

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, October 5, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Meeting Minutes from the September 21, 2020 PZ Hearing. **ACTION ITEM.**

CA 2 Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO); however, the Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code. The proposal also includes: twelve (12) parking spaces, four (4), three-bedroom accessible units and eight (8), two-bedroom accessible units. **ACTION ITEM.**

Public Hearing

PH 1 Consideration of a Design Review application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Bungalow, to be located at Lot 9A, Block 49, Hailey Townsite (TBD N 4th Ave) in the Limited Residential (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

PH 2 Consideration of a Design Review application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Farmhouse, to be located at Lot 11A, Block 49, Hailey Townsite (TBD N 4th Ave) in the Limited Residential (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **October 19, 2020**

- DR: City of Hailey Public Works Forest Service Building
- Title 17 ADU Amendment

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Monday, September 21, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Present

Commissioners: Janet Fugate, Richard Pogue, Dan Smith, Owen Scanlon, Dustin Stone

Staff: Lisa Horowitz, Robyn Davis, Jessica Parker

[5:30:45 PM](#) Chair Fugate called to order.

[5:30:50 PM](#) Public Comment for items not on the agenda. No comment.

[5:31:30 PM](#) Consent Agenda

[CA 1](#) Adoption of the Meeting Minutes from the February 27, 2020 PZ hearing. **ACTION ITEM.**

[CA 2](#) Adoption of the Meeting Minutes from the March 2, 2020 PZ hearing. **ACTION ITEM.**

[CA 3](#) Adoption of the Meeting Minutes from the April 6, 2020 PZ hearing. **ACTION ITEM.**

[CA 4](#) Adoption of the Meeting Minutes from the April 20, 2020 PZ hearing. **ACTION ITEM.**

[CA 5](#) Adoption of the Meeting Minutes from the September 8, 2020 PZ hearing. **ACTION ITEM.**

[CA 6](#) Adoption of Findings of Fact, Conclusions of Law and Decision of a Conditional Use Permit submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Dr (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District. **ACTION ITEM.**

[CA 7](#) Adoption of Findings of Fact, Conclusions of Law and Decision of a Preliminary Plat Application submitted by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 W Bullion) is subdivided into two lots, Lot 1, 12,704 square feet and Lot 2, 11,335 square feet, within General Residential (GR) and FP Overlay Zoning Districts, the Preliminary Plat of Little Indio south Subdivision. **ACTION ITEM.**

Smith request to pull CA 6, to recuse himself from voting. Scanlon request to pull CA 2.

[5:32:29 PM](#) Pogue motioned to approve CA 1, CA 3, CA 4, CA 5, and CA 7. Smith seconded. All in Favor.
5-0.

[5:32:59 PM](#) Smith motioned to approve CA 2. Pogue seconded. Scanlon abstained. All in Favor.

[5:33:25 PM](#) Scanlon motioned to approve CA 6. Pogue seconded. Smith abstained. All in Favor.

Public Hearing

PH 1 [5:33:54 PM](#) *Consideration of a Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO); however, the Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code. The proposal also includes: twelve (12) parking spaces, four (4), three-bedroom accessible units and eight (8), two-bedroom accessible units. **ACTION ITEM.***

[5:34:45 PM](#) Davis explained commissioners heard this project under the Design Review Pre-Application and summarized request from last meeting. Davis turned floor over to Byron Folwell. Folwell introduced himself. Folwell summarized changes that the design team addressed. Folwell explained location of site and that it is currently undeveloped. Folwell explained project consist of 3 buildings each containing 4 units for a total of 12 units. Folwell went on to discuss the parking spaces and open space. Folwell stated the bedroom count in Building A was reduced to 3-bedroom, other buildings did not have change to bedroom count. Folwell explained parking access, including 16 bicycle parking spaces. Folwell explained housing units will arrive onsite nearly complete, summarizing install process. Folwell discussed the exterior layout and exterior materials to be used outside. Folwell discussed roof design, stating snow clips added to Building A only as it is the only building that could potentially drop snow on a paved area. Folwell stated sidewalk trees will be 3-4" caliper depending on what is available and will have a drip line. Folwell addressed parking concerns, total of 12 units with 28 bedrooms, explaining how buildings area designed for young and or service industry families.

[5:51:52 PM](#) Stone asked how many rooms and parking spaces does the building to the south (Silver River Apartments). Horowitz stated 16 spaces for 32 bedrooms. Stone confirmed all two bedrooms to the south. Horowitz confirmed that both projects are meeting zoning requirements. Stone asked if under that when changed Building A from 4 to 3 bedroom, that they dropped a total of 4 bedrooms. Folwell confirmed.

[5:53:09 PM](#) Scanlon asked if only change made to roof was snow clips. Folwell confirmed and explained reason for roof facing south. Scanlon asked how tall the wall is to the north near building A. Folwell stated it is 29'. Scanlon asked if considering any landscape plan to break up that wall. Folwell confirmed, that the landscaping and decorative screening is there to help. Steven Job, Landscape Architect, stated have 3 Swedish Aspens along the elevation facing north and will have some deciduous plantings in between the aspens. Scanlon and the applicant discussed plans to help break up the elevation facing north.

[5:57:18 PM](#) Smith stated they have confirmed using Redwoods.

Horowitz noted height of Silver River Apartments that is under construction to the south of this project.

[5:58:41 PM](#) Chair Fugate opened public comment.

5:59:33 PM Chair Fugate closed public comment.

5:59:45 PM Horowitz explained condition k that will be enforced that the public parking would be onsite. Chair Fugate confirmed staff will keep a closer eye on enforcement regarding parking in city right of way.

6:02:25 PM Pogue noticed that there is no children play area drawn in the proposed drawings. Folwell explained tight on space, the covered seating in open area is that is not age specific is their design. Folwell explained there are nearby parks and that they hope residents would use the nearby parks in addition to their outdoor seating. Pogue asked if limited by the construction of the modular housing unit for the interior design, it seems awkward to him. Folwell explained limitations with shipping containers and how IndieDwell has shown the units to be livable. Folwell explained Building A has additional living space. Horowitz added her experience in a tour of IndieDwell units in Bellevue. Pogue asked how will manage the facility. Folwell explained the facility will be managed by the owner/developer of this property. Pogue confirmed parking along River Street in winter would not be allowed and someone will need to manage that. Leonard McIntosh explained will have a professional manager.

6:09:13 PM Smith stated he appreciates the changes made. Smith expressed concern of parking and that they still need to do what they can to preserve the sense of place and for the city. Smith thinks the overall appearance is quite proper for that part of town. Smith has seen units in Bellevue appears to be quite livable and are small and compact. Smith stated there will be challenges involved for parking with both projects during winter. Smith referenced comments about speed on River Street, may need to have police monitor area periodically to help ensure speed limit is followed.

6:12:36 PM Stone stated snow clips put on Building A, and covers along stairway are now single mount. Folwell stated flat awning roofs have not changed on. Folwell discussed awnings and differences between awnings on Building A compared to Buildings B and C. Folwell explained shedding of roofs on all buildings. Stone asked if primary parking access is through the alleyway. Folwell confirmed. Stone asked if alleyway is wide enough for two way traffic. Horowitz confirmed. Stone expressed concern of parking. Folwell stated he appreciates the concern of parking, and discussed how it is a crux beings discussed nationally. Folwell explained how they used to determine parking, how they are dealing with issue in Boise as well. Folwell appreciates the opportunity that Hailey is allowing.

6:22:14 PM Horowitz explained did not mean that will be pushing away the parking issue, that are hopefully these units will only have 1 car per unit.

6:23:26 PM Scanlon explained that have to set a parameter, and this was one that was decided could be lived with. Scanlon agrees with Smith, that hadn't had an opportunity yet since this was established. Scanlon asked if the floor plans were IndieDwell or his. Folwell explained that the floor plans are from IndieDwell. Scanlon expressed concern of bedroom size, and how he has designed a floor plan that is 10x10. Scanlon asked Folwell to see if he could come up with larger bedrooms and better living spaces. Folwell explained that have a lot more leeway when have a stick built project, but that believes it comes down to budget. Folwell discussed his experience in staying in a pod that was even smaller. Folwell stated IndieDwell provides suggested furniture arrangements. Scanlon and Folwell continued to discuss bedroom sizes. Horowitz stated getting a variety of scale and mass between this project and the one on the corner.

[6:32:24 PM](#) Chair Fugate is happy to keep roofs as they are for potential solar panels in the future. Chair Fugate asked if the units would accommodate that. Folwell explained those installers are used to retrofitting the equipment for the residential units. Folwell explained the roof designs are done in a way that the solar would potentially be invisible. Folwell stated the heating/cooling system is very efficient and that is already set up for the lowest energy consumption. Chair Fugate stated that the colors are still monotone, and would still prefer to see more color on the building. Chair Fugate stated it was helpful to have the other project drawn in to see how the projects fit together.

[6:38:17 PM](#) Smith explained benefit of central location of the water heater. Folwell stated these are the standard drawings from IndieDwell but sees his point. Folwell asked if looking at buildings b and c. Smith stated only Building A, where water heater is in the far bedroom.

[6:40:42 PM](#) Stone asked if Simms was present during this meeting. Horowitz explained he had another meeting at the same time tonight. Stone and Horowitz discussed parking and design review standards that have discretion. Stone if there was a bed in the room Horowitz saw at the unit in Bellevue. Horowitz stated no, but was easy to picture. Stone asked Folwell if unwilling to change the bedroom layout. Folwell explained adjustments made by IndieDwell and that would be willing to peruse others if requested. Stone's concern is if there is a better way to do it for the people who are going to live there, but does not understand their restrictions. Horowitz stated it is unlikely based off looking at floor plan but could add condition that the applicant shall work with IndieDwell regarding bedrooms.

