalow-courts-in-pasadena/>

Current Cottage Housing Trends

The New Urbanism planning and design movement began in the United States in the early 1980's. Its focus is to promote a return to traditional town planning to create denser, walkable, mixed-use neighborhoods that reduce dependence on the automobile. As part of this movement, a variety of earlier denser housing types, including cottage housing, row houses and duplexes, have been re-explored.

An early designer of the current cottage housing movement, Ross Chapin Architects, has designed about twenty cottage courts in the Pacific Northwest, starting in about 2000. An early project, Greenwood Cottages, Shoreline, Washington, is a cluster of eight small homes, arranged around a central common area, with detached garages and located on an in-fill lot in a single-family neighborhood. Similar developments have been constructed in cities all over the country. Since many are designed and constructed as private, market-rate, for-sale developments, details are unavailable for many projects.

Today's cottage housing developments are typically constructed as in-fill projects in single-family neighborhoods. They generally consist of four to twelve small individual homes arranged around a common area with detached, consolidated parking located at the perimeter of the development. While architectural styles may vary, many utilize Craftsman style detailing with generous entry porches, typically facing the common area, and with a small private outdoor space adjacent to the residence. The homes are typically quite small in size (less than 1,500 square feet) and height (maximum one and a half or two stories).

Cottage developments are often built as fee simple, market-rate projects, but some are built as condominiums and some offer deed-restricted affordable and/or rental units. Quinn Cottages, in Sacramento, California, even provides transitional housing for homeless families!

The City of Hailey has three such cottage developments, two existing and one under construction, in the Old Cutters neighborhood. These are constructed at a density of 7 dwelling units per ½ acre, with a duplex planned or built on the adjacent ½ acre portion of the parcel in order to stay under the existing maximum density of 10 units per acre.

See Appendix A: Existing Cottage Development Comparison for an overview of some existing cottage housing projects and links to more information.

Cottage Housing Opportunities and Challenges

Opportunities:

- Can be established as in-fill projects, providing a middle density between single-family and denser multi-family development.
- Can offer a smaller scale housing option to meet a wider variety of needs (for singles, couples or the elderly) than traditional single-family housing.
- Can be integrated into less dense, single-family neighborhood.
- Offer higher density with the privacy features of a single-family home.
- Smaller size of the dwelling units uses less resources (energy, water, building materials, etc.) than a larger home.

Challenges:

- Construction costs per square foot are quite expensive. Increased density is generally required to make cottage developments economically feasible.
- Suitable sized lots may be difficult to find. There are very few existing lots in Hailey that are large enough and in applicable zoning districts to accommodate a cottage housing development. New opportunities may arise in future subdivisions.
- Zoning may not allow cottage housing.
- Neighbors may oppose the increased density of the cottage development.
- Parking may be difficult to accommodate efficiently so it doesn't overwhelm a small site.

Cottage Housing Zoning

Early contemporary cottage housing developments were built as experimental projects in collaboration with the local jurisdiction, but many communities have now enacted zoning that specifically addresses this type of development. A few communities (Portland, Oregon; Minneapolis and Los Angeles) have completely eliminated single-family zoning and simply allow outright two, or even up to four, units per typical city lot. Other communities allow a specific number of units per acre density or a floor area ratio (FAR) for cottage developments and require design review or conditional use permit approval.

Development Standard Considerations:

- Number of units - Some cottage ordinances allow minimum (often 4) and maximum (often 12) numbers of units in each cottage development. This would distinguish a cottage development from a very small, 2 - 3 unit development and would limit the size on the high end. This could also be handled with a density requirement instead.
- Minimum lot size – Some cottage ordinances have a minimum lot size for a cottage development. Again, this could also be addressed with a density requirement instead.
- Density – Can be addressed with:
 - Minimum/maximum units per acre;
 - A multiple of existing allowed density, e.g., 2 to 3 times the underlying single-family zoning; or
 - Floor area ratio (FAR), which allows a certain amount of lot coverage or total building area per square footage of lot area.
- Maximum lot coverage – Typically this is the same as the underlying, but it could be increased to allow for more cottage units. Typical allowed cottage lot coverage has been found to be between 40 and 60 percent.
- Setbacks
 - Typically, lot line setbacks are the same as the underlying zoning, and the setbacks between buildings are the same as, or slightly more than, the minimum required by building/fire code.
 - Allowing averaging of side and rear yard setbacks can allow for added flexibility and variation in structure locations, so the units do not create a visual “wall”.
- Size limits – Building footprint and/or overall building square footage can be stipulated:
 - A typical cottage footprint may be 800 – 1,200 square feet.
 - A maximum floor area may be set for each cottage housing unit. Typical maximum floor areas are 800 - 1,500 square feet.
 - Sometimes the upper floor area is limited to a certain size (600 sf) or a percentage of the main floor.
- Height limits
 - A lower height limit than the underlying zoning allows is often used to offset increased density.
 - To avoid tall and overly narrow homes, roof pitch limitations or a maximum ratio of height to width may be considered.
- Parking requirements
 - Parking Spaces: Required off-street parking is generally between 1 - 2 spaces per unit.
 - Parking Arrangement: Parking should be designed so that it is located away from primary streets. Parking areas may be accessed from the rear or side via an alley, from the side via

a private street or driveway or from a non-primary street. Adequate screening should be provided for any option.

- Parking Clusters: Parking lots or consolidated parking garages may be more feasible than individual garages. Parking should be distributed among small clusters on the site to avoid large parking structures/lots and to minimize visual impact.
- Parking Reduction: Parking reductions are often considered if the site is close to transit or within walking distance of a business district.
- Driveway access – Driveway access should be limited to the minimum possible to provide more space for the residences and private and communal open space. Many developments simply require only fire code compliant access, limit curb cuts at the street and/or require access from alleys where possible.
- Design/style - The Commission could consider whether objective standards should be placed on form, color scheme and variety in design. Hailey's current code tends to avoid dictating much in the way of design/style, except in the Townsite Overlay, and continuation of this trend may be appropriate.
- Common open space
 - Each dwelling unit should provide an allotment of space for a common open space area. Commonly, 150 - 400 square feet per unit are required, with a minimum dimension of 20 feet. The total common space area may be capped, often at about 3,000 sf.
 - Common open space requirements may be reduced when private open space is also required.
 - Generally, required setbacks, private open space, stormwater management facilities, parking areas and driveways do not qualify as common open space area.
- Private open space
 - Private open space is often enclosed within a low fence.
 - Generally, 100 -200 square feet, with a minimum dimension of 10 feet, of private open space is required.
- Porches - Covered front porches are a common feature. The minimum area may be 60-80 square feet.
- Orientation of the units – Most cottage units orient the primary entry towards the common open space area, but some require orientation towards street frontages, if applicable.
- Community Building – Many cottage developments contain a community building to provide a gathering space that accommodates larger groups than the cottages can.
- Future expansion of units – A jurisdiction should consider whether additions should be allowed in the future if they meet all cottage housing zoning requirements.
- Incentives – Incentives may be offered to encourage construction of cottage developments or for desired attributes, such as deed restricted for-sale or for-rent, affordable units (\$\$\$\$) and/or energy efficiency/sustainability [Energy Star Certification (\$\$)]. Incentives may include:
 - Allowing increased density
 - Requiring less parking
 - Expediting/streamlining entitlement process/regulations
 - Reduced permitting fees
- Tools for City review – Decide which tools will work best for the City:

- Design review or conditional use permit. Design review is most likely the best fit with existing processes.
- Administrative approval or by public hearing before the Planning and Zoning Commission. The Commission could consider requiring administrative review only for smaller, less dense projects and full review with a public hearing for larger, more impactful developments.

See Appendix B, Links to Cottage Housing Ordinances and Appendix C, Links to other Cottage Housing Guidance Documents for more information.

Existing City of Hailey Municipal Code Provisions

Hailey's current zoning code (Title 17) allows multi-family development outright in the General Residential (GR), Limited Business (LB) and Business (B) zoning districts and as a conditional use in the Transitional (TN) district. The code's definition sections describe apartments, duplexes and townhouse developments, including attached row house-style units and "cottages" (detached, free-standing townhouse units) as multi-family development. Residential condominium developments may also be included in the multi-family category.

All residential developments of three or more dwelling units are subject to design review approval from the City of Hailey Planning and Zoning Commission. While the code contains specific design review standards for multi-family buildings, it does not have specific regulations that apply to detached townhouses or cottages. The multi-family building provisions may not always be a good fit for a detached townhouse development, and it may be beneficial to distinguish between lower density detached townhouses and more dense, true cottage court developments.

Interestingly, the townhouse subdivision code only allows two detached townhouse (cottage) developments adjacent to each other, but it does not have the same restriction on attached townhouses (row houses) or other multi-family buildings, such as apartment or condominium buildings. This discrepancy may be concerning from a property rights perspective, and elimination of this restriction may be warranted.

Specific code sections that should be considered for amendment:

Sections 16.01 and 17.02, Definitions, Townhouse Development: In the current code any detached townhouse is considered a "cottage", but a denser "cottage court" as described above is very different than a less dense detached townhouse development with attached garages as allowed by the current code. The code could be amended so that there are regulations, very similar to those in the existing code, to govern less dense detached townhouses and new regulations that pertain to denser, true "cottage court" housing. Definitions would be amended accordingly.

Section 17.06.080, Design Standards:

- A. Nonresidential, Multi-Family Or Mixed Use Building: The existing code's standards in this section apply neatly to a multi-family building but are a bit cumbersome to apply to a development made up of detached townhouse, "cottage" housing or even a development of multiple duplexes. The new code provisions suggested above would apply to all detached townhouse developments of greater than two units.

D. Multi-Family: Same discussion as above.

Chapter 17.09, Parking and Loading Spaces

Section 17.09.020.01, Location of On Site Parking Spaces:

D. Rear Location, Exception: A second exception could be added for “cottage court” consolidated parking areas, so they could be located at the side of the development, if that’s most practical, to minimize the amount of land dedicated to vehicular access.

Section 17.09.040.01, Residential: Requires 1.5 parking spaces per unit for multi-family dwellings. The code could be amended to clarify that this also applies to detached townhouses and that the parking requirement is an average for the development as a whole. The Commission could also consider whether parking requirements for a denser “cottage court” development, with size-limited units, should be amended.

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Section 16.08.080, Density: The existing code limits the number of cottage townhouse units on any parcel to 12 and does not allow more than 2 cottage townhouse developments to be constructed adjacent to each other. Interestingly, there is no similar limitation for attached townhouses or multi-family buildings. The Commission could consider what limitations should, or should not, be applied to neighboring higher density projects.

Staff has solicited input from a few local stakeholders (designer/developer, engineer and housing advocate) who have experience with the detached townhouse code. Their comments have been incorporated into the table in Attachment D.

See Appendix D, Existing Code vs. Cottage Housing Comparison with Stakeholder Suggestions and Appendix E, Graphic Comparison of the Existing Dimensional Requirements for a Typical Single-family Lot and a Typical Townhouse Sublot in the General Residential (GR) Zoning District, which compares a typical single-family lot’s dimensional requirements to those of a theoretical 1/10 acre sublot.

Items for Commission Consideration:

- What are Commissioners’ comments on their experience with the existing townhouse code?
- Should cottage development be allowed in the code in addition to detached townhouses?
- If so, should the design review standards for non-cottage, detached townhouse development be amended to better address driveway access, garage location, size and orientation and street standards?
- Should cottage development be incentivized? By:
 - Allowing increased density?

- Requiring less parking?
 - Expediting/streamlining entitlement process/regulations?
 - Reduced permitting fees?
- Should additional requirements be placed on projects that are allowed increased density, such as:
 - Deed-restricted affordability (\$\$\$\$); and/or
 - Sustainability measures, such as Energy Star certification (\$\$)?
- Should cottages be limited in size?
- Should limits that are currently placed on number of higher density projects and their adjacency be removed from the existing code?
- Should cottage development require design review? Administrative or before the Commission? Size dependent?
- Should revised driveway standards for clustered parking be considered?
- Commissioners should comment on each design standard listed in Appendix D.

Appendix A: Existing Cottage Development Comparison																	

Appendix B: Links to Cottage Housing Zoning Ordinances

City of Kirkland, WA	https://www.codepublishing.com/WA/Kirkland/?html/KirklandZNT.html See Chapter 113, Cottage, Carriage and Two/Three-unit Homes.
City of Spokane, WA	https://my.spokanecity.org/smc/?Section=17C.110.350
City of Port Townsend, WA	https://www.codepublishing.com/WA/PortTownsend/html/PortTownsend17/PortTownsend1734.html#17.34
City of Redmond, WA	https://redmond.municipal.codes/RZC/21.08.290
City of Lakewood, WA	https://lakewood.municipal.codes/LMC/18A.30_ArtIII
City of Marysville, WA	https://www.codepublishing.com/WA/Marysville/html/Marysville22C/Marysville22C010.html#22C.010.280
Shoreline County, WA	Cottage Housing Snohomish County, WA - Official Website (snohomishcountywa.gov)
North Bend, WA	Chapter 18.11 COTTAGE RESIDENTIAL (codepublishing.com)
Bonner County, ID	12-480: COTTAGE HOUSING: (amlegal.com)
City of Juneau, AK	Article VII. COTTAGE HOUSING DEVELOPMENTS, Chapter 49.15. PERMITS, Title 49. LAND USE, Code of Ordinances, Juneau (elaws.us)
City of Hamilton, MA	https://www.hamiltonma.gov/wp-content/uploads/2017/10/Cottage-housing-bylaw-10.25.17.pdf
South Kingstown, RI	https://www.southkingstownri.com/1079/Cottage-Community-Regulations

Appendix C: Links to other Cottage Housing Guidance Documents

Lehigh Valley, PA	cottageHousingDev.pdf (lvpc.org)
City of Spokane, WA	Cottage Housing and Pocket Residential Code Revision Summary (spokanecity.org)
M-Group, Campbell, CA	https://www.m-group.us/m-lab/blog/2017/3/7/cottage-housing-developments
The Housing Partnership, Seattle, WA	https://mrsc.org/getmedia/d33307b0-2510-4130-a1ac-aa85c70ea78b/chord.pdf.aspx

Appendix D: Existing Code vs. Cottage Housing Comparison with Stakeholder Suggestions

Design Standard	Existing Code - assumes multi-family (3 or more units in development)				Typical Cottage Development	Stakeholder Suggestions
Zoning	GR	LB	B	TN		
Max number of units/project	12	12	12	12	4 - 12	No limit
Minimum lot size for MF	13,068 sf	6,534 sf	6,534 sf	13,068 sf	Varies	No minimum. Allow cottage developments with as few as 2 units
Density (DU/acre)	10	20	20	10	2 – 3x underlying density or 8-25 DU/acre	14/acre works really well. Not too dense to fit site well, but dense enough to be feasible
Separation of developments	No more than 2 adjacent cottage developments				N/A	No limit. Allow multiple adjacent cottage developments
Lot coverage	40%	N/A	N/A	30%*	40 - 60%	No comments
Setbacks	F 20' S 8'** R 10'***	F 20' S/R 10'***	F/S/R 0'	F 20' S/R 10'***	Same as underlying zoning, often average rather than minimum	No comments
Separation between buildings on same lot	6' from any portion of building to any portion of the next building (per fire code)				10' wall to wall	10' wall to wall
Size limits	N/A	N/A	N/A	N/A	Maximum 800 – 1,500 sf	1,200 sf (or average of 1,200 sf to allow more variety). No minimum except what building code requires
Height limits	35'	35'	35'	35'	25'	No height limit below underlying zoning
Min. MF parking requirements	1.5/DU				1 – 2/DU	As a practical matter, 2 per unit should be required. 1.5 = bare minimum.
Driveway access	From alley where present, otherwise from single approach from street				Same	Same
Design	Per design review standards				Often form & style mandates	Keep the code simple and leave the design elements up to the architects

Common open space	Required for any subdivision of 3 or more residential TH or condo units: Required area = # DU x .0277, with 75% reduction allowed in LB, B & TN zoning districts	400 sf/DU, max 3,000 sf	Important to require a certain amount per DU. No specific amount given
Private open space	Not required	100-200 sf/DU	No comments
Porches	Not required	Required	Yes, require!
Orientation of units	Front façade of buildings shall face the street	Front façade faces common area	No comments
Community building	Not allowed as an accessory use	Allowed or required	No comments
Incentives required to increase density	None	Generally, none	Do not add more requirements! In fact, incentivize cottage development with simplified review process, objective standards and reduced permitting fees
Tools for City review	Design review before the P & Z Commission	DR or CUP, Admin or Commission	Make review of typical developments administration. Design review should be required for very large developments

MF = Multi-family

SF = Single-family

DU = Dwelling unit

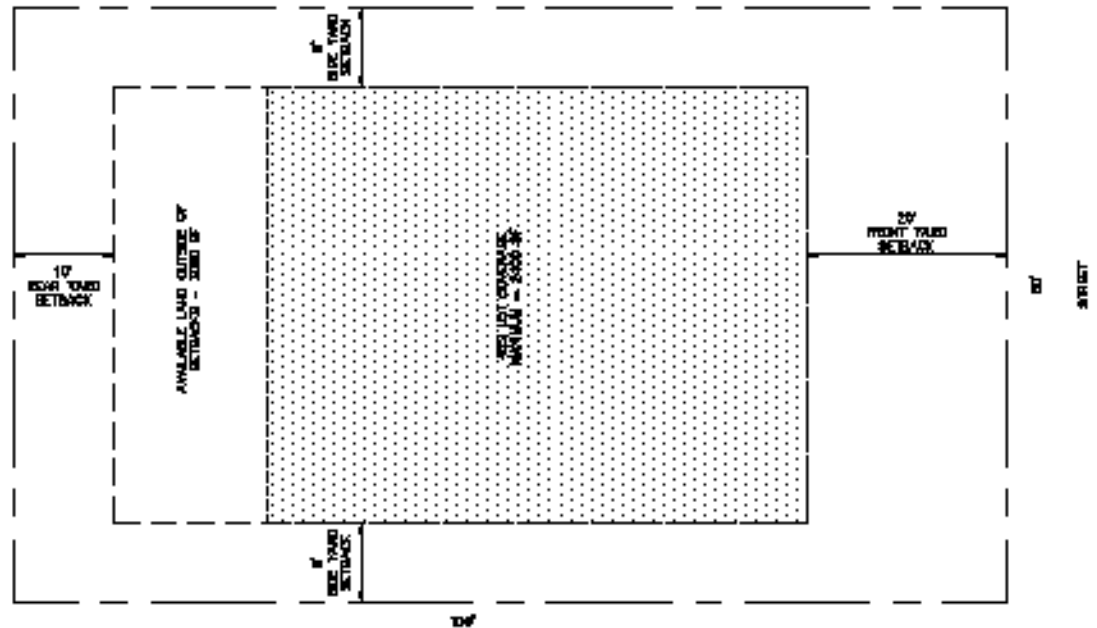
* 40% if 75% of parking spaces are enclosed in structure.