[6:46:28 PM](#) Commission reviewed proposed conditions of approval.

[6:47:56 PM](#) Scanlon asked how extensive the conversation would be for the redesign of the floor plan. Folwell supposes certain interior walls, utilities, windows and doors could be moved but not able to speak for them. Folwell explained there is a lot of engineering to put the units together. Scanlon asked if the walls have to fall on the 8' grid line. Folwell confirmed. Horowitz asked the commission what standards of review are applicable. [6:51:43 PM](#) Davis suggested condition to be added regarding bedroom size to be reviewed by staff and Commissioner Chair. Commission and staff continued to discuss reconfiguration of rooms and room size.

[7:00:38 PM](#) **Smith motioned to approve the Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (n) are met. Pogue seconded. Scanlon – No, Stone – Yes, Smith – Yes, Pogue – Yes, Fugate – Yes.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **October 5, 2020**

- DR: Farmhouse by Szabo and Wrede
- DR: Bungalow by Szabo and Wrede

[7:02:32 PM](#) Horowitz summarized two items to be heard at the next hearing.

[7:04:52 PM](#) **Smith motioned to adjourn. Pogue seconded. All in Favor.**

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On September 21, 2020, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by Leonard McIntosh and Edward Ayub -Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO).

Notice: Notice for the public hearing was published in the Idaho Mountain Express on September 2, 2020 and mailed to property owners within 300 feet on September 2, 2020.

Application: Leonard McIntosh and Edward Ayub – Trustee submitted a Design Review Application for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B) and Townsite Overlay (TO) Zoning Districts, and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO). The Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code.

Additionally, the dwellings have been designed by indieDwell, a company striving to “transform the status quo by creating a socially conscious business model that enhances the well-being of humanity...”. indieDwell’s mission is to repurpose shipping containers into compact dwellings, creating a small footprint, sustainable and energy efficient homes, which help to solve current housing issues.

The proposed project will consist of:

- Twelve (12) onsite, covered parking spaces
- Four (4), three-bedroom accessible units (960 square feet in size)
- Eight (8), two-bedroom accessible units (640 square feet in size)
- Eighteen (18) bicycle parking spaces
- Approximately 1,470 square feet of common useable open space

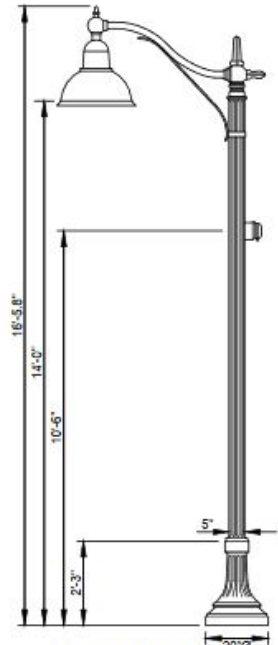
On August 17, 2020, the Planning and Zoning Commission reviewed the Design Review Pre-Application for River Street Apartments. The Commission neither approved nor denied the proposal, but suggested that the Applicant Team consider the following:

- **Building Design, Materials and Colors:** The Commission suggested that the Applicant Team utilize more color on the exterior of the building, as well as consider having the shed roofs run in opposite directions. The Applicant Team’s utilization of exterior materials and colors, and roof design, are described herein.
- **Dwelling Unit Sizes and Total Bedrooms:** The Commission suggested that the Applicant Team consider removing the fourth bedroom from the four-bedroom units in Building A, as the Commissioners concurred that parking could be problematic. The Applicant Team has removed the fourth bedroom from the four-bedroom units and is proposing four, three-bedroom units in Building A, approximately 960 square feet in size.
- **Bicycle Racks:** The Commission suggested that the Applicant Team add more bicycle racks to the site. The Applicant Team has added six (6) additional bicycle racks onsite in the form of three (3) lockable hoops to match the other racks within the development,

- **Streets/Right-of-Ways:** The Commission suggested that the Applicant provide irrigation to all landscaping, including street trees. Electrical shall also be installed (for street tree lights and any street lights) during construction.
- **Landscaping and Street Trees:** Drought tolerant trees, grasses, shrubs and groundcover are proposed. Further details of the Landscape Plan and comments/recommendations from the Hailey Tree Committee are described herein.
- **Mountain Rides Bus Transit Stop:** The Commission discussed the need for a transit stop nearby. Mountain Rides Transportation Authority (MRTA) and the Commission agreed that this location is an ideal location for a bus transit stop; however, both understand the need for parking within the area is important, and MRTA can go without a transit stop. Planning Staff agreed and while no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties. This has been made a Condition of Approval.

Procedural History: A Design Review Pre-Application public hearing before the Planning and Zoning Commission of the project was held on August 17, 2020, in the Hailey City Council Chambers. The Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on September 21, 2020, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments at this time.</i>
				Life/Safety: <i>No comments at this time.</i>
				Streets, Water & Wastewater: <i>The Public Works Department recommends that the following items be resolved at final design:</i> <ul style="list-style-type: none"> - <i>The Streets Division would like the following provided prior to issuance of a Building Permit:</i> <ul style="list-style-type: none"> o <i>The street lighting proposed in the public right-of-way shall be per City Standards. It is encouraged that the light poles be centered within the landscape strip and that each pole be similar to the existing street lighting throughout Hailey (see image below). The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department at a later date. This has been made a Condition of Approval.</i>

				<p>New York Cast Aluminum Extruded post w/ 20" Base BHC Series Roadway Arm Eurotique Hanover Pendant</p> <p>NOTATIONS</p> <p>Hanover Pendant 3 LED 525MA 4K GCF Mvoit R3 1DS ANDGJ 2 LED In Ballast Housing Wattage: 63 LED 525MA 4K CCT Glass: Clear Flat (Standard) Vlt (120-277V) Type III</p> <p>tion Device: None Shield: Decorative Shield ie Dark Green 2A: 1.68 eight: 60</p> <p>MOUNTING BRACKET Roadway Arm, Oriented at 180 degrees. (D/G) 45° 1 Way Arm eter: x.x" top clamp Ø/6.x.x" bottom clamp Ø Receptacle: None : None ioe: Plumbing Device ie Dark Green 50 27</p> <p>Extruded Post w/20" Base FS 3T5 ANDG MP312BAJ</p> <p>20" Base set (Actual Height: 14'-0") FS 5" Diameter Fluted, 224 wall Anchor Bolts Tail Tenon acle: None up: None ie Dark Green .9671675 : 62</p>  <p>LIGHT POLE DETAIL N.T.S.</p> <ul style="list-style-type: none"> ○ A detailed electrical plan for street trees, and exterior lighting shall be submitted and approved prior to issuance of a Building Permit. This has been made a Condition of Approval. ○ A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit. This has been made a Condition of Approval. ○ Street tree well designs differ from Civil set to Architectural set. All plan sheets shall be updated with accurate Street tree well designs per City Standards. This shall be updated prior to issuance of a Building Permit. This has been made a Condition of Approval. ○ Alley cuts shall be cleaned up. Rather than cutting the alley/repairing it in pieces, cut and repair a larger area. It is preferred that the Applicant repair/repave the alley between property lines and if the total area of asphalt removed exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year. This has been made a Condition of Approval. ○ Winter parking restrictions are in the area. The Applicant shall install appropriate signage. This has been made a Condition of Approval. <p>- The Water Division recommends that all existing, unused services be abandoned. This has been made a Condition of Approval.</p>
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				<ul style="list-style-type: none"> - The Wastewater Division would prefer to see the Applicant connect to one, six-inch (6") sewer service at the center of the lot and branch off to serve Buildings A, B & C. This has been made a Condition of Approval.
				Building: No comments
				<p>City Arborist: The Hailey Tree Committee met on August 13, 2020 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design with the following recommendations:</p> <ul style="list-style-type: none"> - Install three (3) Greenspire Linden Trees with drip irrigation within the sidewalk on River Street and in front of the River Street Apartments at 410 North River Street. <p>The Landscape Plan has been updated to reflect the Hailey Tree Committee's recommendation; thereby, no Condition of Approval is needed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	N/A, as no signage is proposed as this time. Any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<p>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</p> <p>The project is comprised of three (3) apartment buildings (A, B and C) with a total of twelve (12) residential units. The site plan shows a total of 12 onsite parking spaces, of which, two (2) parking spaces are accessible parking spaces. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or three (3) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of two (2) spaces as compact spaces.</p> <p>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</p> <p>The Applicant is proposing to improve the public right-of-way and off-street parking along River Street. Twelve (12) off-street parking spaces are proposed (along River Street).</p> <p>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions to winter parking within the public right-of-way. This has been made a Condition of Approval.</p> <p>The Commission discussed the need for additional onsite parking. Though apprehensive to approve a project with little parking, the Commission concurred that the total number of spaces, onsite and within the public right-of-way, complied with the regulations as set forth in Section 17.04R.060 (A) of the Hailey Municipal Code. The Commission reiterated the importance of regulating said parking year-round, but especially during the winter months, by the utilization of a Property Manager/Management Company. This was made a Condition of Approval.</p>

				<i>The Commission found that the parking requirements for the proposed project have been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.
			<i>Staff Comments</i>	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. Light fixture samples have been submitted. The Commission found that this standard has been met</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Business (B) and Townsite Overlay (TO) Zoning Districts:
			<i>Staff Comments</i>	<i>Building Height:</i> <ul style="list-style-type: none"> - Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40'). - Proposed Building Height: ~25'-6" <i>Building Setbacks:</i> <ul style="list-style-type: none"> - Permitted Setbacks: <ul style="list-style-type: none"> o Front Yard: 0' o Side Yards: 0' o Rear Yard: 0' - Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard (River Street): 5' o Side Yard (north): 5' o Side Yard (south): 5' o Rear Yard (alley): 5'