** Additional setback required for height above 10 feet.

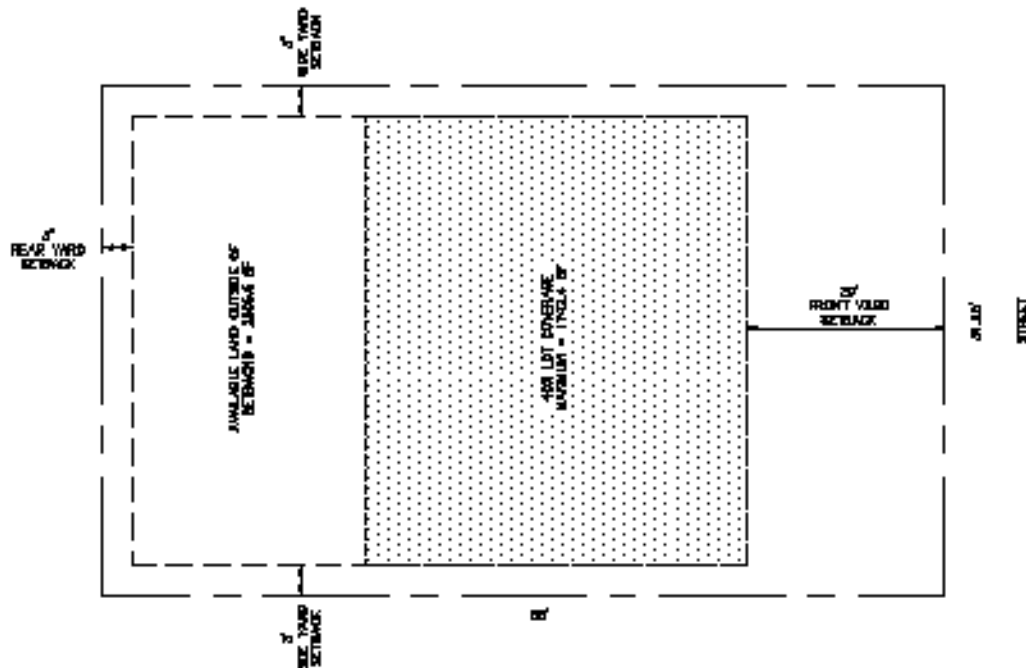
Additional Stakeholder suggestion pertaining to detached townhouses:

The impact of detached townhouses built to the underlying zoning density is similar to that of single-family homes. It might be appropriate to regulate detached townhouses more similarly to single-family housing, with no (or administrative) design review.

Appendix E: Graphic Comparison of the Existing Dimensional Requirements for a Typical Single Family Lot and a Typical Townhouse Sublot in the General Residential (GR) Zoning District



TYPICAL GR LOT (8000 SF), SINGLE-FAMILY DEVELOPMENT



TYPICAL DETACHED TOWNHOUSE SUBLOT (1/10 ACRE = 4356 SF)

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U.S. Department of Housing and Urban Development. "East Greenwich, Rhode Island" Cottages on Greene's Innovative Approach to Infill."

https://www.huduser.gov/portal/casestudies/study_07022012_1.html

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of May 15, 2023

To: Hailey Planning and Zoning Commission

From: Cece Osborn, Community Development City Planner

Overview: Consideration of a Planned Unit Development (PUD) concept by Darin and Kathleen Barfuss for the proposed Star Light Lane Subdivision on Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E) at the intersection of Silver Star Drive and Broadford Road in the Limited Residential (LR-2) Zoning District. The Applicant has drafted a concept for a forthcoming PUD Agreement and Preliminary Plat Application, including five (5) single-family lots. At this stage in the process, the Applicant is proposing a Community Housing amenity of two (2) single-family homes in exchange for waivers to the requirements for:

- Minimum lot size of the LR-2 Zoning District;
- Maximum number of flag lots in a subdivision; and
- The park space requirement for subdivisions.

Hearing: May 15, 2023

Applicant: Darin and Kathleen Barfuss

Location: 1371 Silver Star Drive (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E)

Zoning/Size: Limited Residential (LR-2); 1.20 acres (52,272 square feet)

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners and public agencies on April 26, 2023. Onsite Notice was posted on May 8, 2023.

Application: The Applicant seeks to subdivide Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E) into five (5) lots for single-family dwelling units, to be known as Star Light Lane Subdivision. The proposed project is located at the intersection of Silver Star Drive and Broadford Road in the Limited Residential (LR-2) Zoning District.

Amenities Proposed: Chapter 17.10.030.I General Requirements, Amenities, requires that each Planned Unit Development Application provide one (1) or more amenities. Community Housing is listed as an eligible amenity and defined in the Hailey Municipal Code as such:

Through a deed restriction, a dwelling unit that is restricted by size, type, and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.

Within the proposed Star Light Lane Subdivision, the Applicant is offering to designate two (2) of the single-family dwellings as Community Housing Units to local full-time employees, local employers, or local community housing providers. Specifically, the draft PUD Agreement defines the eligible purchasers as such:

- 4.1.1 Local Full-Time Employee: A person who has been a full-time resident of Blaine County, employed, and physically working in Blaine County for at least one (1) year. Employment in Blaine County must entail a minimum of 1,500 hours worked per calendar year shared between one (1) or more Local Employers. Full-Time Employees may have breaks in employment due to a temporary physical or mental disability, acting as primary caretaker of a disabled relative or child, extended vacation that does not exceed six months every six years, or full-time education or training.
- 4.1.2 Local Employer: An organization that is physically located and operating in Blaine County. A local employer must pay wages or a salary to one (1) or more people who reside in Blaine County.
- 4.1.3 Local Community Housing Provider: An official organization that is dedicated to the cause of creating, securing, or coordinating housing for full-time employees and employers local to Blaine County.

While the proposed PUD would allow the Community Housing Units to be sold, refinanced, and resold at market value, a deed covenant would restrict the sale to purchasers based on the eligibility criteria specified above. This type of deed covenant does not involve price appreciation caps, income limits, monthly rental rate limits, nor household size requirements. Yet, it can be instrumental to housing markets in resort towns by restricting ownership and tenancy to full-time residents and workers in the locale.

Such a program is modeled by the Vail “InDeed” program and Park City’s “Lite Deed Restriction Program.” It is also exemplified as a Condition of Approval for the River Lane project and resembles the Blaine County Housing Authority’s (BCHA) “Section L” Income Category. Per Section L, certain BCHA units are available based on “No Income Limit but [the stipulation that a member of the household] must be a full-time resident of Blaine County” (see BCHA’s [2020 Community Housing Guidelines, page 2](#)). Similarly, Community Housing units owned and managed by local employers support housing accessibility for our local workforce and community members.

There is preliminary data from Hailey’s forthcoming Housing Needs Assessment that highlights the housing burdens of people making 100-120% of the area median income. Preliminary data shows that the rate of home ownership for people in Hailey earning about \$80,000 per year is low; of the people in this income group, about half rent and half own their homes. The low rate of home ownership in the 100-120% AMI group indicates outpricing and the need for more “Section L” housing. As discussed above, housing that is reserved for full-time residents and workers yet not capped at a certain value is beneficial both to resort communities and the people who call them home.

Both the eligibility criteria for purchasers and the proposed type of deed covenant aligns with the City's longstanding and urgent housing goals. The Hailey Comprehensive Plan speaks to the economic, environmental, and social benefits of increasing housing accessibility for the local workforce and community members. Specifically, Section 8: Housing of the Comprehensive Plan states:

- "If affordable housing for employees to purchase and/or rent cannot be provided, it will limit the growth potential and sustainability of local businesses";
- "Carbon emissions are reduced, and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt; and
- "Quality of life and safety improve when critical care employees live within close responding distance. Children do better in school when parents are at home in the mornings and evenings. Homeowners are more active in their communities, creating a greater vibrancy and sense of unity" (Section 8: Housing, page 38).

Additionally, the Plan references mechanisms that encourage or support housing accessibility, including land use planning and housing programs that provide a diversity of unit types for households with varying needs. In recent years, the City has sought to diversify Hailey's housing stock by planning for townhouses, duplexes, cottages, accessory dwellings, tiny homes on wheels, co-living dwellings, as well as Community Housing units. Variety in the unit types and eligibility stipulations of Hailey's Community Housing is also important. As stated by the Plan, "the types and methods of providing community housing should be re-examined, but the ongoing need for affordable homes – whether for rent or for sale – remains an important challenge" (Section 8: Housing, page 38).

While market home prices continue to exceed affordability standards for working families in the community—even for families earning above the Area Medium Income— Staff welcomes the Applicant's proposed amenity: two (2) new single-family Community Housing units. Additionally, Staff finds the proposed amenity to be commensurate with the requested waivers and modifications of the zoning and subdivision requirements.

Waivers Requested: Chapter 17.10.040: Developer Benefits, allows for the request of modifications or waivers of zoning and subdivision requirements. In turn for offering Community Housing Units, the Applicant requests waivers to:

- Waiver of the minimum lot size in the Limited Residential (LR-2) Zoning District (Section 17.04B.050);
- Waiver of the maximum number of flag lots allowed within a subdivision (Section 16.04.060.D); and
- Waiver of the park space requirement for subdivisions (Section 16.04.110.A).

Procedural History: The Applicant submitted a Planned Unit Development Application, in tandem with a Preliminary Plat Application, on December 12, 2022. The Hailey Planning and Zoning Commission will consider the applications and hold a Public Hearing on March 6, 2023 in-person at City Hall and virtually via GoTo Meeting.

Standards of Evaluation
17.10.030: General Requirements:

A.		The minimum gross size for properties that may be developed as a PUD is one (1) acre, except in the Business and Limited Business zoning districts within the Central Business District, the minimum gross size shall be 18,000 square feet. All land within the development shall be contiguous except for intervening streets and waterways.
Staff Comments		<i>The proposed PUD site is 1.20 acres or 52,272 square feet in size and, therefore, compliant with this standard.</i>
B.		A tract or parcel of land proposed for PUD development must be in one (1) ownership or the subject of an application filed jointly by the owners of all property included.
Staff Comments		<i>The parcel is in ownership of Darin and Kathleen Barfuss.</i>
C.		Area Development Plan:
	C.1	When the owner of Contiguous Parcels is required to obtain PUD approval for any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:
	C.1.a	Streets, whether public or private, shall provide an interconnected system and be adequate to accommodate anticipated vehicular and pedestrian traffic.
Staff Comments		<i>The Applicant is not proposing any new streets, neither public nor private.</i> <i>Per the recommendation of Staff, the Applicant has removed sidewalk improvements on the Silver Star Drive frontage. Rather than provide an island of sidewalks, the City's Public Works Department would prefer that the Applicant provide an in-lieu fee or construct a section of the shared-use path planned for Broadford Road. The shared-use path is constructed up to Stoney Cove Road, and South River Street improvements are anticipated in the next few years. If the Applicant constructed a portion of the shared-use path, it would remove their need for a sidewalk in-lieu fee and/or sidewalk improvements.</i>
	C.1.b	Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways, and provide an interconnected system to streets, parks and green space, public lands, or other destinations.
Staff Comments		<i>See above, Section 17.10.030.C.1.A.</i>
	C.1.c	Water main lines and sewer main lines shall be designed in the most effective layout feasible.
Staff Comments		<i>Water and wastewater services are readily available. The proposed connections have been approved by Public Works Staff and will be analyzed in a forthcoming Preliminary Plat Staff Report.</i>
	C.1.d	Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.
Staff Comments		<i>Water and wastewater services are readily available. The proposed connections have been approved by Public Works Staff and will be analyzed in a forthcoming Preliminary Plat Staff Report.</i>
	C.1.e	Park land shall be most appropriately located on the Contiguous Parcels.
Staff Comments		<i>The proposed concept includes 3,685 acres of park space. While the location of the park space is suitable, the acreage presents a shortfall of 2,348 square feet. A total of 6,033 square feet of park space is required for this project per Section 16.04.110.A.1. In order to satisfy this requirement, the Applicant may:</i> <ul style="list-style-type: none"> - <i>Reconfigure the design to provide 6,033 square feet of park space;</i> - <i>Provide a portion of park space and pay fees in-lieu of the shortfall; or</i> - <i>Request a waiver to the park requirement.</i>
	C.1.f	Grading and drainage shall be appropriate to the Contiguous Parcels.
Staff Comments		<i>A Grading and Drainage Plan will be submitted and reviewed by the City Engineer.</i>

C.1.g		Development shall avoid easements and hazardous or sensitive natural resource areas.	
Staff Comments		N/A – No hazardous nor sensitive natural resource areas exist onsite.	
C.2		Upon any approval of the PUD Application, the Owner shall be required as a Condition of Approval to record the Area Development Plan or a PUD Agreement depicting and/or detailing the approved Area Development Plan. The Area Development Plan shall bind the Owner and Owner’s successors.	
Staff Comments		The PUD Agreement has been submitted and is currently under review by the City Attorney. This agreement will be recorded as part of the Planned Unit Development Application, if approved by the City Council. If the project is recommended for approval by the Planning and Zoning Commission, an Area Development Plan shall be submitted for review and approval by the Hailey City Council.	
D.		Solar Access: Street and lot orientation, landscaping, and placement of structures shall provide for solar access to all south roofs and walls to the maximum extent feasible in order to promote energy efficiency.	
Staff Comments		As proposed, the single-family dwellings are south facing, maximizing solar access to the buildings and roofs. The Applicant is further proposing to prewire each home for future solar installations to promote energy efficiency and minimize energy consumption.	
E.		Access: Access shall be provided in accordance with standards set forth in Chapter 16.04, Development Standards, of this Code. Buildings may not be so arranged that any structure is inaccessible to emergency vehicles.	
Staff Comments		The Applicant proposes vehicular and emergency access to the proposed single-family residences via shared driveways. Site access is under review by the Fire Department. Any concerns or issues will be brought to the hearing.	
F.		Underground Utilities: Underground utilities, including telephone and electrical systems, shall be required within the limits of all PUDs.	
Staff Comments		All utilities will be underground.	
G.		Public Easement: In each case where a PUD project is located adjacent to public lands, a public easement to those lands shall be provided. All existing public accesses to public lands must be preserved.	
Staff Comments		N/A – The proposed project is not located adjacent to public lands.	
H.		Pathways: In each case where a PUD project encompasses a non-vehicular pathway as depicted on the Master Plan, a pathway constructed to City standards shall be provided.	
Staff Comments		While the proposed PUD does not encompass a pathway, City Staff requests that the Applicant construct a section of the shared-use path planned for Broadford Road in-lieu of sidewalk improvements on Silver Star Drive.	
I.		Amenities: Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the applicant, to ensure a public benefit:	
	I.1	Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public. Green space shall be set aside in accordance with the following formulas:	
		For residential PUDs	A minimum of .05 acres per residential unit.
		For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.

Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.2	Active Recreational Facilities: Active recreational facilities include amenities such as a swimming pool, tennis courts or playing fields, of a size appropriate to the needs of the development. The PUD agreement shall contain provisions requiring that such facilities be maintained in perpetuity or replaced with another similar recreation facility.
Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.3	Public Transit Facilities: Public transit facilities include a weather protected transit stop or transit station and must be located on a designated transit route.
Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.4	Preservation Of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six-inch (6”) caliper on the site.
Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.5	Wetlands: Protection of significant wetlands area must constitute at least ten percent (10%) of the gross area of the proposed PUD.
Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.6	River Enhancement: Enhancement of the Big Wood River and its tributaries, must include stream bank restoration and public access to or along the waterway.
Staff Comment		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>
	I.7	Community Housing: For residential PUDs, the provision of at least ten percent (10%) of the approved number of dwelling units or lots as community housing units affordable to households earning between seventy percent (70%) and one hundred twenty percent (120%) of the area median income. This provision may be modified for individual projects based on the merits of the proposal as determined by the Commission and Council.
Staff Comment		<p><i>The Applicant is proposing to designate two (2) out of the five (5) single-family residences as Community Housing Units. As described at the start of this report and permitted by the portion of the standard that grants the Commission and Council flexibility, City Staff and the Applicant have negotiated that the single-family Community Housing Units be sold under a deed covenant to local, full-time employees, local employers, or local community housing providers, as defined in the PUD Agreement. The deed covenant will not involve price appreciation caps, income limits, monthly rental rate limits, nor household size requirements. Please refer to the Staff Report narrative for more information about the justification and merits of this type of deed covenant.</i></p> <p><i>Both the eligibility criteria for purchasers and the deed restriction stipulation support the City’s longstanding and urgent housing goals. Additionally, City Staff finds them to be commensurate with the requested waivers and modifications of zoning and subdivision requirements. Specifically, the draft PUD Agreement defines the eligible purchasers as such:</i></p> <ul style="list-style-type: none"> - 4.1.1 <u>Local Full-Time Employee:</u> A person who has been a full-time resident of Blaine County, employed, and physically working in Blaine County for at least one (1) year. Employment in Blaine County must entail a minimum of 1,500 hours worked per calendar year shared between one (1) or more Local Employers. Full-Time Employees may have breaks in employment due to a temporary physical or mental disability, acting as primary caretaker of a disabled relative or child, extended vacation that does not exceed six months every six years, or full-time education or training. - 4.1.2 <u>Local Employer:</u> An organization that is physically located and operating in Blaine County. A local employer must pay wages or a salary to one (1) or more people who reside in Blaine County.

		- 4.1.3 <u>Local Community Housing Provider:</u> An official organization that is dedicated to the cause of creating, securing, or coordinating housing for full-time employees and employers local to Blaine County.				
	I.8	Local Deed-Restricted Housing: For residential PUDs, the provision of at least thirty percent (30%) of the approved number of dwelling units or lots as local deed-restricted housing as defined by the local housing authority in its Community Housing Guidelines and reserved for households within the political boundaries of Blaine County Idaho (residing full-time in Hailey, Idaho), and whose primary residence is within the residential PUD.				
Staff Comment		As described above, the Applicant is offering to deed restrict and designate 40% of the PUD’s dwellings as Community Housing Units.				
	I.9	Real Property: Dedication or conveyance of real property or an interest in real property to the city.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.10	Sidewalks. Off-site sidewalk improvements shall be constructed according to City Standard Improvement Drawings and provided (in addition to sidewalk improvements that are required by ordinance adjacent to the subject property) in accordance with the following formulas: <table><tr><td>For residential PUDs</td><td>A minimum of 100 linear feet per residential unit.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>A minimum of 100 linear feet per 1000 square feet of gross floor area.</td></tr></table>	For residential PUDs	A minimum of 100 linear feet per residential unit.	For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.
For residential PUDs	A minimum of 100 linear feet per residential unit.					
For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.					
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.11	Underground Parking: Underground parking must be provided for at least fifty percent (50%) of the required number of parking spaces in the PUD.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.12	Energy Consumption. All principal buildings within the PUD must comply with sustainable building practices, as follows: <table><tr><td>For residential PUDs</td><td>Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.</td></tr></table>	For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.	For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.
For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.					
For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.					
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.13	Other Amenities: Other project amenities and/or benefits to the community that are found, by recommendation of the commission and approval of the council, to promote the purpose of this chapter and the goals and objectives of the comprehensive plan.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
17.10.040: Developer Benefits:						
The Council may grant modifications or waivers of certain zoning and/or subdivision requirements to carry out the intent of this Chapter and the land use policies of the City.						
Staff Comment		In turn for offering Community Housing Units, the Applicant requests waivers to:				

		<ul style="list-style-type: none"> the minimum lot size in the Limited Residential (LR-2) Zoning District (Section 17.04B.050); the maximum number of flag lots allowed within a subdivision (Section 16.04.060.D); and the park space requirement for subdivisions (Section 16.04.110.A).
17.10.040.01: Density Bonus:		
A.		<p>The following maximum increases in density may be granted only if one of the following conditions are met, and if no other density increase has been granted:</p> <p><i>Hailey's Municipal Code does not specify an underlying density for the LR-2 Zoning District. However, it does specify a minimum lot size, to which the Applicant has requested a waiver.</i></p> <p><i>The site of the proposed PUD is 1.20 acres or approximately 52,272 square feet in size. By-right, the LR-2 Zoning District permits four (4) single-family lots of approximately 13,068 square feet in size on the site. The Applicant is proposing a total of five (5) dwelling units—marking a 25% increase to the maximum allowed density.</i></p>
	A.1	Ten percent (10%): Solar, wind, geothermal or other alternative renewable energy source will provide at least fifty percent (50%) of the total energy needs of the PUD.
Staff Comment		N/A
	A.2	Ten percent (10%): At least twenty five percent (25%) of the property included in the PUD is located in the floodplain and no development occurs within the floodplain.
Staff Comment		N/A
	A.3	Ten percent (10%): The developer of the PUD provides or contributes to significant off-site infrastructure benefiting the city (e.g., water tank, fire station).
Staff Comment		N/A
	A.4	Twenty percent (20%): The developer of the PUD provides or contributes to significant multi-modal infrastructure providing both vehicular and nonvehicular amenities benefiting the city and Wood River Valley.
Staff Comment		<i>City Staff seeks feedback from the Commission and Council on their request for the Applicant to construct a section of the Broadford shared-use path. The Broadford shared-use path is constructed up to Stoney Cove Road, and South River Street improvements are anticipated in the next few years. It is preferred by Staff that the Applicant play a role in the City incrementally closing the gap and providing bicycle and pedestrian connectivity along Broadford Road. Participation in the project would satisfy the sidewalk installation and/or sidewalk in-lieu fees requirement.</i>
	A.5	Ten percent (10%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for silver certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		N/A
	A.6	Fifteen percent (15%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for gold certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		N/A
	A.7	Twenty percent (20%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for platinum certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		N/A

B.	Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015)
Staff Comment	<i>City Staff finds the proposed benefits commensurate with the requested waivers and presumed increase in the parcel's density, or units per acre. All the same, Staff recommends that the Commission and Council analyze the proposed Community Housing and speculative multimodal amenities and benefits with the purpose and intent of this chapter, as well as with the longstanding goals of the City's Comprehensive Plan</i>
17.10.040.02: Density Transfer:	
Densities may be transferred between zoning districts within a PUD provided the resulting density shall be not greater than aggregate overall allowable density of units and uses allowed in the zoning districts in which the development is located.	
Staff Comment	<i>N/A – No density transfer is requested.</i>
17.10.040.05: Phased Development Allowed:	
The development of the PUD may be planned in phases provided that as part of the general submission, a development schedule is approved which describes:	
A.	Parcels: The parcels that are to be constructed upon in each phase and the date of each phase submission.
Staff Comment	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
B.	Number of Units: The number of units to be built in each submission.
Staff Comment	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
C.	Schedule For Completion: A schedule for making contributions (if any), for the completion of project amenities and public improvements, for posting of security pursuant to subsection 17.10.050.08 of this Chapter, for dedication of Green Space, for conveyance of community housing and/or provision of employee housing.
Staff Comment	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
D.	Stage Planning: Each stage within the PUD shall be so planned and related to existing and/or planned services and facilities, including commercial space, such that each phase is self-sufficient and not dependent on later phases and so that failure to proceed to the subsequent stages will not have any adverse impacts on the PUD, its surroundings, or the community in general. Each stage shall also be planned so as to ensure that green space and any other amenities will be provided along with proposed construction at each phase of construction.
Staff Comment	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
17.10.040.06: Modifications to the Subdivision Standards:	
Standards in the Subdivision Title for streets, sidewalks, alleys, and easements, lots and blocks, and parks may be allowed. The requirements for sidewalks in the zoning districts set forth in Section 16.04.030 shall not be waived.	
Staff Comment	<i>As described above, the proposed concept includes 3,685 acres of park space, which entails a shortfall of 2,348 square feet. A total of 6,033 square feet of park space is required for this project per Section 16.04.110.A.1. In order to satisfy this requirement, the Applicant may:</i> <ul style="list-style-type: none"> - <i>Reconfigure the design to provide 6,033 square feet of park space;</i> - <i>Provide a portion of park space and pay fees in-lieu of the shortfall; or</i> - <i>Request a waiver to the park requirement.</i>
Subsection 17.10.050.04(C) sets forth Standards of Evaluation required by the City Council.	
A.	Standards of Evaluation

	A.1	The proposed development can be completed within one (1) year of the date of approval or phase according to a development schedule as submitted in accordance with Section 17.10.040.05 of this chapter and approved by the City;
Staff Comment		<i>This standard shall be met within the standard timeline of a Building Permit, or 548 days. This has been added as a Condition of Approval.</i>
	A.2	The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic;
Staff Comment		<i>The existing public streets, Silver Star Drive and Broadford Road, are adequate to carry the residential traffic generated from the proposed units. City Staff is working with the Applicant to improve the proposed private street to comply with City and IFC requirements.</i>
	A.3	The PUD will not create excessive additional requirements at public cost for public facilities and services;
Staff Comment		<i>No excessive costs are anticipated from this project.</i>
	A.4	The existing and proposed utility services are adequate for the population densities and non-residential uses proposed;
Staff Comment		<i>Utility services are available and are adequate to service the density proposed.</i>
	A.5	The development plan incorporates the site's significant natural features;
Staff Comment		<i>The site is empty and flat, it does not contain any natural features worthy of protection.</i>
	A.6	Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner;
Staff Comment		<i>N/A – No phases are proposed.</i>
	A.7	One or more amenities as set forth in subsection 17.10.030I of this chapter shall be provided to ensure a public benefit;
Staff Comment		<i>Please refer to Section I of this report for further details.</i>
	A.8	All exterior lighting shall comply with the standards set forth in subsection 17.08C of this chapter; and
Staff Comment		<i>All exterior lighting will be compliant, this has been made a Condition of Approval.</i>
	A.9	The proposed PUD Agreement is acceptable to the applicant and the City.
Staff Comment		<i>A draft PUD Agreement has been submitted and is attached. The City Attorney is currently reviewing the PUD Agreement, and comments, if any, will be brought to the hearing.</i>

Summary and Suggested Conditions: The Commission shall conduct a public hearing and review the Application, all supporting documents and plans, and recommendations of City Staff, in making their recommendation to the Council. In any public hearing on a PUD Application, the presiding officer may order the hearing to be continued for up to thirty (30) days at the same place, in which case no further published notice shall be required.

1. The proposed development is subject to Preliminary Plat approval by the Hailey City Council.
2. The project shall receive Planned Unit Development approval subject to the conditions outlined in the PUD Development Agreement.
3. Waivers are hereby granted as follows:
 - a. Waiver of the minimum lot size in the Limited Residential (LR-2) Zoning District (Section 17.04B.050);
 - b. Waiver of the maximum number of flag lots allowed within a subdivision (Section 16.04.060.D); and
 - c. Waiver of the park space requirement for subdivisions (Section 16.04.110.A).
4. In exchange for the waivers granted, the Applicant shall provide community benefits through the provision of Community Housing Units:

- a) By way of a deed covenant, the developer will restrict two (2) of the five (5) single-family residential lots/units for sale to local employees, local employers, and local housing providers, as defined by the Planned Unit Development Agreement.
- 5. The proposed development can be completed within the standard timeline of a Building Permit, or 548 days.
- 6. An Area Development Plan shall be submitted for review and approval by Hailey City Council.

Motion Language:

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].



Jacob Thomas
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jacob@insitescape.com

STAR LIGHT SUBDIVISION 1371 SILVER STAR DRIVE HAILEY, IDAHO 83333

SITE PLAN

PUB SUBMISSION
REV. #3

L-1.0

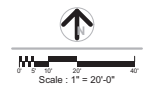
04/19/2023

LEGEND

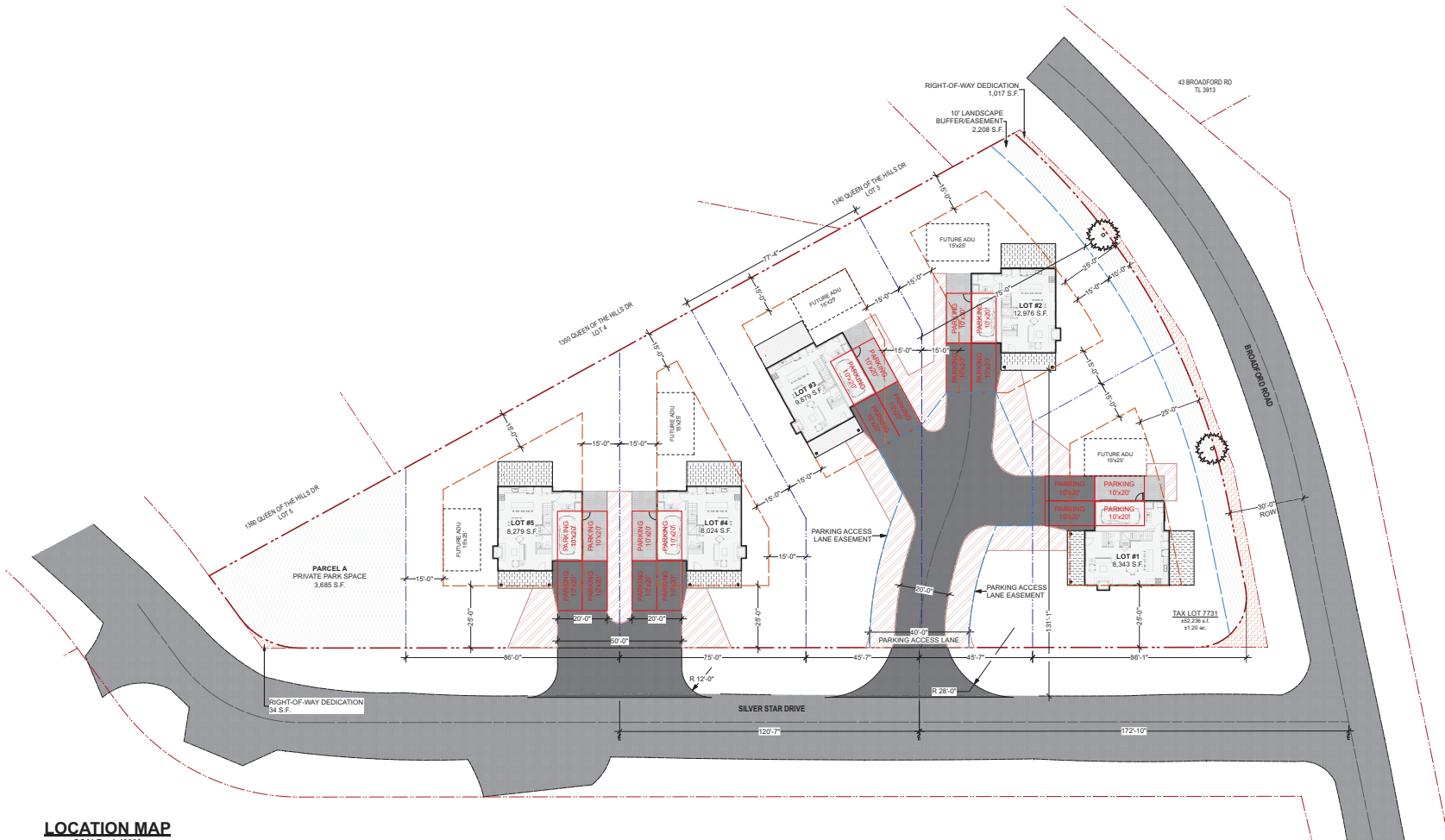
- PROPERTY LINE
- SUBLOT PROPERTY LINE
- SETBACK
- EASEMENT
- PROPOSED RIGHT-OF-WAY DEDICATION
DEDICATED TO CITY OF HAILEY PER REPLAT
- PRIVATE PARK SPACE & BUFFER
- PROPOSED SNOW STORAGE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED PAVERS
- PROPOSED GRAVEL
- EXISTING EVERGREEN TREE TO REMAIN

NOTES

- This plan was prepared for the express use of the Client and is not transferable to others without written consent.
- This is a Conceptual Plan only. It is subject to change and is not intended to be used as a construction document.
- Boundary information is based on record information. Please refer to the recorded plat.
- Refer to plat notes, conditions, covenants and restrictions on original plat.
- All site & survey information based on survey(s) provided by the Client and prepared by Galena Engineering (103122, #8337).
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: Uniform Building Code, Uniform Mechanical Code, Uniform Fire Code, NFPA standards, National Electrical Code, Uniform Plumbing Code, all as adopted by City of Hailey.
- Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority.
- Contractor shall review these plans thoroughly, make a detailed site visit, and immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid.
- Above and below ground utility locations are approximate and must be located and verified in the field before any excavation. All regulations with regard to hand-dig setbacks must be followed.
- Prior to any site work, the Contractor, with assistance from the Landscape Architect, shall construct a portable barrier delineating the previously agreed upon LIMIT OF DISTURBANCE. All construction and construction related activities shall take place within this limit ONLY, with no disturbance occurring outside this limit.