				<i>The Commission found that all setback and building height requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<p><i>A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments.</i></p> <p><i>The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>This standard will be met.</i>


Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey


1. Site Planning: 17.06.080(A)1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p>Staff Comments</p> <p><i>The building is primarily oriented along an east/west axis to maximize sun exposure for the apartments. Buildings A and C also parallel River Street, with the primary entrances off of River Street. The buildings form a small courtyard between Buildings A and C, and behind Building C, and open to the south. This communal outdoor area creates a gathering space - equipped with picnic tables, benches, landscaping and shade trees and bicycle racks -- that is usable by residents and can safely be accessed from the building.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees</p>

				<p>larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<p>N/A, as no existing plant material exists onsite. Please Refer to Section 17.06.080(A)4d for further details regarding the proposed Landscape Plan, Plant Materials List and locations of proposed trees.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p>Site circulation has been designed to keep vehicular access and onsite parking to the existing alley. A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments.</p> <p>The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<p>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the existing alley. A trash/recycling enclosure is located off of the alley and screened by an enclosure similar in design to the utility screen walls. The location of the trash enclosure appears to be practical; however, a letter from Clear Creek Disposal commenting on accessibility shall be provided. This has been made a Condition of Approval.</p> <p>Furthermore, a power box is located off of the alley, to the south of the trash enclosure. This power box will be screened by the enclosure.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<i>Staff Comments</i>	<p>The existing alley will be utilized for building services. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<i>Staff Comments</i>	<p>N/A, as no vending machines are proposed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p>

				<p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<p>Onsite parking is located off of the existing alley and to the rear of the building. Prominent entrances to Buildings A and C are proposed along River Street, and all parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</p> <p>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<p>The site is serviced by one public street, River Street. Onsite parking can be accessed from the existing alley at the east end of the property. Primary pedestrian access can be achieved from River Street.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<p>No snow storage areas have been provided onsite, as it is anticipated that snow will be hauled from the site. Please refer to Section 17.06.080(A)1g for further detail.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
2. Building Design: 17.06.080(A)2, items (a) thru (m)				

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposal is for multi-family buildings (A, B and C) of twelve (12) dwelling units in the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. A variety of homes, single-family and multi-family, as well as commercial spaces, exist. The proposed building designs incorporate a variety of features, such as balconies, awnings, undulation and repeating shed roofs, which give the impression of smaller, human-scale massing, and further complement the designs of the buildings in the surrounding area.</p> <p>At the Preapplication Design Review Hearing, the Commission suggested that the Applicant Team consider having the shed roofs run in opposite directions. The Applicant considered the suggestion; however, kept the shed roofs facing south, as the Applicant may add solar PV panels to the south-facing shed roofs in the future. Alternative roof lines would impact this amenity.</p> <p>The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> N/A, as the project is not a corporate design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> The building features street-level material changes, clad in a mix cement panel siding, metal deck roofing and wood screens, which reduces building mass and scale of the buildings. The variation in front façade projection, the articulated rooflines, and the recessed entries also provide additional design variation between Building A and Building C. The proposed buildings incorporate prominent front entries, a communal outdoor space to encourage human activity and interaction, and generous openings to facilitate easy pedestrian circulation.</p>  <p>VIEW FROM RIVER STREET</p> <p>A variety of landscaping and plant material will also be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</p>

				<i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> The front façades (along River Street) of the buildings occupy most of the street frontage along River Street. Windows, balconies, and awnings emphasize human scale and break up the building surfaces. The building features street-level material changes, clad in a mix cement panel siding, metal deck roofing and wood screens, which reduces building mass and scale of the buildings. The scale and design components complement the surrounding area nicely.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no future additions or renovations are planned at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior of the building. The panel siding will incorporate natural hues: Monterey Taupe and Cobble Stone. Cement panel trim will be in Arctic White and Metal Deck Roofing will be White. Wood screens will be a semitransparent stain, and metal frames and railings will be Dark Bronze. All windows will be White.</p> <p>The stained wood, cement board siding, joint lines, painted metal structures, metal doors, vinyl windows and composite shingles will contribute to the overall design.</p> <p>At the Preapplication Design Review Hearing, the Commission suggested that the Applicant Team utilize more color on the exterior of the building. The Applicant Team has incorporated two complementary field colors and two contrasting trim colors. The Commission lightly discussed the newly proposed exterior colors and concurred that the color changes were complementary to the surrounding area.</p>  <p style="text-align: right;"><small>VIEW FROM RIVER STREET</small></p> <p><i>The Commission found that this standard has been met.</i></p>

				
				<i>A Materials Sample Board has been provided and was brought to the hearing.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>
			<i>Staff Comments</i>	<p><i>The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. Please refer to Section 17.06.080(A)2f for further details.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>
			<i>Staff Comments</i>	<p><i>The buildings will see balconies, railings and awning structures, which provide architectural design features unique to this development, and provides site-specific identity to the proposed project.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.

			Staff Comments	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> - <i>Solar Orientation: All buildings have been oriented with the long dimension in an east-west axis (30 degrees of true south).</i> - <i>South Facing Windows with Eave Coverage: All units have 60% total glazing oriented to the south. South-facing glazing is partially shaded from the summer sun by landscaping at the ground floor units, and awnings at the upper floor units.</i> - <i>Double Glazed Windows: All windows will be double-glazed.</i> - <i>Low Emissivity Glazing: Windows are Pella 250 Series with low emissivity glazing.</i> - <i>No earth berming for this site.</i> - <i>All buildings' shed roofs are oriented to the south for possible future installation of solar panels. No PV system is planned at this time.</i> - <i>No exterior light shelves are planned.</i> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p>Staff Comments</p> <p><i>All proposed pedestrian entrances are covered by low pitched awnings and balconies, which will retain snow. All projecting shed roofs will shed snow into landscaping areas. Building A will utilize snow clips to retain snow over pedestrian areas. It is not anticipated that snow will shed onto walkways and/or other pedestrian areas.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p>Staff Comments</p> <p><i>Downspouts and drains will be located within landscaped areas, will be connected to drywells, and shall not create any pedestrian hazards.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p>Staff Comments</p> <p><i>N/A, as no vehicle canopies are proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p> <p>Staff Comments</p> <p><i>N/A, as no signage is proposed; therefore, no master signage plan is needed.</i></p>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p>Staff Comments</p> <p><i>N/A, as no accessory structures are proposed.</i></p>
			17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the alley, at the rear of the property, and screened on all sides by an enclosure similar in design to the utility screen walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			Staff Comments	<i>Screen walls are constructed from rot-resistant redwood with a colored stain that is complementary to the color scheme of the buildings. All screen walls are of a similar design (utility, outdoor storage, stairs and window screens) and, together, provide a coordinated design feature.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	<i>Please refer to Section 17.06.080(A)3c for further detail. Landscaping and buildings are the prominent features on the site. Screen walls are surrounded by vegetation. Syringa Patula (Miss Kim Lilacs), Armstrong Gold Maples, Autumn Jubilee Ninebark, and Goldfinger Potentilla are proposed along the alley side to soften the visual impact.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			Staff Comments	<i>The shed roofs have been designed to accommodate future solar PV panels and if installed, shall not detract from the building and its surroundings.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the existing alley. A trash/recycling enclosure is located off of the alley and screened by an enclosure similar in design to the utility screen walls. The location of the trash enclosure appears to be practical; however, a letter from Clear Creek Disposal commenting on accessibility shall be provided. This has been made a Condition of Approval.</i> <i>Furthermore, a power box is located off of the alley, to the south of the trash enclosure. This power box will be screened by the enclosure.</i> <i>The Commission found that this standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment. No turf grass is proposed.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>The Applicant is proposing to utilize a drip irrigation system on a programmable, moisture-sensor system, which will run as necessary to maintain plant health. The Irrigation Plan will be further reviewed at final design.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of thirty (30) trees to be planted.</i> <i>The following trees are proposed to be planted onsite:</i> <ul style="list-style-type: none"> - Five (5) Armstrong Gold Maple at three-inch (3") caliper - One (1) Sunburst Locust at three-inch (3") caliper - Seven (7) Moonglow Columnar Juniper at seven to eight feet (7-8') - Three (3) Narrow Norway Spruce at ten to twelve feet (10-12') - Six (6) Swedish Aspen at two-and-one-half inch (2 ½") caliper - Two (2) Columnar English Oak at eight to nine feet (8-9') - Three (3) Pyramidal Arborvitae at six feet (6')

				<p>- <i>Three (3) Littleleaf Linden at four-inch (4") caliper</i></p> <p><i>Three (3) street trees are proposed, which include:</i></p> <p>- <i>Three (3) Greenspire Lindens at four-inch (4") caliper</i></p> <p><i>The street trees will be surrounded by 24" Silva Cells 2X, will contain bubbler irrigation, as well as an electrical waterproof Junction Box, as outlined by Title 18: Mobility Design, Chapter 18.14: Standard Drawings, Section 18.14.014F: Tree Well Detail. The River Street Typical Section will also be utilized.</i></p> <p><i>Newly landscaped areas having more than ten (10) trees, a minimum of 10% shall be at least four-inch (4") caliper or three (3) trees in total. The Applicant is proposing a total of six (6) trees (3 onsite and 3 street trees) of four-inch (4") caliper. This requirement has been met.</i></p> <p><i>Additionally, 20% shall be at least three-inch (3") caliper or six (6) trees in total. The Applicant is proposing a total of six (6) trees at three-inch (3") caliper. This requirement has been met.</i></p> <p><i>Twenty percent (20%) shall also be at least two-and-one-half inch (2 ½") caliper. The Applicant is proposing a total of six (6) trees at two-and-one-half inch (2 ½") caliper. This requirement has been met.</i></p> <p><i>Furthermore, a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). The Applicant is proposing seven (7) Moonglow Columnar Juniper. It is recommended that the Applicant remove one (1) of the Moonglow Columnar Junipers to meet this requirement. This has been made a Condition of Approval.</i></p> <p><i>Lastly, the Hailey Tree Committee met on August 13, 2020 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design with the following recommendations:</i></p> <p>- <i>Install three (3) Greenspire Linden Trees with drip irrigation within the sidewalk on River Street and in front of the River Street Apartments at 410 North River Street.</i></p> <p><i>The Landscape Plan has been updated to reflect the Hailey Tree Committee's recommendation; thereby, no Condition of Approval is needed.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<i>N/A, as the proposed project is located within the Business (B) Zone District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<i>Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>

			Staff Comments	<i>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			Staff Comments	<i>The Applicant will be responsible for maintaining plant material in a healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	<i>N/A, as no retaining walls are proposed at this time.</i>

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			Staff Comments	<i>The project is located on River Street. The proposed building complements the surrounding area and adjacent uses nicely. The surrounding area and adjacent uses are multi-family, commercial and/or mixed-use. Communal outdoor space has been provided, as well as pedestrian connections to neighboring properties.</i> <i>The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.

			Staff Comments	<p><i>Interior and perimeter sidewalks are proposed, as well as a bicycle lane along the property's frontage of River Street. Pedestrian circulation is ample and includes pathways connecting to River Street and the alley, which facilitates access to the dwelling units and onsite parking.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</p> <p>Staff Comments</p> <p><i>The proposed building has been organized to maximize efficient site circulation. Site circulation has been designed to keep vehicular access and parking to the existing alley and public street (River Street). A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments.</i></p> <p><i>The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</i></p> <p><i>The Commission found that this standard has been met.</i></p>

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p>Staff Comments</p> <p><i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p>Staff Comments</p> <p><i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i></p>

General Requirements for the Downtown Residential Overlay District (DRO)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	<p>General Application: The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	<p>Use and Bulk Requirements: Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO).</p>

				A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The project proposes four (4) dwelling units on the ground floor, parking for each unit and shared storage spaces. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	Multifamily and Mixed-Use Density: A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.
			<i>Staff Comments</i>	<i>Please refer to the Design Review Standards as noted herein.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>This standard has been met. Units are 640 square feet and 960 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	Parking Spaces, Screening and Storage Requirements: A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building: <ol style="list-style-type: none"> 1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such. 2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of three (3) apartment buildings (A, B and C) with a total of twelve (12) residential units. The site plan shows a total of 12 onsite parking spaces, of which, two (2) parking spaces are accessible parking spaces. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or three (3) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of two (2) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and off-street parking along River Street. Twelve (12) off-street parking spaces are proposed (along River Street).</i></p> <p><i>The Commission discussed the need for additional onsite parking. Though apprehensive to approve a project with little parking, the Commission concurred that the total number of spaces, onsite and within the public right-of-way, complied with the regulations as set forth in Section 17.04R.060 (A) of the Hailey Municipal Code. The Commission reiterated the importance of regulating said parking year-round, but especially during the winter months, by the utilization of a Property Manager/Management Company. This was made a Condition of Approval.</i></p>

				<i>The Commission found that the parking requirements for the proposed project have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p>B. Useable Open Space, Screening and Landscaping:</p> <ol style="list-style-type: none"> 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens. 2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and 3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.
			<i>Staff Comments</i>	<p><i>The total lot area is 14,386 square feet in size. The Applicant is required to provide 1,439 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 1,470 square feet in size.</i></p> <p><i>A landscape buffer between parking areas and residential zoning districts are also required. The Applicant is proposing a landscape buffer along the northern property line, which abuts the Business (B) Zone District, along the eastern property line, which abuts an existing alley, and along the southern property line, which abuts the Business (B) Zone District and Silver River Residences.</i></p> <p><i>Please refer to Section 17.09.020.11 for further details regarding setbacks.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p>C. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access said parking of twenty-two (22') in width.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p>D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>All units are larger than hundred (500) square feet; thereby, onsite storage units are not required. That said, the Applicant is proposing minimal storage between Buildings B and C, as well as ample storage for bicycles. A total of eighteen (18) bicycle spaces are provided, of which, twelve (12) spaces are covered/screened.</i></p> <p><i>The Commission found that this standard has been met.</i></p>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.

2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Zoning Ordinance and City Standards.

DECISION

The Design Review Application by Leonard McIntosh and Edward Ayub -Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO), has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (n) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. If the total area of asphalt removed in the alley exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
 - ii. A detailed electrical plan for street trees, and exterior lighting shall be submitted and approved prior to issuance of a Building Permit.
 - iii. The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department at a later date.
 - iv. Street tree well designs differ from Civil set to Architectural set. All plan sheets shall be updated with accurate Street tree well designs per City Standards. This shall be updated prior to issuance of a Building Permit.
 - v. A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit.
 - vi. The Applicant shall install parking signage that informs and restricts parking in the right-of-way during the winter months.
 - vii. The Applicant shall abandon any existing, unused water services.
 - viii. The Applicant shall utilize one (1), six-inch (6") sewer connection and branch off of this line to service Buildings A, B and C.
- d) The Applicant shall remove at least one (1) Moonglow Columnar Juniper tree, as it exceeds the maximum twenty percent (20%) of any single tree species located onsite.
- e) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- f) The Applicant shall submit a letter from Clear Creek Disposal commenting on the

accessibility of the proposed trash enclosure.

- g) The Applicant shall remove and haul snow from the site, as needed.
- h) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- i) A Lot Line Adjustment Application, to remove the interior lot lines, shall be applied for concurrently with the Building Permit.
- j) While no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties.
- k) The Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way.
- l) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- m) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- n) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

Signed this ____ day of _____, 2020.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of October 5, 2020

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Design Review Application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Bungalow, to be located on Lot 9A, Block 49, Hailey Townsite (TBD North 4th Avenue) in the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

Hearing: October 5, 2020

Applicant: Jason Szabo and Chris Wrede

Request: 1,750 square foot single-family residence

Location: Lot 9A, Block 49, Hailey Townsite (TBD North 4th Avenue)

Zoning: Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts

Notice: Notice for the public hearing was published in the Idaho Mountain Express on September 11, 2020, and mailed to property owners within 300 feet on September 15, 2020.

Application: The Applicants are proposing to construct a new 1,750 square foot single-family residence on Lot 9A. Current access for the proposed residence is located on Fourth Avenue and the existing alley. A mature, deciduous tree also exists between the two parcels. The Applicants plan to retain the tree and will protect it throughout the construction process.

This parcel is currently vacant and a Lot Line Adjustment Application to reconfigure the previous lots, Lots 9-12, into two (2) lots, was completed and approved on March 30, 2020.

Procedural History: The Design Review Application was submitted on August 31, 2020 and certified complete on September 2, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on October 5, 2020, virtually and in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments
				Life/Safety: No comments
				Water and Sewer: The Water and Wastewater Departments recommend that the Applicant utilize the existing services to each lot.
				Building: No comments
				Streets: No comments
				City Arborist: The City Arborist recommends that the Applicant make every effort to protect the existing tree from damage and compaction during the construction process. This has been made a Condition of Approval.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	N/A, as signage is prohibited in residential zones.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: minimum of two (2) spaces, maximum of six (6) spaces
			Staff Comments	The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. Though no garage is proposed at this time, onsite parking can be accessed via the alley. It appears that two (2) or more spaces have been provided onsite. Additionally, it appears that the public right-of-way can accommodate for a total of two (2) parking spaces. Parking requirements for the proposed residence are met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.

				<p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<p><i>Staff Comments</i></p> <p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. Cut Sheets are attached.</i></p> <div data-bbox="586 449 1450 1302" data-label="Image"> </div> <div data-bbox="669 1425 1339 1719" data-label="Image"> </div>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p>	<p>Zoning District: Limited Residential (LR-1) and Townsite Overlay (TO) Maximum Height: 30' Setbacks:</p>

				<ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 35%</p>
			<i>Staff Comments</i>	<p><i>Maximum Building Height: 30'</i> <i>Proposed Building Height: 23'-11"</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> ○ <i>Front Yard (East): 34'</i> ○ <i>Side Yard (South): 7'-6"</i> ○ <i>Side Yard (North): 7'-6"</i> ○ <i>Rear Yard (West): 43'</i> <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ <i>1,750 square feet (Proposed Footprint) / 5,998 square foot lot = 29%</i> <p><i>All setback, building height, and lot coverage requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>No sidewalks exist in the area. Sidewalks and/or a sidewalk in-lieu payment shall be made for the property frontage along Fourth Avenue. It is recommended that a payment for the sidewalk in-lieu fee, as outlined by the Hailey Municipal Code, be made. This in-lieu fee shall be paid concurrently with the Building Permit Application, and has been listed as a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This standard shall be met.</i>



Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i> <i>The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed addition will preserve the grid pattern, keeping visual access to Fourth Avenue and vehicular access via the alley.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood;

				<ul style="list-style-type: none"> • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The lot is existing and respects the Old Hailey Townsite grid pattern. The front entry of the home faces Fourth Avenue and will be accessible either via Fourth Avenue or the existing alley. • The proposed residence will span the entire lot. Ample yard and open space exist on all sides of the home. • Snow storage has been identified on the site plan and is sufficient for the site. • Utilities are existing. Water, sewer and gas are located underground. Any additional utilities shall be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p>
			<i>Staff Comments</i>	<p>The design intent of the proposed residence was to complement that of the surrounding area, while retaining the character of Old Hailey. The proposed design takes advantage of the southeastern exposure: a large patio, several entries and windows are located at the southwest and southeast elevations.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	2. Bulk Requirements (Mass and Scale, Height, Setbacks)
				Guideline: The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	<p>The use of dormers, a covered front porch and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	3. Architectural Character
			17.06.090(C)3a	a. General
				Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	<p>The architectural style of the proposed residence uses dormers, gables and traditional exterior materials/colors to integrate into the surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	b. Building Orientation
				Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.