SUBMISSION SET
NOT FOR CONSTRUCTION



LOCATION MAP SCALE = 1:40000



VICINITY MAP SCALE = 1:2000



R.O.W. DEDICATED TO CITY OF HAILEY = 1,051 S.F.

PRIVATE PARK SPACE & BUFFER = 5,893 S.F.
(0.0277 ACRES x 43,560 S.F.) x 5 UNITS = 6,033 S.F. REQUIRED PER CODE
(140 S.F. SHORT)

SIDEWALK = 0 L.F.
100 L.F. x 5 UNITS = 500 L.F. REQUIRED PER CODE
(500 L.F. SHORT)

SNOW STORAGE = 4,525 S.F.
25% x 6,650 S.F. ON-SITE PARKING & DRIVE = 1,663 S.F. REQUIRED PER CODE
(2,862 S.F. EXTRA)

Cece Osborn

From: catherine sullivan <cwsparis@yahoo.com>
Sent: Wednesday, May 10, 2023 3:06 PM
To: planning
Cc: Colorado Gulch Preserve Subdivision HOA; moverfelt@yahoo.com
Subject: 1371silver star drive development app

Hailey County Commissioners
Planning and Zoning

To whom it may concern,

I am totally opposed to the proposed development request for the lots at 1371 Silver Star Road in Hailey. Yet again, someone is requesting a change in the zoning restrictions that allow for more houses, smaller lots, rental units and ultimately greater density to our disappearing rural neighborhood. Everything you have allowed over the past few years has impacted and diminished dramatically the serenity and peacefulness of Broadford Road. With everything that's going on in this valley, what only five years ago was a quiet, rural, beautiful drive is now a freeway. In the morning, especially during rush hour, cars heading north cut onto Broadford from Bellevue and the traffic line is non-stop, often going as fast as 60 miles per hour. It is totally disruptive and extremely unsafe. We do not have sidewalks protecting us from these cars and trucks. Bikers, runners, kids, families walking their dogs or pushing their babies, even people riding their horses are now at a much increased risk of injury or even death. Adding more houses than allowed on that property will increase the traffic even more and the back-up out of Broadford onto Cedar, either way, will be impossible. The people living along upper Broadford especially will be severely impacted by the increased traffic and back-up. It is understood that that property at 1371 is allowed to be developed but only according to zoning restrictions. To change the zoning or make exceptions to it benefits no one in the neighborhood nor the residents in Hailey. The only people gaining from this are the owners of 1371 and the city of Hailey, both of whom are only concerned with money. The Barfuss family moved out of this neighborhood to Belleview when the Colorado Gulch Preserve development went in because they disliked what was happening and did not want to be impacted. Now they are trying to do what they hated only to make money. The city of Hailey should look beyond filling their pockets and protect the serenity and safety of historic neighborhoods and the nice people who live in them. We appreciate and protect each other. You should do the same.

Sincerely,
Catherine Sullivan
92 Broadford Road

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of May 15, 2023

To: Hailey Planning and Zoning Commission

From: Emily Rodrigue, Community Development Resilience Planner/City Planner

Overview: Consideration of a Design Review Application submitted by the City of Hailey for one (1) new 4,820 square foot mixed-use building, consisting of two (2) one-bedroom, 418 square foot residential units, located above 2,095 square feet of combined office and industrial space for the Hailey Water Division. This project is known as the Hailey Water Division Office Building and is located at 4297 Glenbrook Drive (Lots 17 and 18, Parcel K, Sewer Plant, Block 42, Woodside Subdivision #10) within the Light Industrial (LI) Zoning District.

Hearing: May 15, 2023

Applicant: City of Hailey

Location: 4297 Glenbrook Drive (Lots 17 and 18, Parcel K, Sewer Plant, Block 42, Woodside Subdivision #10)

Zoning/Size: Light Industrial (LI); 0.378 acres (16,452 square feet)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on April 26, 2023, and mailed to property owners within 300 feet on April 26, 2023. No additional notices were sent, or publications made.

Background and Project Overview: The Applicant, the City of Hailey, is proposing to construct one (1) new two-story, mixed-use building, consisting of 1,311 square feet of shop space, 784 square feet of office space, one (1) first floor, ADA compliant restroom, and two (2) one-bedroom, 418 square foot residential units. On April 12, 2023, the City of Hailey submitted a Design Review Application for the project, known as Hailey Water Division Office Building. This project is also associated with a separate City-initiated Application for a Lot Line Adjustment and Vacation of Public Utility Easement, specifically regarding Parcel K, Lot 17, and Lot 18, as referenced in this Staff Report. The public commenting period for this Adjustment and Vacation Application was held from April 26-May 7, 2023, during which time no public comments were received. The Findings of Fact were subsequently approved on May 9, 2023.

Project Proposal: The Applicant Team is proposing to construct one (1), two-story mixed-use building, which will contain Hailey Water Division office space, workshop/storage space, and two (2) residential units available for occupancy by City of Hailey employees. The first floor of the building is proposed to be 2,883 gross square feet in size, while the second floor is proposed at 1,937 gross square feet. The total residential unit area (both units) is proposed to be 836 square feet in size, with approximately 1,100 square feet remaining as a shared mezzanine/storage area. The project lot, Lot 17, is 16,452 square feet in size, which places the proposed building at 17% of lot coverage, well below the 75%

maximum lot coverage limit for parcels in the LI zoning district. The project will also offer eleven (11) onsite parking spaces, including 1 ADA space.

This project is located within the Light Industrial (LI) Zoning District, which does not currently permit dwelling units or residential occupancy. However, due to the evolving circumstances of housing availability and affordability for City Employees (and for many groups/individuals in our local community) and the dynamic nature of Hailey’s Municipal Code, City Staff anticipate a Text Amendment Application, to be submitted by the Applicant, that will eventually allow for residential occupancy within the LI Zoning District. As a Condition of Approval for this Design Review Application, the proposed project shall conform with all regulations and standards as outlined in Title 17 of the Hailey Municipal Code, prior to issuance of a Building Permit. The City of Hailey is committed to utilizing the proposed commercial space as permitted until an amendment allows for residential uses - mixed-use, multifamily, or otherwise - within the LI Zoning District.

Procedural History: The Application was submitted on April 12, 2023 and certified complete on April 21, 2023. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on May 15, 2023, in the Hailey City Council Chambers and virtually via GoTo Meeting.

General Requirements for all Design Review Applications					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Streets, Engineering: <i>All infrastructure will require detailed final construction drawings to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures. This has been made a Condition of Approval.</i>	
				Life/Safety: <i>Access to the site and buildings have been provided according to the standards within Chapter 16.04.</i>	
				Water & Wastewater: <i>All infrastructure will require detailed final construction drawings to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.</i> <i>This has been made a Condition of Approval.</i>	
				Building: No Comments.	
				Green Space: No Comments.	

<input type="checkbox"/>	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<p><i>If permitted outright in the LI Zoning District, this proposed project would be categorized as a mixed-use development. Per the Hailey Municipal Code, mixed-use buildings containing dwelling units are required to provide at least one and a half (1.5) onsite parking spaces per unit.</i></p> <p><i>If the Commission does not find this project to be permitted outright in the LI Zoning District as mixed-use, the Hailey Municipal Code requires a minimum of one (1) space for every residential unit less than 1000 square feet in size. Additionally, industrial sites hosting public utilities/services are required to provide one (1) space for every one thousand (1000) square feet of building area. Per ADA requirements, one (1) accessible parking space is required for every twenty-five (25) standard parking spaces provided.</i></p> <p><i>The Applicant is proposing a total of two (2) residential units within what may be considered a mixed-use building. The designated non-residential area of the proposed building, encompassing the building's first floor, is approximately 2,883 square feet in size. Rounding this first-floor square footage to 3,000, the total number of required parking spaces is six (6) onsite parking spaces, if the proposed building is eventually designated as mixed-use. If a mixed-use designation is not granted, and the residential units are considered solely as units under 1000 square feet in size, the total required parking for the project would be five (5) spaces.</i></p> <p><i>The site plan shows a total of eleven (11) parking spaces; ten (10) standard spaces and one (1) accessible space.</i></p> <p><i>Vehicular minimum parking requirements for the project will be met, regardless of final designation. However, in the case that the project is not designated as mixed-use and the required number of parking spaces is stated as five (5), the Commission may wish to discuss the potential outcome of excess of permitted parking, as defined by Hailey Municipal Code (Section 17.09.040.06). Eleven (11) parking spaces would be slightly in excess of 200% of the number of spaces required (ten (10) spaces), in this scenario.</i></p> <p><i>Per Hailey Municipal Code, all mixed-use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater. The proposed project does not offer any bicycle spaces. With respect to City Code, City of Hailey and Blaine County sustainability/resilience goals, and the proximity of the project to the Wood River Trail and Woodside Boulevard (0.3 miles), City Staff request that the Applicant include adequate bicycle parking spaces in their development. This has been made a Condition of Approval.</i></p>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.
			<i>Staff Comments</i>	<i>The final building occupancy type, as agreed upon by the Commission, will determine if there is an excess of permitted parking, according to Hailey Municipal Code. Please refer to Section 17.09.040 of the Standards for further explanation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>The Applicant will install Dark Sky compliant, downcast, and low wattage fixtures.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Light Industrial Zoning District:
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - Building Height: <ul style="list-style-type: none"> o Permitted Building Height: 35' o Proposed Building Height: 29' 3" o Required Setbacks: <ul style="list-style-type: none"> ▪ Front Yard (Glenbrook Drive): 10' ▪ Side Yard (west): 10' ▪ Side Yard (east/parking lot): 10' ▪ Rear Yard: 10' o Proposed Setbacks: <ul style="list-style-type: none"> ▪ Front Yard: 69' ▪ Side Yard (west): 75' ▪ Side Yard (east): 46' ▪ Rear Yard: 34' <p><i>Maximum lot coverage permitted in the Light Industrial Zoning District is 75%. The proposed lot coverage is approximately 17%.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<i>Bulk Requirements for the project have been met.</i> Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>All sidewalks onsite that currently provide access to the existing office building at the north end of the parcel will be retained.</i> <i>Approximately one hundred and forty-five feet (145') of new concrete sidewalk is proposed for the eastern elevation of the proposed building. This sidewalk will provide connectivity from the parking area into the office space entrance of the proposed building, as well as connection to the existing sidewalk along the existing office building's Glenbrook Drive frontage. Approximately fifteen feet (15') of new concrete sidewalk is proposed for the walkway connecting the existing office building with the proposed mixed-use building. Thirty feet (30') of new concrete sidewalk is also proposed for the project's western elevation, providing connection between an additional parking area along the building's southern elevation and a "man door" for the proposed shop/garage space.</i> <i>Two (2) new drywell and catch basin systems will be constructed on site for this project. Drywell location and site grading will be designed to promote efficient drainage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A, as the proposed project is not located within the TO Zoning District.</i>
Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey				
1. Site Planning: 17.06.080(A)1, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	N o	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings
			<i>Staff Comments</i>	<i>The proposed building is situated with a slight east-west orientation, with the main entrance for the office facing north, and the exterior, second floor exit for the residential units facing west. The three (3) garage doors and shop loading/unloading area faces to the south and east, which maximizes solar exposure in the area that will experience the most vehicle traffic and staging. This orientation will be especially beneficial in winter months, mitigating</i>

				<p><i>snow/ice build-up which can cause drainage and operation issues with garage doors and vehicle movement.</i></p> <p><i>The main roof pitch for the building is oriented away from the primary office and residential entrances, ensuring that precipitation and snow shed toward locations that promote safe access to buildings. Runoff from the roof will also be directed towards a large grass area and away from parking areas. A small walkway leading to the “man door” entrance of the shop space sits underneath the sloped roof pitch on the south side of the building but given this entrance’s infrequency of use and south-facing exposure, safe access to the building should be upheld.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated, or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<i>No trees or significant plant material, other than established turf, appear to be present within the proposed building area (based on aerial imagery analysis).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>Site circulation has been designed to shield pedestrians from encounters with Water Division utility vehicles. A new gate and extension of existing chain link fence is proposed for the northeastern corner of the project’s parking area, which will limit through-traffic at the site and ensure site security. Per Hailey Municipal Code, chain link material is prohibited except for public uses or public utility facilities with an approved conditional use permit. Given the existing site conditions with chain link fencing, and the importance of site security at this location, City Staff will work with the Applicant to allow for the modification/extension of the chain link fencing, as permitted by Hailey Municipal Code.</i></p> <p><i>Sidewalks along Glenbrook Drive provide access to the existing office building, and pedestrians will have a choice of either utilizing newly-constructed connector sidewalks to the north to access the second, proposed office building, or traveling through the existing office building and using another small sidewalk to access the back entrance of the proposed building. Pedestrians will have multiple options to safely access buildings and move through the site, without having to travel across parking areas.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<i>As the proposed building will be at an occupied, operating public utility site, the Applicant will confirm their proposed plan for trash storage/pick up at</i>

				<p><i>the Public Hearing, whether that is utilizing existing facilities or installing new ones.</i></p> <p><i>Various utility boxes already occupy the site, both at the rear and sides of existing buildings and at the rear of the site.</i></p> <ul style="list-style-type: none"> - <i>Ground and roof-mounted equipment shall be shown on the building permit plans and are subject to Staff review and approval.</i> - <i>Equipment shall be screened from view and shall not interfere with any walkways or sidewalks.</i> <p><i>These measures have been made a condition of approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<i>Staff Comments</i>	<i>N/A, as no alleys exist and/or are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>On-site parking is proposed on the side and at the rear of the new building. A prominent entrance for the existing building, along Glenbrook Drive, is provided; access to the proposed building can be gained through the existing building as well. Parking on the north (side) of the proposed building will be partially screened via the existing building structure. The existing building structure also provides partial buffering from the sidewalk adjacent to the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area, and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<i>Existing on-site parking is accessed via a single approach, directly off of Glenbrook Drive and in front of the existing building. However, the site is currently serviced by two (2) existing driveways. Eight (8) of the proposed on-site parking spots will be accessed via the northern driveway area, while the three (3) remaining parking spots will be accessed via the southern driveway area. A proposed gate and fence for the mid-section of the north driveway will control through-travel in the site. Multiple points of egress/ingress are necessary for safe and appropriate travel within the site, as utility trucks/services will be frequently present on site and only certain City Staff</i>

				<i>will be permitted in certain areas. Additionally, the adjoining site to the east is also owned by the City of Hailey as a public utility site. Retaining the shared driveway area that services both the existing and proposed public utility buildings will promote reciprocal uses and maximize site efficiency for vehicular travel. City Staff are amenable to on-site parking being accessed from more than one (1) approach.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>Snow storage areas comply with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The required snow storage area for the project is 3,036 square feet (25%). The proposed snow storage area is 3,053 square feet (25%).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>Snow storage areas comply with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>At this time, the site and proposed snow storage areas appear to be adequate for the storing of snow.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation, or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage areas do not appear to impede any of the stated items, although applicant should confirm where trash storage/pickup areas will be located; not shown in site design drawings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Based on landscape plans, snow storage areas will be landscaped with new gravel mulch, which is highly resilient to salt and heavy snow. Existing sod and landscaping will also capture one of the snow storage areas, which appears to be adequately resilient to salt and heavy snow, based on site history and current acceptable conditions of existing sod/landscaping.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	N o	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proportion, size, shape, and roofline of the newly proposed building are each compatible with surrounding buildings, based on existing structure photos provided by the Applicant. The proposed building has a slightly smaller overall building footprint than the existing building directly to the west, and its single-pitch roofline mirrors other rooflines of buildings that</i>

				<i>occupy the site. Single polygon building footprints characterize the site, and the proposed building design demonstrates this as well. The proposed height of the new building does not attempt to capitalize on the maximum permitted building height, allowing the new building to blend in naturally with existing building heights within this LI-zoned parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The inclusion of a sidewalk along the northern building edge emphasizes human scale and pedestrian use, especially considering that this feature provides additional connection and access to the existing office building. Sidewalk and human scale-features were previously lacking in this location. The connector sidewalk between the existing and proposed office buildings can promote human activity and interaction amongst both buildings, in addition to interaction/activity outside of buildings during temperate months. This inter-building area will provide some of the only consistent shade at the site, which will especially encourage outdoor human gathering and interaction during hotter weather. Staff would encourage the Applicant to consider placing picnic tables/seating areas in this area, as an amenity to both the employees of the office buildings and the future residents of the new mixed-use building, who have direct exterior stair access from the residential area to this outdoor space.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façade of the building does not face the street, instead facing the adjacent lot line to the north and a small portion of open green space. However, this façade does incorporate seven (7) windows, glass double-entry front doors, and steel beam accent projections. City Staff believes there is still more opportunity to break up large building surfaces and create more visual interest in the front façade, but given the project location, intended use, and surrounding building design, the proposed design may be suitable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>No future additions or renovations are planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.
			<i>Staff Comments</i>	<i>The exterior walls of the proposed building incorporate a mixture of tan corrugated metal siding, overhead steel beams with projections and cable detailing, and concrete-steel beam pillars. Steel beams are dark brown, creating variety amongst the tan exterior walls. The three (3) garage doors on the east elevation of the proposed building will also be brown in color, creating a sense of cohesiveness amongst the building's exterior while breaking up large, tan, metal surfaces. Exterior light features are proposed</i>

				<i>as “dark bronze”, adding further accent and variety to the exterior walls of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>Exterior building colors and materials have been well-integrated into the architecture of the building. Exposed steel beams and cables evoke the industrial nature that characterizes the site, and surrounding existing buildings use the same exterior siding materials with a similar color palette. With the project site also adjacent to the Recreational Green Belt (RGB) District and a popular hiking trail, the Applicant’s selected color and materials palette will allow the new building to blend with its surroundings and reduce its perceived scale. This is especially important given the numerous buildings that already occupy the site/surrounding sites, and the overall visual impact delivered by the LI to the RGB Zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.
			<i>Staff Comments</i>	<i>N/A, as no flat-roofed buildings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<i>The proposed building’s longer wall plane is placed on an east-west axis, the selected project windows will be treated with Low Emissivity glazing, and the Applicant intends to install solar PV panels across the single-pitch roof, which is oriented towards the south. City Staff would like to commend the Applicant for embracing solar alternative energy opportunities at the site, especially as it relates to enhancing clean energy for municipal electricity use and addressing the City of Hailey’s Clean Energy Resolution (2020).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>A gabled covering appears to be provided over the main entrance on the north side of the building. Additionally, a single-pitch roof built at approximately 9.46 degrees sloping to the south defines overall building design and rooftop snow-shedding. Sidewalks will be protected on the north</i>

				<p><i>side of the proposed building, due to the gabled coverings and direction of roof pitch.</i></p> <p><i>Submitted architectural plans show a continuous snow bar/guard along the low side roof edge of the building's south elevation. Submitted construction detail sheets also show the project's proposed roof drain connection and cleanout design. However, plans do not clearly show a gutter, downspout, or drainage mechanism connecting roof runoff to the roof drain connection. If no drainage mechanism from the roof is proposed, the sidewalk along the southern side of the proposed building may be significantly impacted by snow runoff. City Staff request that the Applicant submit architectural drawings that clearly show the roof drainage plan and the integration of drainage components. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i> Same as above.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p><i>Staff Comments</i> N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Section 17.08A.020 of this title.</p> <p><i>Staff Comments</i> N/A, as no signage is proposed is proposed at this time.</p>
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	N	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Staff Comments</i> N/A, as no accessory structures are proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p> <p><i>Staff Comments</i> Same as above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p><i>Staff Comments</i> Approximately twenty-five feet (25') of new chain link fence is proposed for the site, securing the newly installed gate to existing chain link fence occupying the northern parcel boundary. Material compatibility will be achieved, and this standard will be met.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	Compared to overall scale and layout of the project site, in addition to the site's existing conditions, the proposed amount of additions of chain link fencing will not dominate the landscape.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded, and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	Solar panels are the only roof-mounted mechanical equipment proposed at this time, and therefore do not apply to this Standard.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			Staff Comments	The hardware associated with the proposed solar energy source for the building is incorporated into the building's single-pitch roof, which faces and slopes towards the south. This will maximize solar efficiency. Additionally, an existing building on the site, to the south of the proposed building, will help shield the roof-mounted solar equipment from view by the adjacent parcel to the south.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	It does not appear that any new ground-mounted mechanical equipment is proposed, and all existing ground or roof-mounted mechanical equipment is presently shielded by buildings on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	All services lines will be underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	No appurtenances will be permitted on poles.
4. Landscaping: 17.06.080(A)4, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	N o	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	Site landscape plans show new gravel mulch (highly drought tolerant/drought-proof) to be included around the southern and western

				<p>sides of the proposed building, at the bulbout at the eastern extent of the north-side parking strip, and within the parking area island on the eastern edge of the site. However, submitted Site Grading and Drainage Plans denote these areas as “Landscape Area. Install turf type and irrigation system per City of Hailey”.</p> <p>City Staff will work with the Applicant to confirm their proposed landscaping features for the site. The Applicant shall resubmit plans that do not show conflicting landscaping environments. This has been made a Condition of Approval.</p> <p>Five (5) Swedish Aspen are proposed for the site, which are considered to be drought-tolerant.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Staff Comments</i> It appears that plant materials will be appropriate for the environment.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>Staff Comments</i> No irrigation system was included in site plans. The Applicant shall submit site plans that clearly depict an irrigation system appropriate for establishing the five (5) proposed Swedish Aspen trees.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p> <p><i>Staff Comments</i> N/A, as the proposed building is within the LI Zoning District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> The Applicant shall ensure that seasonal plantings are incorporated into final site design. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Light Industrial Zoning Districts.</p>
			17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>A site geometry and grading plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the site geometry and grading plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The City of Hailey shall be responsible for all maintenance of the landscaping areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are existing or proposed at this time</i>

Additional Design Review Requirements for Accessory Dwelling Units within the City of Hailey

1. Site Planning: 17.06.080(C)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			<i>Staff Comments</i>	<i>The location of the proposed building responds appropriately to adjoining parcels, including the existing paved areas, driveways, buildings, and grading, and drainage. The site currently hosts other City of Hailey utility offices and shops, which supports the addition of this Hailey Water Division Office and its associated vehicular circulation and access. Additions of on-site parking are proposed away from egress/ingress of adjoining parcels as well.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.
			<i>Staff Comments</i>	<i>The adjacent site to the east of the proposed building is also owned by the City of Hailey as a public utility site. Utility vehicle egress and ingress for industrial uses of both parcels is confined to and shared by the southern driveway on site. Please see Section 17.06.080 (A)1h for further detail. This standard has been met. .</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Vehicle circulation, parking and loading shall not block pedestrian accessways. .
			<i>Staff Comments</i>	<i>The placement of the proposed Hailey Water Division Office Building, and its driveways and parking/loading areas, promotes safe and efficient pedestrian accessways between the existing and proposed buildings and amongst the site.</i>
2. Building Design: 17.06.080(D)2, items (a) thru (b)				
Compliant			Standards and Staff Comments	
Yes	N o	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures, and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety, or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing, and duration of development.**

- 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) The Applicant shall include adequate bicycle parking spaces in their development, as required by Hailey Municipal Code.
- e) The Applicant shall submit architectural drawings that clearly show the roof drainage plan and the integration of drainage components.
- f) The Applicant shall resubmit plans that do not show conflicting landscaping environments.
- g) The Applicant shall ensure that seasonal plantings are incorporated into final site design.
- h) Ground and roof-mounted equipment shall be shown on the building permit plans and are subject to Staff review and approval.
- i) Ground-mounted equipment shall be screened from view and shall not interfere with any walkways or sidewalks.
- j) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- k) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- l) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

- m) The Design Review approval shall be valid for eighteen (18) months. This extension shall be effective from the day the Findings of Fact are approved.

Motion Language

Approval: Motion to approve the Design Review Application submitted by the City of Hailey for one (1) new 4,820 square foot mixed-use building, consisting of two (2) one-bedroom units, each 418 square feet in size, above 2,095 square feet of combined office and industrial space on 0.378 acres, for use by the Hailey Water Division, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (m) are met.

Denial: Motion to deny the Design Review Application submitted by the City of Hailey for one (1) new 4,820 square foot mixed-use building, consisting of two (2) one-bedroom units, each 418 square feet in size, above 2,095 square feet of combined office and industrial space on 0.378 acres, for use by the Hailey Water Division, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

ABBREVIATIONS

8	AT	LAM	LAMINATE
AB	ANCHOR BOLT		
ABC	AGGREGATE BASE COURSE	MAT	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MTL	METAL
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BO	BOTTOM OF	NOM	NOMINAL
BOD	BOTTOM OF DECK	N	NORTH
		NTS	NOT TO SCALE
CA	CLEAR ANODIZED	OC	ON CENTER
CC	CENTER TO CENTER	OH	OVERHEAD
CP	CAST IN PLACE	OPP	OPPOSITE
CL	CENTER LINE	OSB	ORIENTED STRAND BOARD
CLNG	CEILING		
CLR	CLEAR	PL	PLATE
CJ	CONTROL JOINT	PR	PAIR
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	RA	RETURN AIR
CONC	CONCRETE	RAD	RADIUS
CONT	CONTINUOUS	RCP	REFLECTED CEILING PLAN
		REF	REFERENCE
DET	DETAIL	REOD	REQUIRED
DM	DIMENSION	REV	REVISION
DN	DOWN	RO	ROUGH OPENING
DWG	DRAWING	ROW	RIGHT OF WAY
EA	EACH	SC	SOLID CORE
ELEG	ELECTRICAL	SCHED	SCHEDULE
ELEV	ELEVATION	SF	SQUARE FEET
EQ	EQUAL	SHT	SHEET
EQUP	EQUIPMENT	SM	SIMILAR
EXT	EXTENSION	STL	STEEL
EXIST	EXISTING	STRUC	STRUCTURAL
FA	FIRE ALARM	T&G	TONGUE & GROOVE
FACP	FIRE ALARM CONTROL PANEL	TO	TOP OF
FD	FLOOR DRAIN	TOB	TOP OF BEAM
FEC	FIRE EXTINGUISHER CABINET	TOM	TOP OF MASONRY
FF	FINISHED FLOOR ELEVATION	TOW	TOP OF WALL
FN	FINISH	TYP	TYPICAL
FLR	FLOOR		
FT	FOOT OR FEET	UL	UNDERWRITERS LABORATORIES
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED		
GLB	GLUE LAMINATED BEAM	WC	WATER CLOSET
GSF	GROSS SQUARE FEET	WD	WOOD
GYP	GYPSONUM	W	WITH
		W/O	WITHOUT
HB	HOSE BIBB		
HDW	HARDWARE		
HR	HOUR		
INSUL	INSULATION		
INT	INTERIOR		
JNT	JOINT		

DRAWING SYMBOLS

BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM

OWNER:
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HAILEY, IDAHO 83333

CIVIL ENGINEER:
GALENA ENGINEERING, INC.
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317 NORTH RIVER STREET
HAILEY, IDAHO 83333

STRUCTURAL ENGINEER:
Y.B.D.

PROJECT DESCRIPTION

PROJECT NAME:
CITY OF HAILEY WATER DIVISION OFFICE BUILDING

THE PROPOSED PROJECT CONSISTS OF A 4,820 S.F., 2 STORY PRE-ENGINEERED METAL BUILDING. THE FIRST FLOOR CONSISTS OF OFFICE USE AND VEHICLE STORAGE AND MAINTENANCE SHOP SPACE. THE SECOND FLOOR CONSISTS OF MEZZANINE STORAGE WITH 2 FUTURE RESIDENTIAL 1-BEDROOM APARTMENTS.

BUILDING CODE DATA

APPLICABLE BUILDING CODES:
2018 INTERNATIONAL BUILDING CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS

2018 INTERNATIONAL FIRE CODE WITH CITY OF HAILEY AMENDMENTS

2018 INTERNATIONAL EXISTING BUILDING CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS

2018 INTERNATIONAL MECHANICAL CODE WITH STATE OF IDAHO AMENDMENTS

2017 NATIONAL ELECTRICAL CODE WITH STATE OF IDAHO AMENDMENTS

2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES

OCCUPANCY TYPE:
MIXED OCCUPANCY:
B OCCUPANCY: OFFICE USE
S-1 VEHICLE STORAGE & MAINTENANCE
R-2 APARTMENTS

CONSTRUCTION TYPE:
V-B NON-SPRINKLERED

SHEET INDEX

A000 COVER SHEET

AS101 OVERALL ARCHITECTURAL SITE PLAN

AS102 ARCHITECTURAL SITE PLAN

AS103 STAGING & CONTRACTOR PARKING PLAN

LS101 LANDSCAPE SITE PLAN

ES101 ELECTRICAL LIGHTING SITE PLAN

A101 FIRST FLOOR PLAN

A102 SECOND FLOOR PLAN

A201 BUILDING ELEVATIONS

A202 BUILDING ELEVATIONS

A203 BUILDING RENDERINGS

A204 PHOTOS OF EXISTING BUILDINGS

C010 CIVIL COVER SHEET

C020 PARTIAL TOPOGRAPHIC MAP

C030 SITE DEMOLITION PLAN

C100 DETAIL SHEET

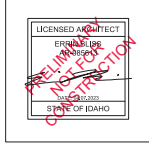
C101 DETAIL SHEET

C110 SITE GEOMETRY PLAN

C120 SITE GRADING & DRAINAGE & UTILITIES PLAN



VICINITY MAP
SCALE: N.T.S.



CITY OF HAILEY WATER DIVISION OFFICE BUILDING
4297 GLENBROOK DRIVE | HAILEY | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

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CITY OF HAILEY
DESIGN REVIEW
DATE | 04 07 2023

COVER
SHEET

A000

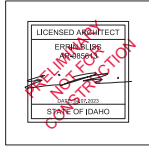
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CITY OF HAILEY WATER DIVISION OFFICE BUILDING HAILEY, IDAHO

CITY OF HAILEY DESIGN REVIEW
ISSUE DATE: 04 07 2023



N
OVERALL ARCHITECTURAL SITE PLAN 1
SCALE: 1" = 40'-0"

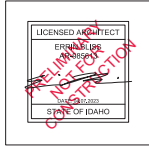


CITY OF HAILEY WATER DIVISION OFFICE BUILDING
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BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
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OVERALL
ARCHITECTURAL
SITE PLAN

AS101

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- ### GENERAL NOTES
1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
 2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
 3. ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS UNO.