			Staff Comments	<i>The front entry of the proposed residence is located facing Fourth Avenue. A covered porch along the front façade and over the front entry is proposed, which is visible and inviting from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			Staff Comments	<i>The lot is existing and respects the Old Hailey Townsite grid pattern. A covered porch along the front façade and over the front entry is proposed, which is prominent and inviting from Fourth Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	c. Building Form
				Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			Staff Comments	<i>The use of dormers, a covered front porch and large windows reduces the massing of the building and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</i> <i>The proposed residence will complement that of the surrounding neighborhood. The proposed siding on the first floor will be a Hardie Board and Batten in Night Gray. The proposed siding on the second floor will be Hardie Shingles in Khaki Brown, and the roof will be asphalt shingles in Black/Gray. Pella 250 Series Brick Red Windows will provide contrast to the darker hues and tie the exterior colors together.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			Staff Comments	<i>The dormer on the second story will minimize the perceived mass of the residence. The dormer will also help define the entry to the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			Staff Comments	<i>The roof pitches are 4:12 and 8:12. Shingles will be utilized to limit the shedding of snow. The roof for the covered entry will utilize shingles and see a shallow pitch of 4:12. It doesn't appear that snow retention devices are proposed. Snow storage calculations can be found on the site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			Staff Comments	<i>The proposed roof forms, ridge lengths and materials are similar to those traditionally found in the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			Staff Comments	<i>The proposed roof pitches of the home and front entry are consistent with the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			Staff Comments	<i>The proposed residence's primary wall plane is parallel to the lot line where the entrance is located.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The residence is proportional to the site in that the site's longest side is parallel with the residence's longest side. Material variation and front entry porch will also reduce the scale of the building to match the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>The covered entry and exterior entrances create wall plane variation on the southeast and northeast facades to break up the long wall planes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>Minimal windows are proposed facing the alley. Windows are also framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch is proposed along the front façade, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch is proposed along the front façade, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The proposed residence will complement that of the surrounding neighborhood. The proposed siding on the first floor will be a Hardie Board and Batten in Night Gray. The proposed siding on the second floor will be Hardie Shingles in Khaki Brown, and the roof will be asphalt shingles in Black/Gray. Pella 250 Series Brick Red Windows will provide contrast to the darker hues and tie the exterior colors together (see image below for further detail).</i>

				 <p>NORTH EAST</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	<p>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p><i>Staff Comments</i> The largest wall plane is the southeast elevation. This plane is broken up by a variety of window sizes, exterior chimney, and two exterior doors. Vertical siding and Hardie Shingles will help reduce the mass of said wall planes (see image below for further detail).</p>  <p>SOUTHEAST</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p><i>Staff Comments</i> Simple detailing is proposed: covered front entry and porch, beams, vertical and shingle siding.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p><i>Staff Comments</i> The proposed residence has minimal ornamentation. Simple detailing is proposed: covered front entry and porch, beams, vertical and shingle siding.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p>

			Staff Comments	Please refer to Section 17.06.090(C)3i for further information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			Staff Comments	Adequate parking has been provided. Pedestrian access is provided with the proposed concrete pathway to the front entry of the residence. Snow storage areas are located to the rear of the building, which does not restrict pedestrian access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			Staff Comments	Adequate parking has been provided. Pedestrian access is provided with the concrete walkway to the front entry of the proposed residence. Snow storage on site does not impede pedestrian travel. See site plan for snow storage and parking requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			Staff Comments	N/A, as no garage is proposed. The parking area off of Fourth Avenue can accommodate approximately two (2) vehicles. The proposed residence can also be accessed via the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			Staff Comments	N/A, as no garage is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			Staff Comments	N/A, as no garage is proposed. The parking area off of Fourth Avenue can accommodate approximately two (2) vehicles. The proposed residence can also be accessed via the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			Staff Comments	Seasonal, off-street parking for recreational vehicles could occur off of the alley; however, no parking for recreational vehicles have been delineated.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			Staff Comments	The alley is existing and will be utilized as parking/access to and from the proposed residence. The existing alley sees a material change approximately mid-lot. The north half is gravel; the south half is asphalt. It appears the material change happens near the center of the subject parcel. At this time, the City does not foresee improving the alley. If the Applicants wish to see an improvement, they may do so at their own expense. Improvements shall be to City Standards and final design shall be approved by the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.

			Staff Comments	<i>Utilities shall be located underground. No accessory building is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			Staff Comments	<i>The existing alley is gravel and asphalt. If noxious weeds are present on the site, the Developer shall control according to State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			Staff Comments	<i>The landscaping to be maintained is turf.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			Staff Comments	<i>N/A, as no accessory buildings are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			Staff Comments	<i>N/A, as no accessory buildings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			Staff Comments	<i>The site plan proposes approximately 784 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (196 square feet) is required for snow storage. 200 square feet of snow storage is shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			Staff Comments	<i>Snow storage areas are located to the rear of the proposed residence. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			Staff Comments	<i>Existing trees are identified onsite and are proposed to be retained. No additional trees or landscaping are proposed to be removed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	<i>An existing tree has been identified onsite and is proposed to be retained. The City Arborist recommends that the Applicant make every effort to protect the existing tree from damage and compaction during the construction process. This has been made a Condition of Approval.</i> <i>No other significant landscape features will be removed or appear to be impacted by the proposed residence. The proposed Landscape Plan includes a variety of plant materials: Spring Snow Crabapples, Compact Mugo Pine,</i>

				<i>European Variegated Dogwood, Double Play Gold Spirea, Limelight Hydrangea, and retainment of existing tree.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>N/A, as no fences and/or walls are existing and/or proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A, as none are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**

- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall utilize the existing water and wastewater services to each lot.

- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) The Applicants shall install sidewalks along the property frontage (Fourth Avenue), or a payment in-lieu fee shall be paid, as outlined in the Hailey Municipal Code. A payment in-lieu fee shall be made prior to issuance of a Building Permit.
- g) The Applicants shall protect the existing tree from damage and compaction throughout the construction process.
- h) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- i) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- j) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- k) All utilities shall be located underground, consistent with 17.06.080(A)3h.

Motion Language:

Approval: Motion to approve the Design Review Application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Bungalow, to be located on Lot 9A, Block 49, Hailey Townsite (TBD North 4th Avenue), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (k) are met.

Denial: Motion to deny the Design Review Application Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Bungalow, to be located on Lot 9A, Block 49, Hailey Townsite (TBD North 4th Avenue), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

VICINITY MAP

NOT TO SCALE



SITE SECTION B-B

SCALE: 1/8" = 1'-0"

SITE CROSS SECTION A-A
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

JOB ADDRESS: 303-4TH AVENUE NORTH
HAILEY, ID

APN: 068-370-006

PROP. OWNER: JASON SZABO & CHRIS WREDE
44102 DINELY DRIVE
THREE RIVERS, CA 93271

SCOPE OF WORK: PROPOSED 1,750 S.F. RESIDENCE

OCCUPANCY AND ZONING:

OCCUPANCY:	R-3
ZONING:	LR-1 TOWNSITE OVERLAY
CONST. TYPE:	V-B
NO. OF UNITS:	1
NO. OF STORIES:	2
SPRINKLERED:	YES
FLOOD ZONE:	X
SEISMIC DES. CAT.:	D

APPLICABLE CODES:

2012 IRC, 2012 IBC, 2012 IMC, 2012 IPC, 2012 IEC,
STATE OF IDAHO, CITY OF HALEY

ORDER OF DRAWINGS

- | | |
|---|---------------------------------|
| 1 | SITE PLAN & PROJECT INFORMATION |
| 2 | FLOOR PLAN |
| 3 | EXTERIOR ELEVATIONS |

SITE DRAINAGE AND UTILITIES PLAN



SITE PLAN

SCALE: 1/16" = 1'-0"



PLANT LIST

1. 'Spring snow' crabapple
2. Compact mugo pine
3. European variegated dogwood
4. Double play gold spirea
5. Limelight hydrangea
6. Existing tree to remain.