PAVING LEGEND

	NEW ASPHALT PAVING - SEE CIVIL
	EXIST. ASPHALT PAVING TO REMAIN
	NEW BROOM FINISH CONC. SIDEWALK
	ON-SITE SNOW STOR. AREAS - SEE CIVIL

SITE DATA

SITE ADDRESS:
4297 GLENBROOK DRIVE
HAILEY, IDAHO

LEGAL DESCRIPTION:
WOODSIDE SUBDIVISION #10 LOT 17, 18 & PARCEL K SEWER PLANT

PARCEL NUMBER:
RPH0470042017A

ZONING DISTRICT:
LI - LIGHT INDUSTRIAL

LOT 17 AREA:
TOTAL: 40.378 ACRES (±16,452 S.F.)

MIN. FRONT YARD SETBACK:
REQUIRED: 10'-0"
PROVIDED: SEE SITE PLAN

MIN. REAR YARD SETBACK:
REQUIRED: 10'-0"
PROVIDED: SEE SITE PLAN

MIN. SIDE YARD SETBACK:
REQUIRED: 10'-0"
PROVIDED: SEE SITE PLAN

MAX. BUILDING HEIGHT:
ALLOWED: 35'-0"
PROVIDED: SEE BUILDING ELEVATIONS

BUILDING GROSS AREA:
FIRST FLOOR: 2,863 S.F.
SECOND FLOOR: 1,937 S.F.
TOTAL: 4,820 S.F.

EXIST. ON-SITE PARKING:
PROVIDED: 1 ADA SPACE + 5 + 6 SPACES

NEW ON-SITE PARKING:
REQD. FOR RESIDENTIAL UNITS: 1.5 SPACES/UNIT + 3 SPACES
REQD. FOR OFFICE & INDUSTRIAL: 1 SPACE/1,000 GROSS S.F. = 3 SPACES
PROVIDED: 1 ADA SPACE + 10 + 11 SPACES

CITY OF HAILEY WATER DIVISION OFFICE BUILDING
4297 GLENBROOK DRIVE | HAILEY | IDAHO

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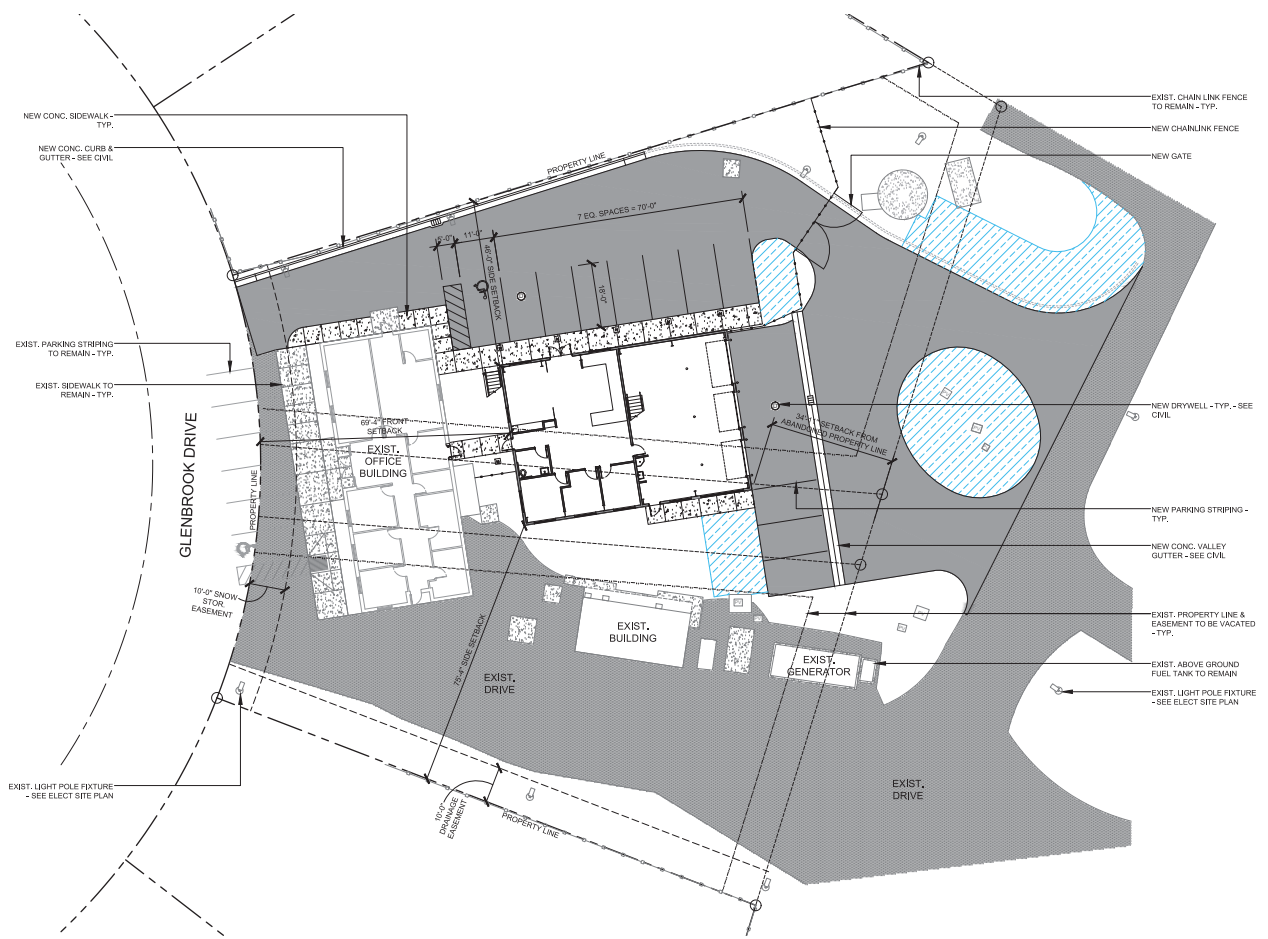
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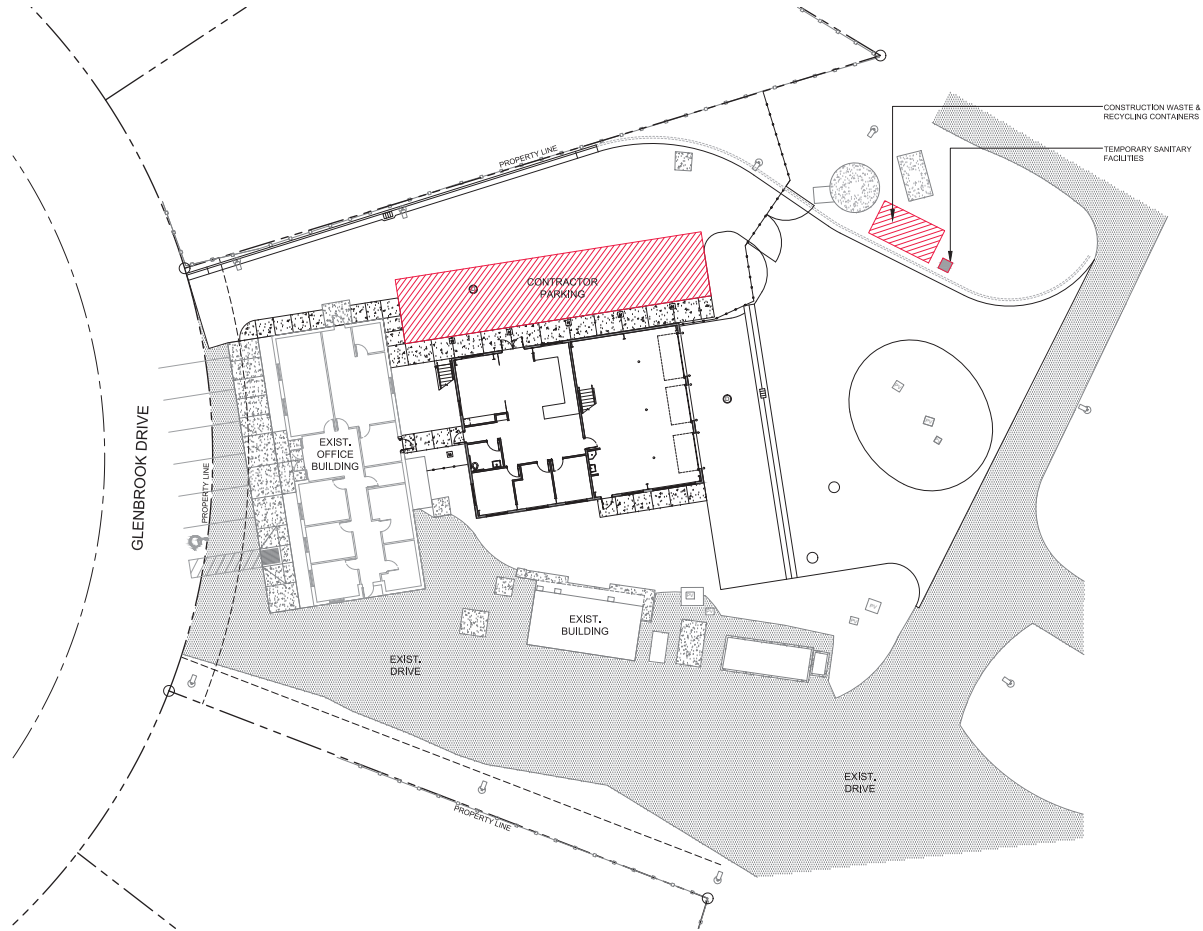
ARCHITECTURAL
SITE PLAN

AS102



ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

1



STAGING & CONTRACTOR PARKING PLAN

SCALE: 1/16" = 1'-0"

1

FOR
REFERENCE
ONLY

CITY OF HAILEY WATER DIVISION OFFICE BUILDING
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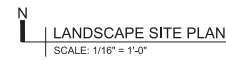
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STAGING & CONTRACTOR
PARKING PLAN

AS103

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LICENSED ARCHITECT

ERRIN L. BLISS
AR-98584

DATE OF EXP. 03/31/2025

STATE OF IDAHO

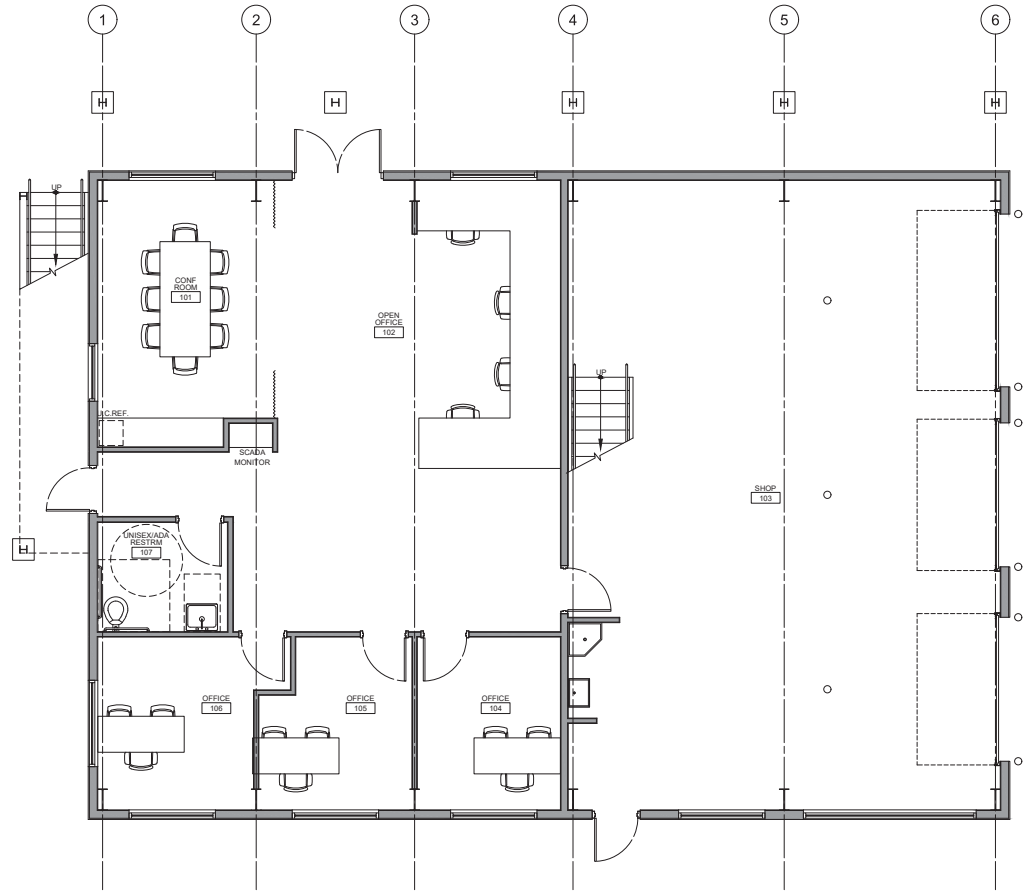
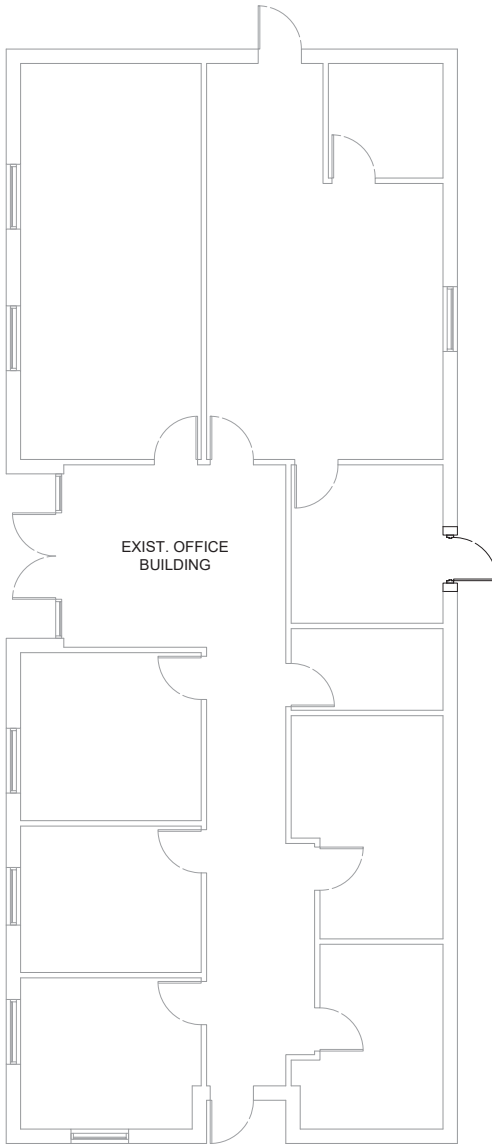
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CITY OF HAILEY WATER DIVISION OFFICE BUILDING
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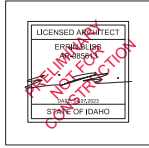
ES101

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GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCCING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



CITY OF HAILEY WATER DIVISION OFFICE BUILDING
4297 GLENBROOK DRIVE | HAILEY | IDAHO

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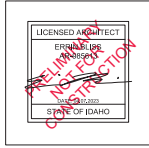
FIRST FLOOR
PLAN

A101

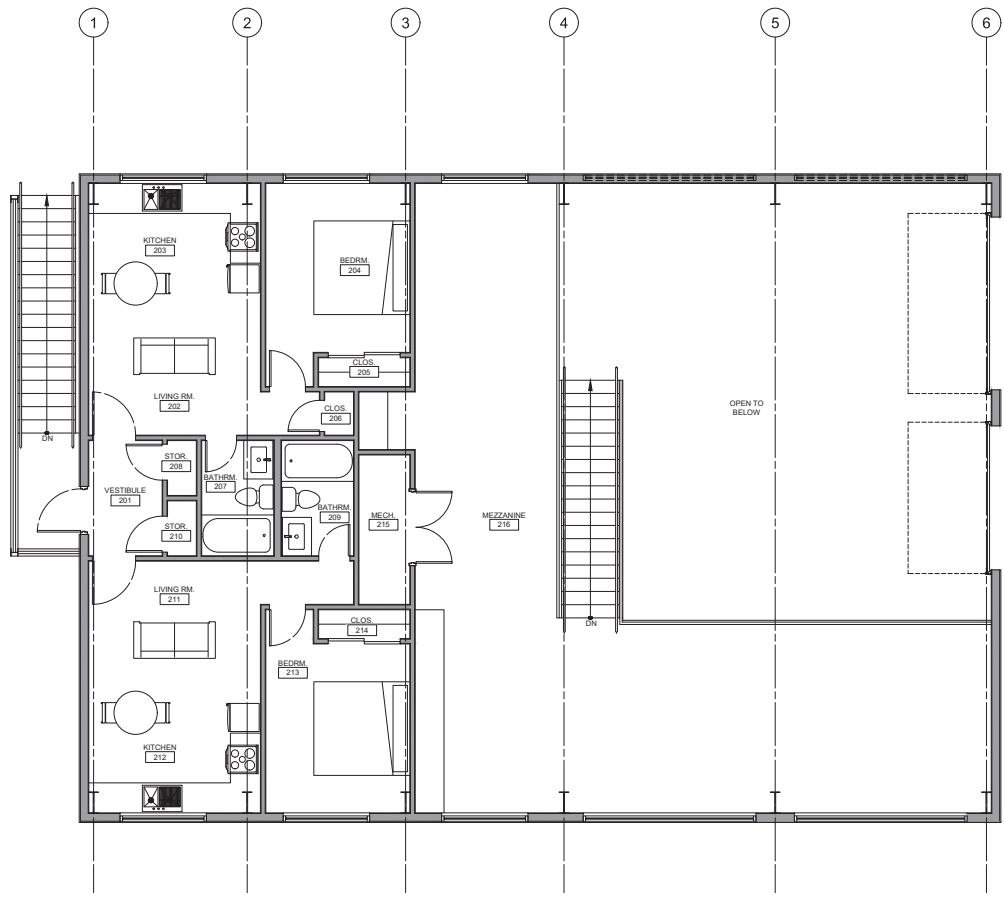
PN FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1

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- GENERAL NOTES
1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
 2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
 3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



PN
V
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1

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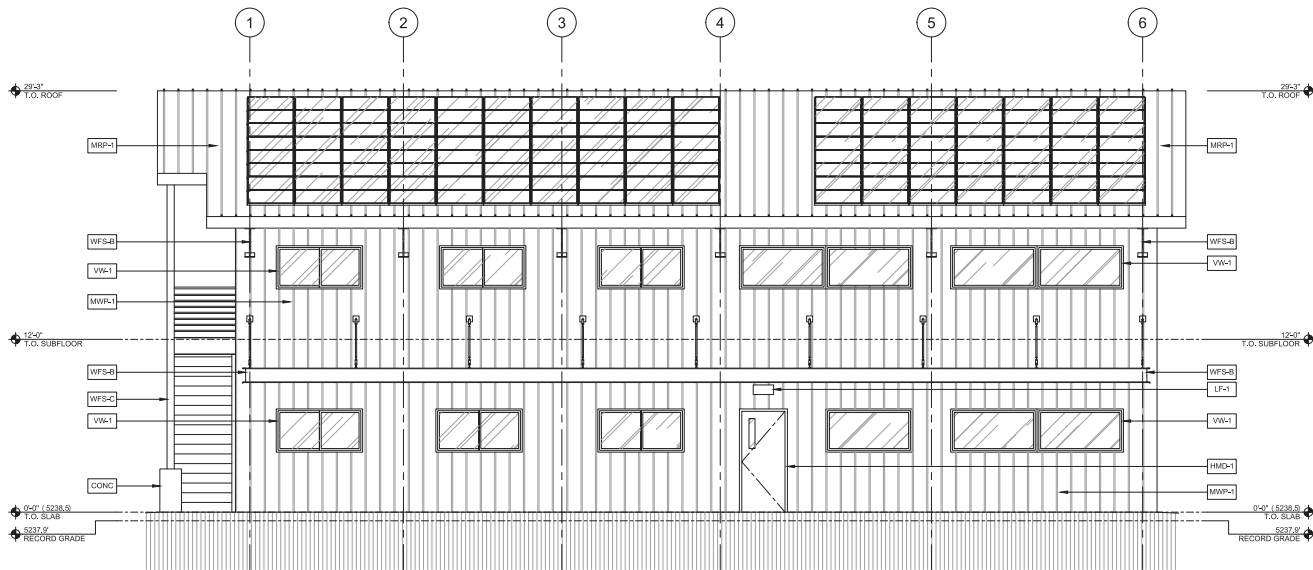
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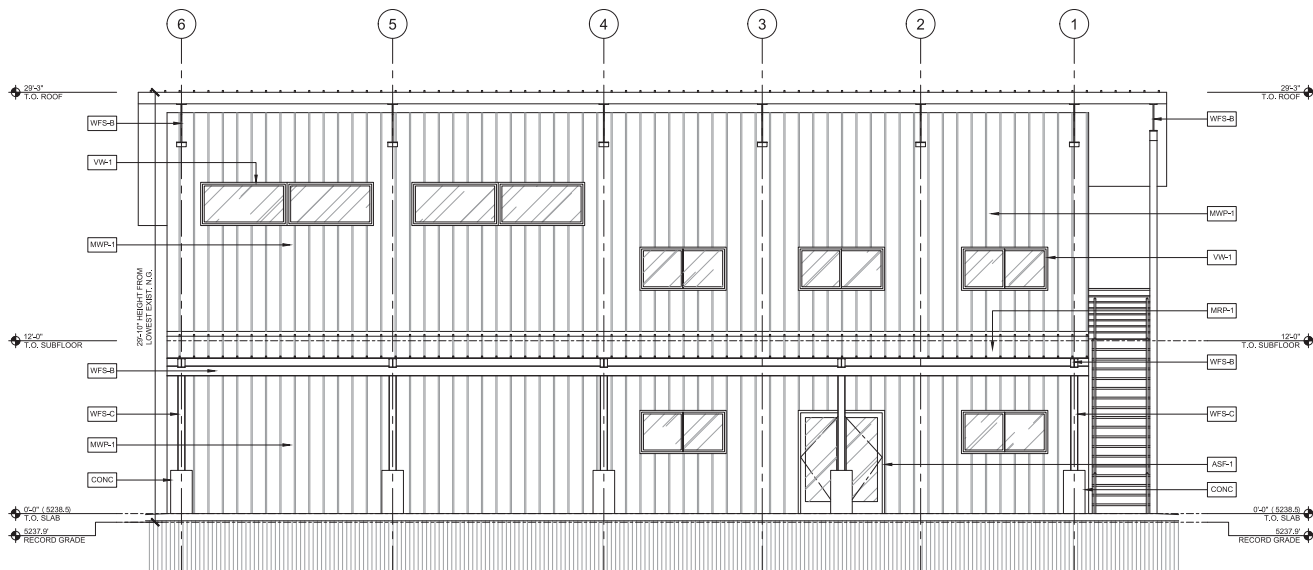
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SECOND FLOOR
PLAN

A102



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CONCRETE STEMWALLS TO EXTEND 6" MIN. ABOVE FINISH GRADE.
2. ALL EXTERIOR LIGHTING TO BE FULL CUT OFF DOWN LIGHTING.
3. CONTRACTOR TO SUBMIT PHYSICAL SAMPLES OF ALL SPECIFIED COLORS, FINISHES, AND MATERIALS TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
4. PROVIDE 5% MIN. SLOPE AWAY FROM FOUNDATION WALLS FOR A MIN. DISTANCE OF 10'-0".

MATERIAL SCHEDULE

- MWP-1: METAL WALL PANEL**
MANUF: METL SPAN OR EQ.
STYLE: "PBR" PANEL, 26 GA.
COLOR: ALMOND
NOTES:
- MRP-1: METAL ROOF PANEL**
MANUF: METL SPAN OR EQ.
STYLE: STANDING SEAM, 26 GA.
COLOR: ALMOND
NOTES:
- VW-1: VINYL WINDOW**
MANUF: PELLA OR EQ.
STYLE:
COLOR: WHITE
NOTES: CLEAR, DUAL PANE, LOW-E GLASS
- ASP-1: ALUM. STOREFRONT DOOR**
MANUF: KAWNEER
STYLE:
COLOR: WHITE
NOTES: CLEAR, DUAL PANE, LOW-E GLASS
- HMD-1: HOLLOW METAL DOOR & FRAME**
MANUF:
STYLE: INSULATED
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- OHD-1: OVERHEAD DOOR**
MANUF: OVERHEAD DOOR CO. OR EQ.
STYLE: SECTIONAL STEEL DOOR 432
COLOR: FACTORY PAINTED - INDUSTRIAL BROWN
NOTES:
- CONC: CAST IN PLACE CONCRETE PIER**
MANUF:
STYLE:
COLOR:
NOTES:
- WFS-8: WIDE FLANGE STEEL BEAM**
MANUF:
STYLE:
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- WFS-C: WIDE FLANGE STEEL COLUMN**
MANUF:
STYLE:
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- LF-1: LED LIGHT FIXTURE**
MANUF: LITHONIA LIGHTING
STYLE: W8T LED
COLOR: DARK BRONZE
NOTES:



CITY OF HALEY WATER DIVISION OFFICE BUILDING
4297 GLENBROOK DRIVE | HALEY | IDAHO

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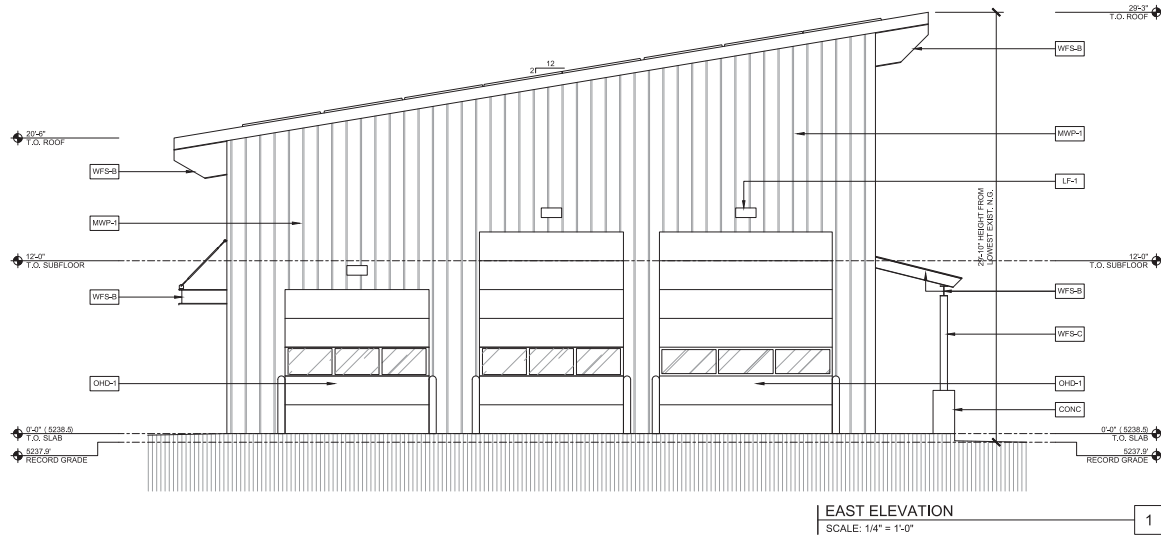
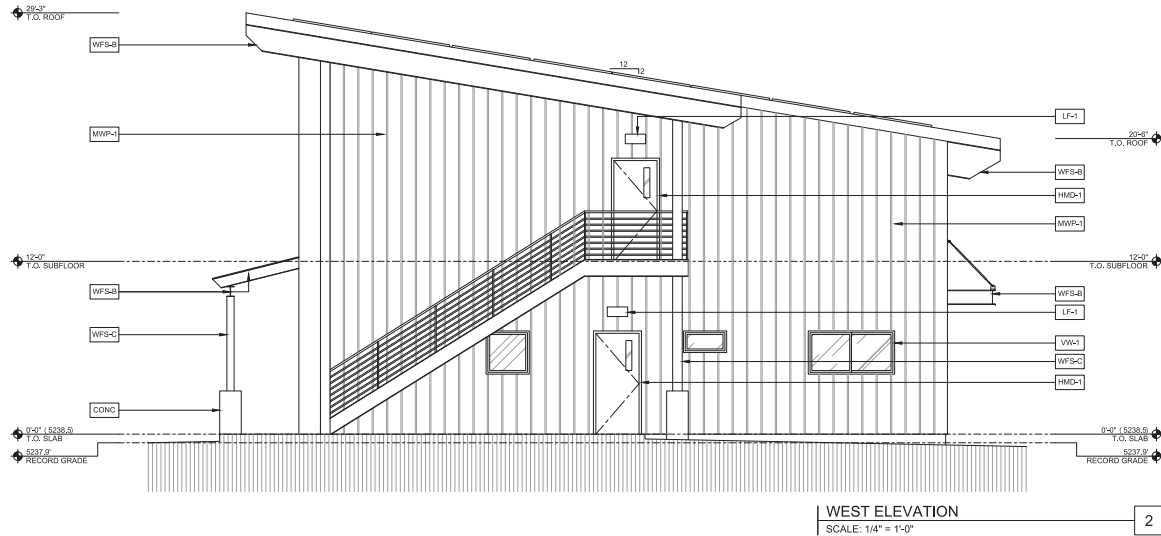
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CITY OF HALEY
DESIGN REVIEW
DATE | 04 07 2023

BUILDING
ELEVATIONS

A201

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GENERAL NOTES

1. CONCRETE STEMWALLS TO EXTEND 6" MIN. ABOVE FINISH GRADE.
2. ALL EXTERIOR LIGHTING TO BE FULL CUT OFF DOWN LIGHTING.
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MATERIAL SCHEDULE

- MWP-1: METAL WALL PANEL
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STYLE: "PBR" PANEL, 26 GA.
COLOR: "ALMOND"
NOTES:
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MANUF: MET. SPAN OR EQ.
STYLE: STANDING SEAM, 26 GA.
COLOR: "ALMOND"
NOTES:
- VW-1: VINYL WINDOW
MANUF: PELLA OR EQ.
STYLE:
COLOR: WHITE
NOTES: CLEAR, DUAL PANE, LOW-E GLASS
- ASP-1: ALUM. STOREFRONT DOOR
MANUF: KAWNEER
STYLE:
COLOR: WHITE
NOTES: CLEAR, DUAL PANE, LOW-E GLASS
- HMD-1: HOLLOW METAL DOOR & FRAME
MANUF:
STYLE: INSULATED
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- OHD-1: OVERHEAD DOOR
MANUF: OVERHEAD DOOR CO. OR EQ.
STYLE: SECTIONAL STEEL DOOR 432
COLOR: FACTORY PAINTED - INDUSTRIAL BROWN
NOTES:
- CONC: CAST IN PLACE CONCRETE PIER
MANUF:
STYLE:
COLOR:
NOTES:
- WFS-B: WIDE FLANGE STEEL BEAM
MANUF:
STYLE:
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- WFS-C: WIDE FLANGE STEEL COLUMN
MANUF:
STYLE:
COLOR: SHERWIN WILLIAMS "COBBLE BROWN"
NOTES:
- LF-1: LED LIGHT FIXTURE
MANUF: LITHONIA LIGHTING
STYLE: WST LED
COLOR: DARK BRONZE
NOTES:



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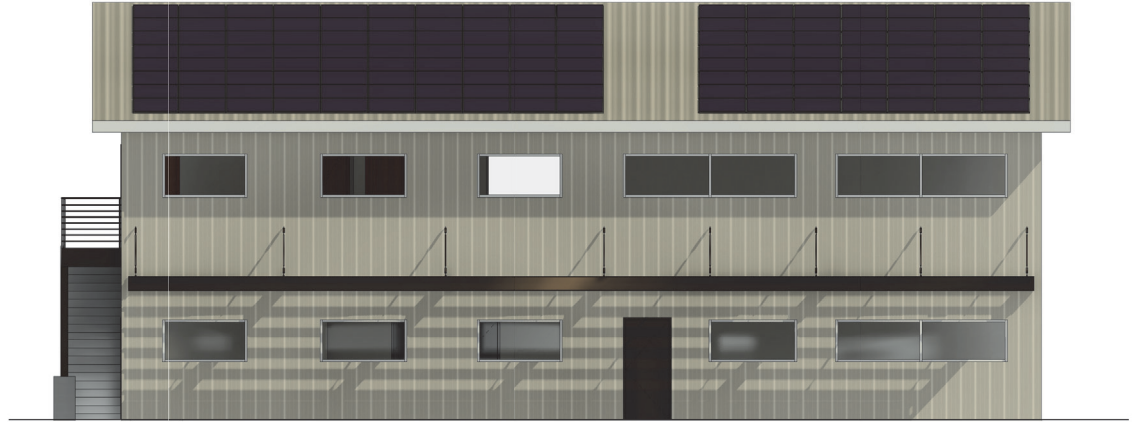
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BUILDING
ELEVATIONS

A202

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CONCEPTUAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



CONCEPTUAL NORTH ELEVATION
SCALE: 1/4" = 1'-0"



5



5



3



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CITY OF HAILEY WATER DIVISION OFFICE BUILDING
4297 GLENBROOK DRIVE | HAILEY | IDAHO

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CITY OF HAILEY
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PHOTOS OF EXISTING BUILDINGS

A204

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Catena Engineering, Inc.