SNOW STORAGE

HARDSCAPING	
PARKING:	576 SF
<u>PATHWAYS:</u>	<u>208 SF</u>
TOTAL:	784 SF

784 SF x 0.25 = 196 SF MINIMUM REQUIRED SNOW STORAGE

LEGEND

- PROPOSED BUILDING
- NEW CONCRETE FLATWORK

OWNER
jason szabo & chris wrede
44102 ENLEY DRIVE, THREE RIVERS, CA 92371

PROJECT

A NEW RESIDENCE
303 4TH AVENUE NORTH, HALEY, IDAHO

A NEW RESIDENCE
303 4TH AVENUE NORTH, VALLEY, IDAHO

 **zerlang
design**
custom building design
& planning
2908-b west main street
visalia, ca 93291

phone: 559.739.1616
zerlangdesign.com

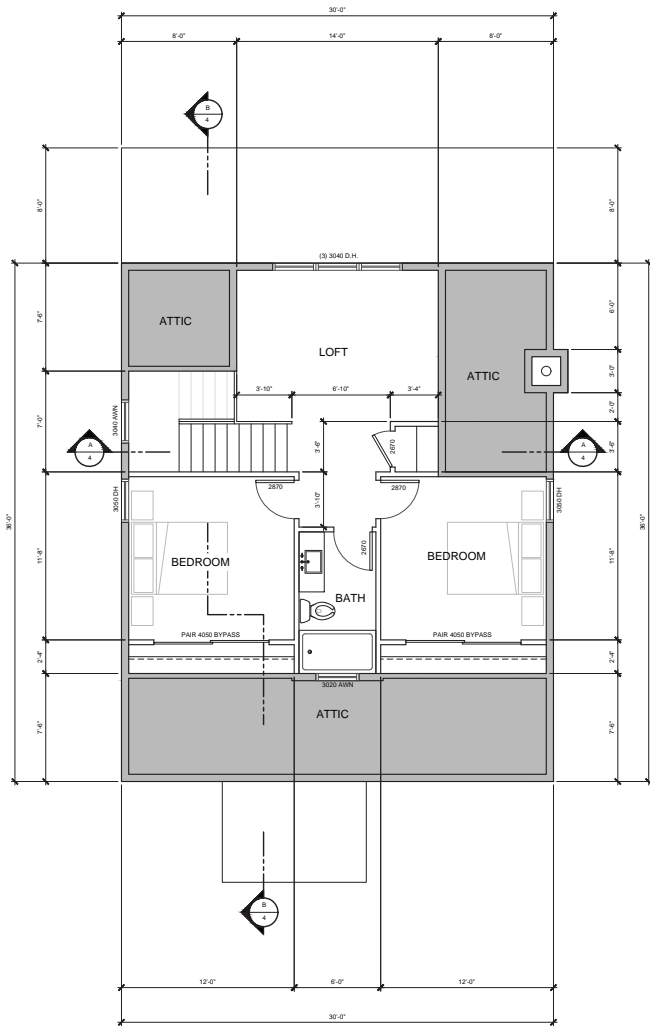
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job no: 2010
date: 09.04.20

sheet title

SITE PLAN & PROJECT INFORMATION

sheet no.

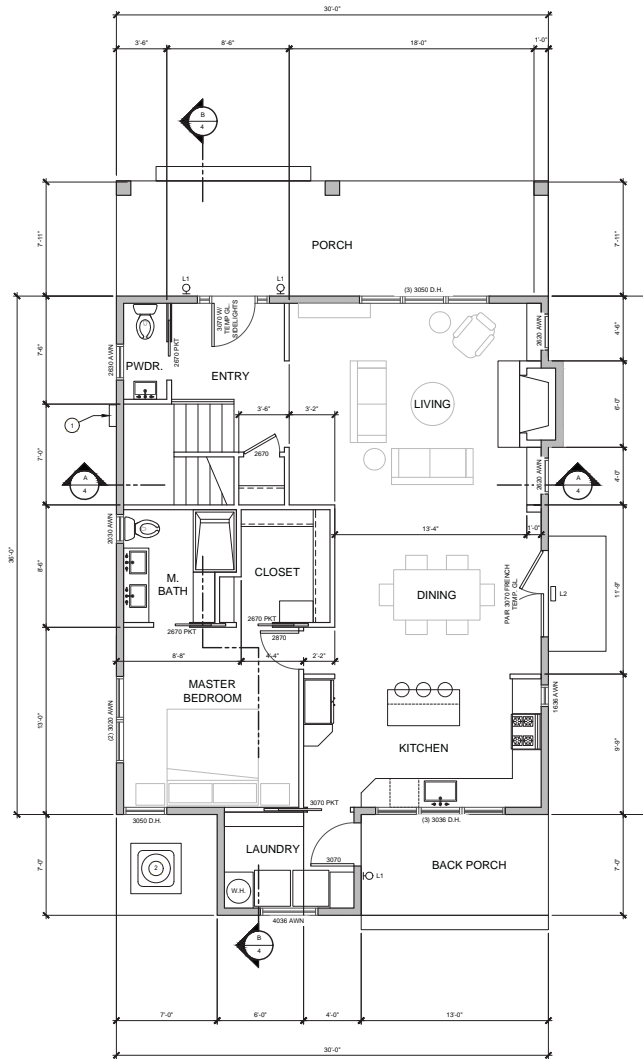
design review



FLOOR PLAN - LEVEL 2

609 SF GROSS

SCALE: 1/4" = 1'-0"



FLOOR PLAN - LEVEL 1

1,156 SF GROSS

SCALE: 1/4" = 1'-0"



KEYNOTES

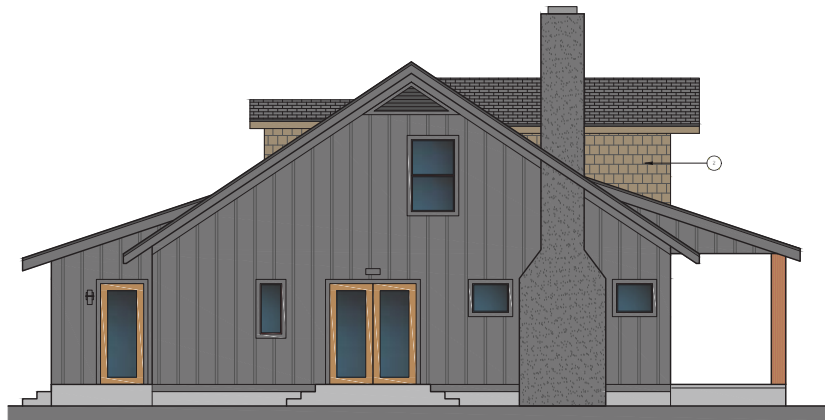
- 1 ELECTRICAL SERVICE PANEL.
- 2 CONDENSER UNIT.

LEGEND

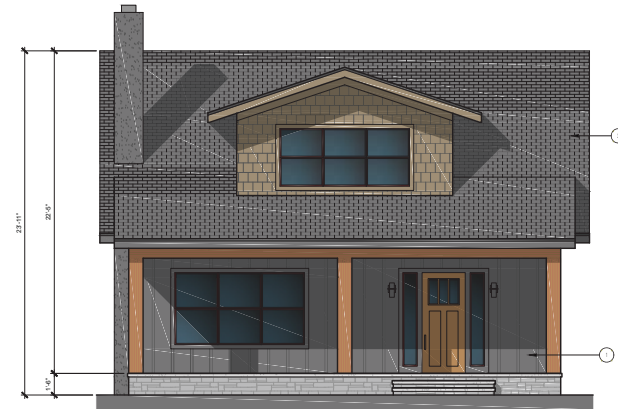
- 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INS.
- 2x4 WOOD STUDS @ 16" O.C. AT INTERIOR WALLS

OUTDOOR LIGHTING

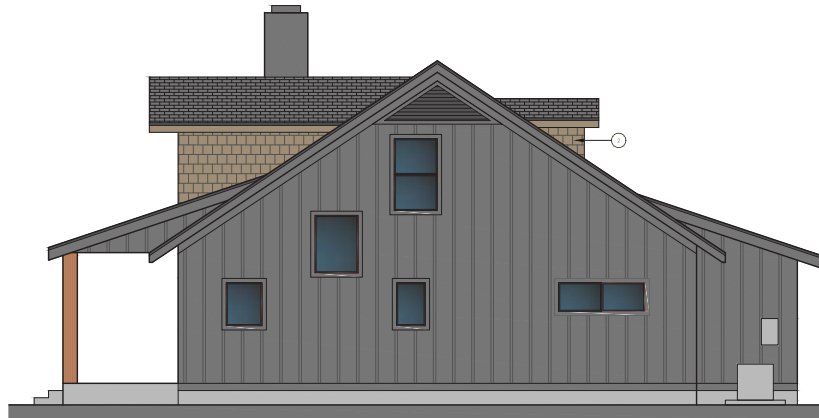
- L1. WALL MOUNT 48" MODERN FORMS "BALTHUS" 14" HIGH BRONZE LED OUTDOOR DARK-SKY COMPLIANT
- L2. WALL MOUNT 48" BELLEVUE "ANDREW" 2-LIGHT 6'-TALL OUTDOOR WALL SCONCE DARK-SKY COMPLIANT



SOUTHEAST



NORTH EAST



NORTHWEST



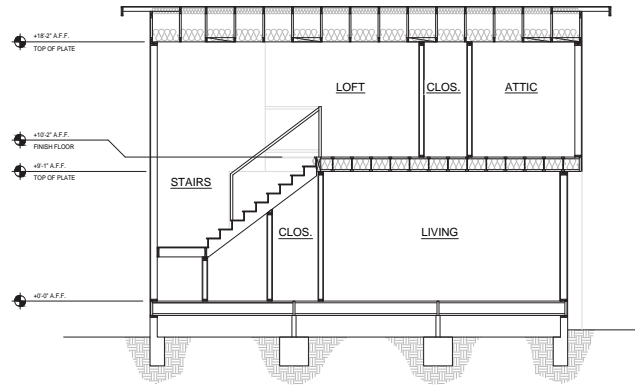
SOUTHWEST

KEYNOTES

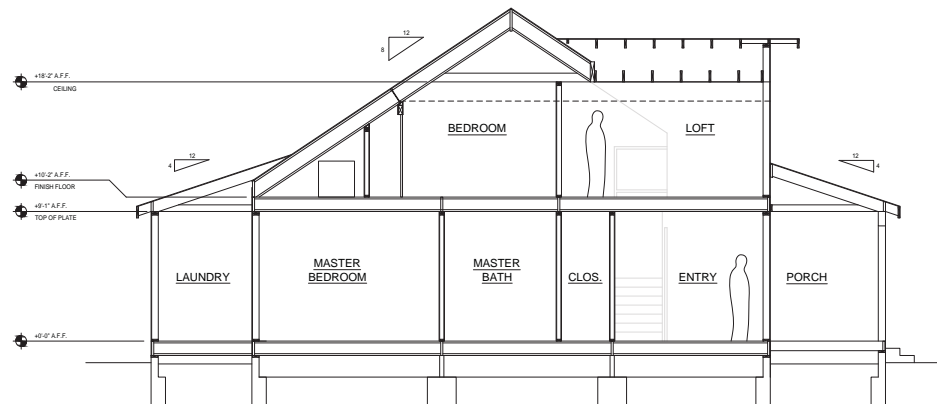
- ① 1ST FLOOR, SIDE, BACK - HARDIE BOARD & BATTEN, "SELECT CEDAR MILL", NIGHT GRAY
- ② 2ND FLOOR DORMER(S) - HARDIE SHINGLE, KHAKI BROWN
- ③ ASPHALT SHINGLE ROOFING - BLACK / GRAY
- ④ PELLA 280 SERIES BRICK RED WINDOW FRAME, TYP.