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDMHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (IPSWC) AND CITY OF HALEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE IPSWC AND CITY OF HALEY STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL 800-452-1585 (OR 406-324-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE CONSTRUCTION PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL ERECTION & GRUBBING SHALL CONFORM TO IPSWC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO IPSWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE CONTRACTOR SHALL WATER OR MOISTEN THE SUBGRADE TO OBTAIN THE MAXIMUM MOISTURE CONTENT. THE SUBGRADE SHALL BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
8. **PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF-ROLL THE SUBGRADE WITH A HEAVY DUMP TRUCK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY UNSUITABLE OR DAMAGED SUBGRADE. IF THE SUBGRADE IS UNSUITABLE OR DAMAGED, ACCORDING TO THESE SPECIFICATIONS, UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
9. REPAIR OF THE SUBGRADE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR OR PROTECTION OF THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE USING EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND REGRADE WITH FILL.
10. ALL 2" MINUS GRAVEL SHALL CONFORM TO IPSWC 802. TYPE II (ITD STANDARD 730.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH IPSWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTED OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
11. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO IPSWC 802. TYPE I (ITD STANDARD 304.34, 3/4"). SHALL BE PLACED IN CONFORMANCE WITH IPSWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTED OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 (OR T-91).
12. ALL ASPHALTIC CONCRET PAVEMENT WORK SHALL CONFORM TO IPSWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (19MM) NOMINAL SIZE CONFORMING TO TABLE 808 IN IPSWC SECTION 805. ASPHALT SHALL BE 100% GRADE 80.5 PENETRATION.
13. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING, NO WHEEL CUTTING SHALL BE ALLOWED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. ALL CONCRETE WORK SHALL CONFORM TO IPSWC SECTIONS 701, 703, AND 705 AND CITY OF HALEY STANDARD 700.01. ALL CONCRETE SHALL BE PLACED IN CONTROL JOINTS, MOVEMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE RE-ESTABLISHED AND RE-MONUMENTED AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. ALL TRENCHING SHALL CONFORM TO IPSWC STANDARD DRAWING 50-301 AND CITY OF HALEY STANDARD DRAWING 18.10.01-1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
17. PER IDMHO CODE § 56-1163, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE RE-ESTABLISHED AND RE-MONUMENTED AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
18. SURVEYING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALEN ENGINEERING, FIELD DATA WAS COLLECTED ON 11/16/2022.



PURPOSE: PRELIMINARY - FOR DESIGN REVIEW	
NO	DATE BY REVISIONS

C0.10

4297 GLENBROOK DR
(HAILEY WATER DEPARTMENT OFFICE BUILDING)
COVER SHEET
LOCATED WITHIN SECTION 15, T.2 N., R.10 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

PROJECT INFORMATION
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 PREPARED FOR CITY OF HALEY

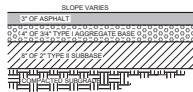
PRELIMINARY
NOT FOR
CONSTRUCTION

CT
DESIGNED BY

CT
DRAWN BY

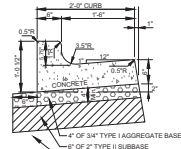
MS/JCL
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Haley, Idaho 83333
(208) 788-1705
email: galena@galena-engineering.com



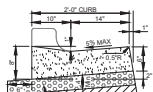
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR X" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPGC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - CURBED STREET SECTION CONSTRUCTION SHALL CONFORM TO CITY OF HAILEY STANDARD DRAWING 18.14.012.F.1.

1
C1.00
TYPICAL ASPHALT SECTION
N.T.S.

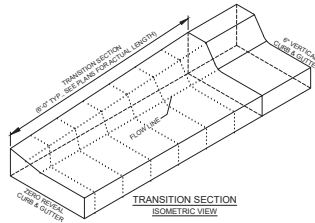


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR X" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPGC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF ROAD.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WIDENWALK).
 - CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO ISPGC DRAWING BD-701.

2
C1.00
6\"/>
N.T.S.



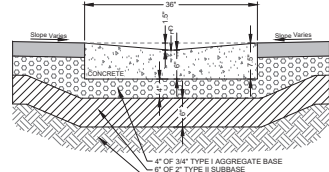
ZERO REVEAL CURB & GUTTER



TRANSITION SECTION
ISOMETRIC VIEW

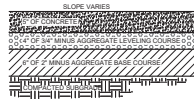
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR X" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPGC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF ROAD.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WIDENWALK).

3
C1.00
TYPICAL CURB TRANSITION DETAIL
N.T.S.



- NOTES:
- SUBBASE CAN BE 2" TYPE II OR X" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPGC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF ROAD.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WIDENWALK).

4
C1.00
36\"/>
N.T.S.



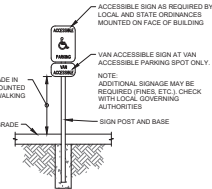
- NOTES:
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 10\"/>
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1\"/>
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5\"/>
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPGC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

5
C1.00
TYPICAL CONCRETE SECTION
N.T.S.

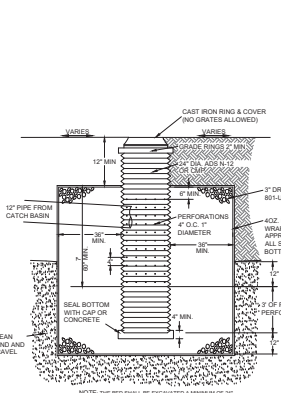


NOTE: ADA SYMBOL SHALL BE WHITE ON BLUE WITH BORDER. PREMARK HANDICAP WITH VIZOR (P. 300M) THERMOPLASTIC OR APPROVED EQUAL.

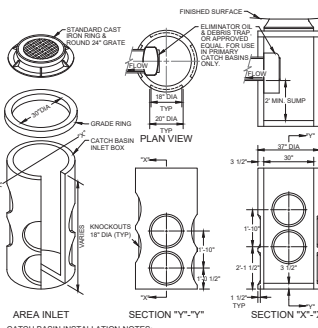
6
C1.00
ADA SYMBOL
N.T.S.



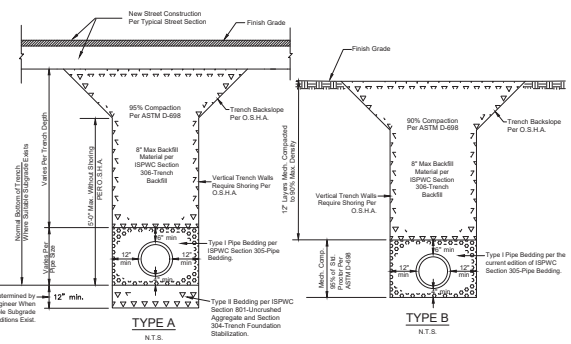
7
C1.00
ADA SIGN
N.T.S.



8
C1.00
DRYWELL DETAIL
N.T.S.

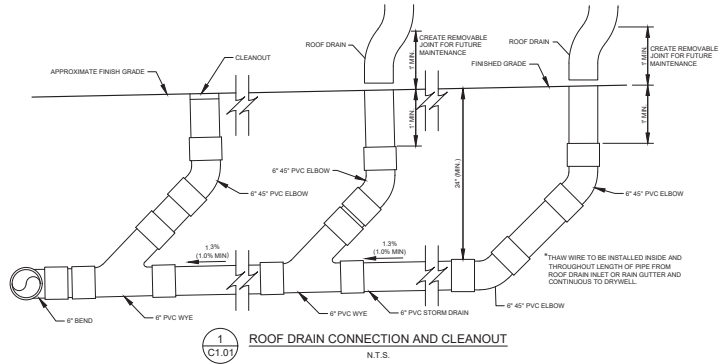


9
C1.00
30\"/>
N.T.S.

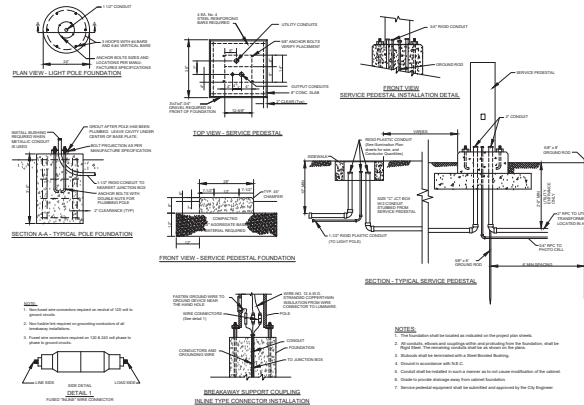


10
C1.00
CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2)
N.T.S.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or sub-project without the approval in writing of Galena Engineering, Inc.



1
C1.01
ROOF DRAIN CONNECTION AND CLEANOUT
N.T.S.



2
C1.01
CITY OF HAILEY LIGHT POLE PEDESTAL DETAIL (18.14.014.E.1)
N.T.S.

PURPOSE: PRELIMINARY - FOR DESIGN REVIEW
NOT DATE BY REVISIONS

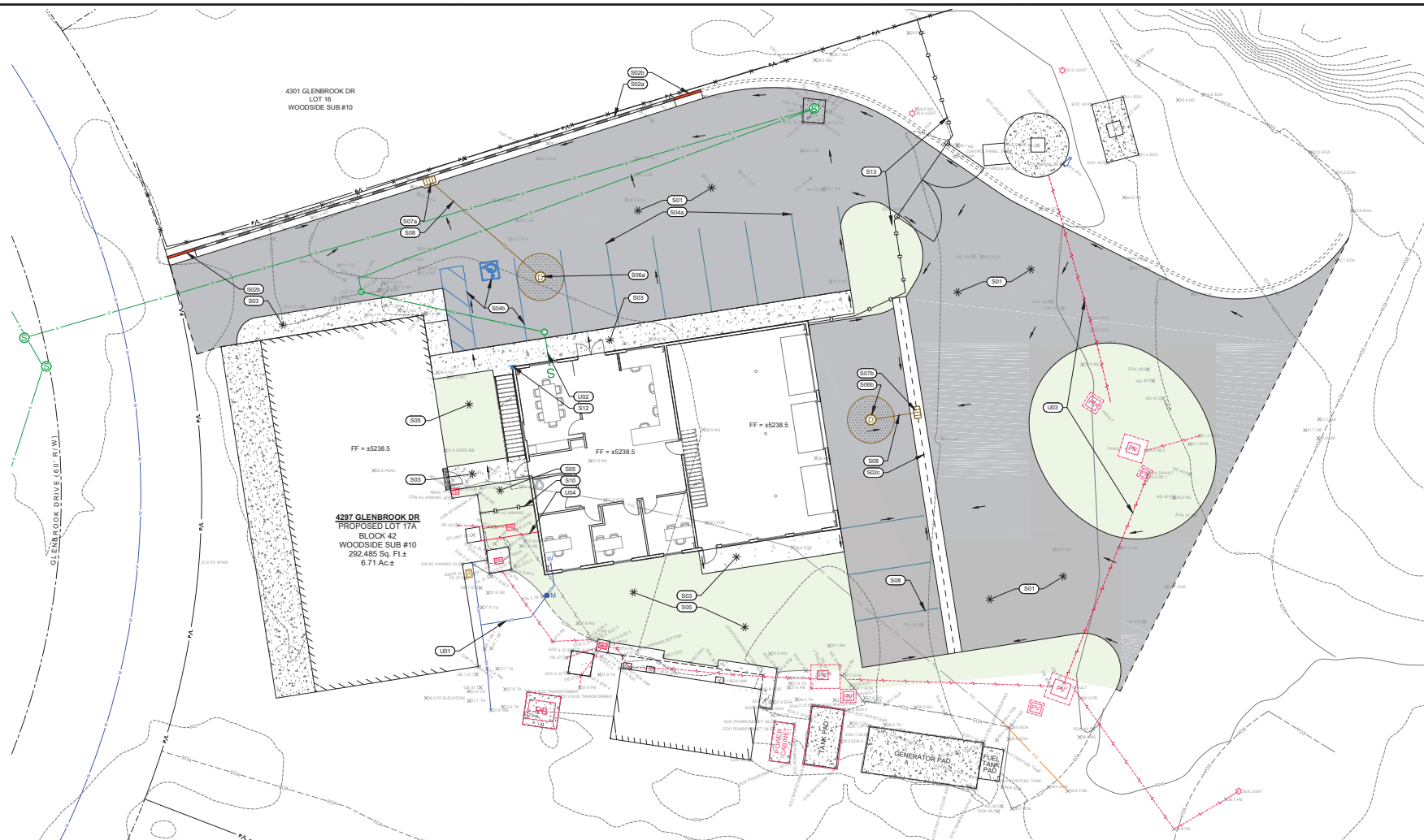
C1.01

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83421
(208) 786-1705
email: galena@galenaengineering.com













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CT
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MS/ACL
CHECKED BY

PRELIMINARY
NOT FOR
CONSTRUCTION






4297 GLENBROOK DR
(HAILEY WATER DEPARTMENT OFFICE BUILDING)
DETAIL SHEET
LOCATED WITHIN SECTION 15, T2N, R18E, B3M, CITY OF HAILEY, BLAINE COUNTY, IDAHO
PROJECT: HIGHWAY 20
Prepared by: J. B. Smith
Reviewed by: J. B. Smith
Date: 10/15/2019 13:17 PM



CONSTRUCTION KEY NOTES

- | | | | | | | | | | | | |
|---|--|---|---|--|--|---|---|--|--|--|---|
|  <p>301 CONSTRUCT ASPHALT ROADWAY
SEE DETAIL 1 / C / 10</p> |  <p>302 CONSTRUCT CONCRETE CURB & GUTTER
SEE DETAIL 2 / C / 10</p> |  <p>303 Curb TRANSITION
SEE DETAIL 3 / C / 10</p> |  <p>304 36" WIDE CONCRETE VALLEY GUTTER
SEE DETAIL 4 / C / 10</p> |  <p>305 CONSTRUCT CONCRETE SIDEWALK WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C / 10</p> |  <p>306 INSTALL ROAD STRIPING / PAINT. MATCH CITY CATEGORIES
a. WHITE ASPHALT PARKING (4" WIDE)
b. BLUE ASPHALT ADA PARKING STRIPING (4" WIDE) AND PARKING SYMBOL.
SEE DETAIL 6 / C / 10</p> |  <p>307 LANDSCAPE AREA. INSTALL TURF, TYPE AND IRRIGATION SYSTEM PER CITY OF HALEY.</p> |  <p>308 CONSTRUCT DRIVEWAY. CONNECT ROOF AND FOUNDATION DRAINS TO DRIVEWAY. REFER TO DETAIL 10 / E / (C) / 10
a. RM - T&D
b. RM - T&D
c. RM - T&D
d. RM - T&D</p> |  <p>309 INSTALL CATCH BASIN. REFER TO DETAIL 1 / C / 10.
RM - T&D
E (C) / 10 - T&D</p> |  <p>310 INSTALL 12" ADS N-12 STORM DRAIN PAVED WITH A FURNISH FLOOR OF 2.0". REFER TO DETAIL 10 / E (C) / 10</p> |  <p>311 ADA STANDARD. RESERVED PARKING - VAN ACCESSIBLE - SIGN SHALL BE PLACED AT LEAST 60 INCHES ABOVE SURFACE. SEE DETAIL 6 / C / 10</p> |  <p>312 SITE SECURITY FENCE. MATCH EXISTING ON-SITE SECURITY FENCE AND GATE COMPONENTS.</p> |
|---|--|---|---|--|--|---|---|--|--|--|---|

UTILITY IMPROVEMENT KEY NOTES

-  **U01** CONNECT TO EXISTING 4" WATER SUPPLY LINE FOR EXISTING BUILDING. INSTALL 4" PVC WATER SERVICE AND WATER METER. REFER TO DETAIL 10.01 C1.00 FOR TRENCHING.
-  **U02** INSTALL 4" PVC SEWER SERVICE WITH A 2% MINIMUM SLOPE AND CLEANOUT. CONNECT TO EXISTING SEWER SERVICE. REFER TO DETAIL 10.01 C1.00 FOR TRENCHING.
-  **U03** CONTRACTOR SHALL LOCATE BURIED POWER TO ENSURE DEPTH IS SUFFICIENT PER IDAHO POWER STANDARDS.
-  **U04** INSTALL POWER CONDUIT. TYPE AND SIZE PER ARCHITECTURAL PLANS.
-  PROPOSED GRADE

GENERAL NOTES:

1. SEE SHEET C0.10 FOR CONSTRUCTION NOTES
2. SEE SHEET C0.30 FOR LEGEND.

Return to Agenda

Return to Agenda