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

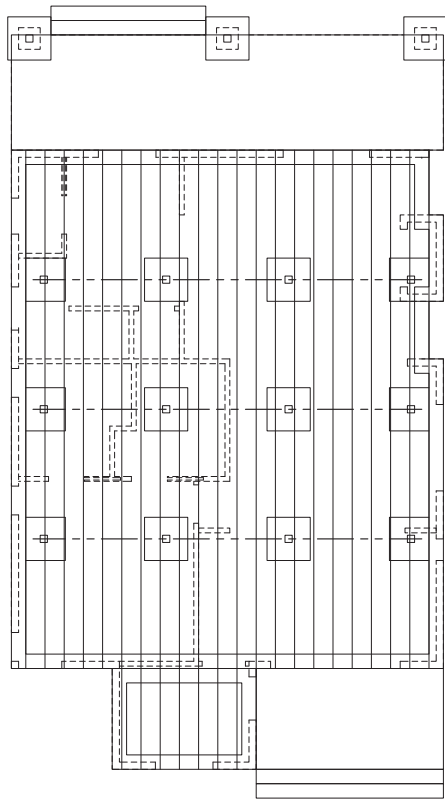


SECTION



SECTION





FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FOOTING SCHEDULE

MARK	TYPE	PLAN DIM.	DEPTH	REINFORC.
F1	PERIM. CONT.	12"	24" MIN. BELOW GRADE	(1) #4 TAB
F2	PERIM. CONT.	12"	24" MIN. BELOW GRADE	(2) #4 TAB
F3	FAD	18"X18"	24" MIN. BELOW GRADE	(2) #4 EW
F4	TYP PATIO SLAB	SIMILAR TO RESIDENTIAL SLAB, NO VAPOR BARRIER, THICKEN EDGE TO 8" WITH (1) #4 CONTINUOUS DOORSL TO ADJACENT FOOTING WITH #4X18" AT 48" O.C. EMBED INTO FOOTING 5"		

FOOTING NOTES:
TAB = TOP AND BOTTOM
EW = EACH WAY
NOTE: TYPICAL FAD FOOTING IS CENTERED ON COLUMN

HOLD DOWN SCHEDULE

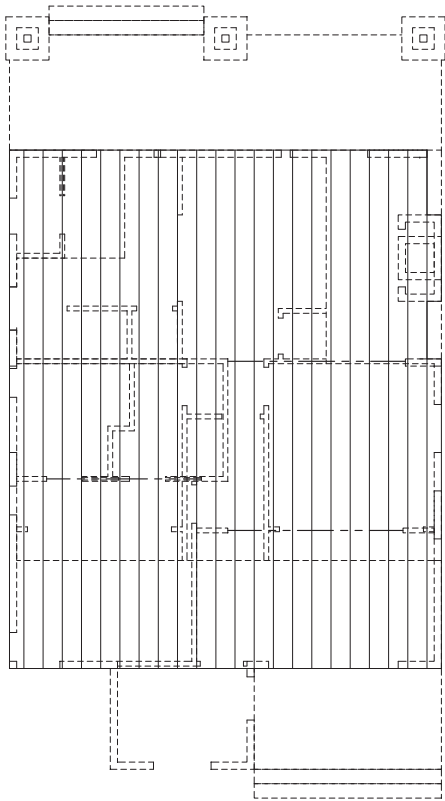
MARK	HARDWARE	ATTACHMENT	ANCHOR BOLT	MIN. VERTICAL
HD1	DTT22-SDS2.5	(8) 1/4X2.5 SDS	PMB4 **	(2) 2x
HD2	HDU-SDS2.5	(8) 1/4X2.5 SDS	SB 5/8X24 AB	(2) 2x

HOLD DOWN NOTES:
1. INSTALL HOLD DOWN HARDWARE AND FASTENERS FOLLOWING MANUFACTURER'S RECOMMENDATIONS.
** MINIMUM 3" EDGE DISTANCE AND MINIMUM 8" EMBED. (8" BELOW BOTTOM OF CURB IF PRESENT)

SHEARWALL SCHEDULE

TYPE	VALUE (PLF)	SHEATHING	WALING EDGE / FIELD	BILL TO RM JOIST (6) SINKER LUG	RM JOIST TO TOP PLATE USE	ANCHOR BOLT 1/2" DIA.
SW	260	3/8	8x8 6" O.C. / 12" O.C.	6" O.C.	12" O.C.	32" O.C.

SHEAR WALL NOTES:
1. SW DESIGNATES SHEAR WALL LOCATION, LENGTH OF SHEAR WALL INDICATED BELOW SYMBOL.
2. SHEATHING IS APA RATED SHEATHING OSB OR CD PLYWOOD
3. VALUE SHOWN IS FOR SERVICE LEVEL LOADING FOR WIND, USE #1 4 (2012 CBC 2306.2)



FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1
2
3
4

FLOOR JOIST SCHEDULE

Table with 5 columns: TYPE, MEMBER, SPACING (IN, O.C.), MAX SPAN (FT-IN), NOTES. Row 1: J1, 12" T&B 110, 16, 8-6.

FLOOR DIAPHRAGM

Table with 5 columns: TYPE, VALUE (PLF), SHEATHING, NAILING - EDGE/FIELD, BLOCKING. Row 1: 28S215, 2330 OSB, 10d 8" O.C. / 12" O.C., N/A.

STAGGER PANELS, PANEL LONG EDGE PERPENDICULAR TO FRAMING MEMBER

BEAM SCHEDULE

Table with 3 columns: TYPE, SIZE, GRADE. Row 1: B1A, 8x8, DFL #2.

WALL FRAMING PLAN - LEVEL 2

SCALE: 1/4" = 1'-0"



WALL FRAMING PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1
- 2
- 3
- 4

BEAM SCHEDULE

TYPE	SIZE	GRADE
B86	8x8	DFL #1 FQHC
B88	8x8	DFL #1 FQHC
B810	8x10	DFL #1 FQHC
B812	8x12	DFL #1 FQHC
B813	8.5x13.5	24FV4 DFL/DPL GLULAM

COLUMN SCHEDULE

MARK	DESCRIPTION	MATERIAL
C86	8x8	DFL #1 FQHC

SHEARWALL SCHEDULE

TYPE	VALUE (P/L)	SHEATHING	NAILING EDGE / FIELD	BILL TO RM JOIST 1/4" SINKER JOINT	RM JOIST TO TOP PLATE 1/2" DIA	ANCHOR BOLT 1/2" DIA
△	260	3/8	8d @ 6" O.C. / 12" O.C.	6" O.C.	12" O.C.	32" O.C.

- SHEAR WALL NOTES:
1. △ DESIGNATES SHEAR WALL LOCATION. LENGTH OF SHEAR WALL INDICATED BELOW SYMBOL.
 2. SHEATHING IS APA RATED SHEATHING OSB OR CD PLWOOD
 3. VALUE SHOWN IS FOR SERVICE LEVEL LOADING FOR WIND. USE #1 4 (2012 CBC 2308.2)

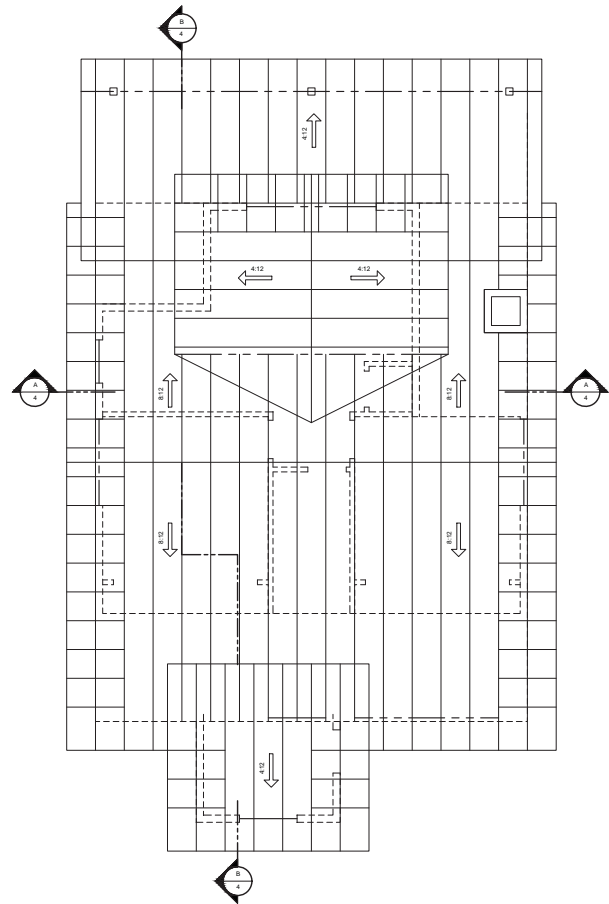
KING STUD SCHEDULE

WALL HT (FT-IN)	STUD MEMBER	QTY.	MAX. OPENING WIDTH (FT-IN)
9'-1"	2x4 DFL STUD	1	1-2.5
		2	3-8
		3	8-0
9'-1"	2x6 DFL STUD	1	8-6
		2	15-0
		3	24-0

HOLD DOWN SCHEDULE

MARK	HARDWARE	ATTACHMENT	ANCHOR BOLT	MIN. VERTICAL
H8	DTT32-SD32.5	(R) 1/4x3.5 SD6	PAW *	(2) 2x
H9	HD32-SD32.5	(R) 1/4x2.5 SD6	SB 5/8x24 AB	(2) 2x

- HOLD DOWN NOTES:
1. INSTALL HOLD DOWN HARDWARE AND FASTENERS FOLLOWING MANUFACTURER'S RECOMMENDATIONS.
 - ** MINIMUM 3" EDGE DISTANCE AND MINIMUM 8" EMBED. (8" BELOW BOTTOM OF CURB IF PRESENT)



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- KEYNOTES
- 1
 - 2
 - 3
 - 4

ROOF DIAPHRAGM			
TYPE	VALUE (P/F)	SHEATHING	NAILING - EDGE/FIELD
A	230/176	7/16 OSB	96 @ 4" O.C. / 12" O.C.

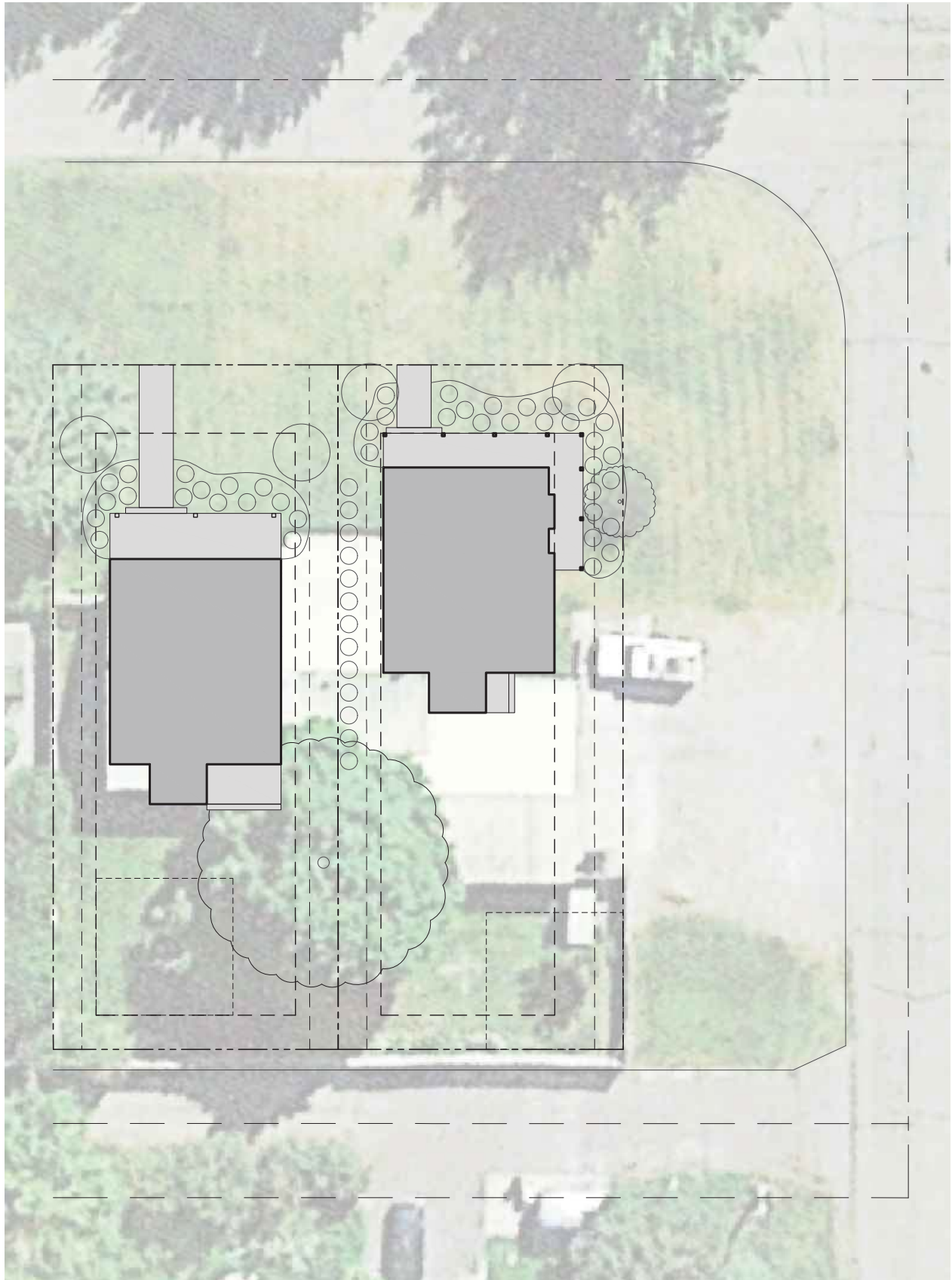
STAGGER PANELS, PANEL LONG EDGE PERPENDICULAR TO FRAMING MEMBER

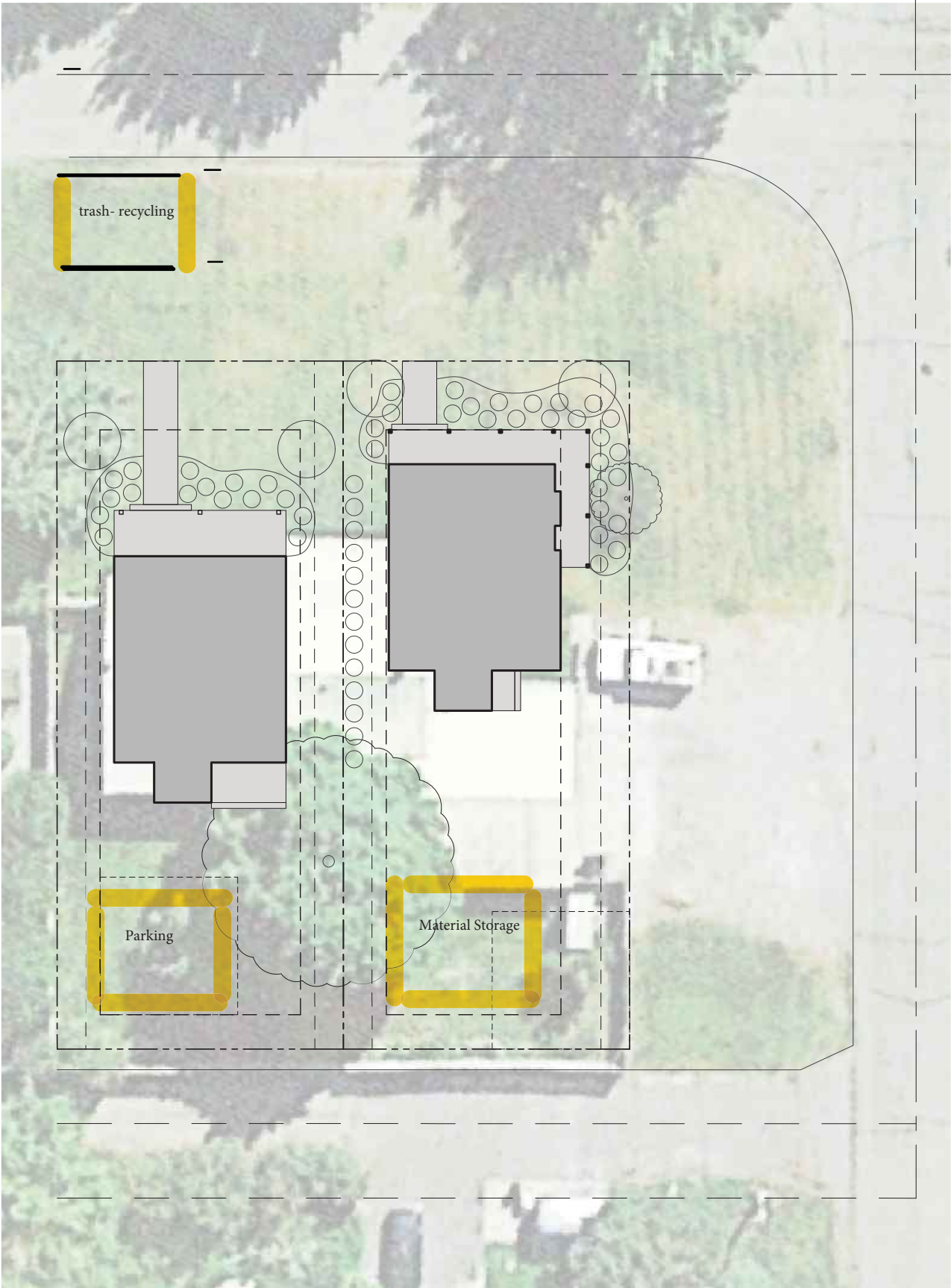
SHEATHING SCHEDULE			
	THICKNESS	TYPE	APA RATING
ROOF	7/16	OSB	24/16
SHEAR WALLS	3/8	OSB	240

BEAM SCHEDULE		
TYPE	SIZE	GRADE
BB6	6x8	DFL #1 F0HC
BB8	6x8	DFL #1 F0HC
BB10	6x10	DFL #1 F0HC
BB12	6x12	DFL #1 F0HC
BB13	5.5x13.5	24FV4 DFL/DFL GLU-LAM

COLUMN SCHEDULE		
MARK	DESCRIPTION	MATERIAL
CB6	6x8	DFL #1 F0HC

AREA DEVELOPMENT PLAN





SZABO/WREDE 303 4th AVE N. BUNGALOW

1. 1ST FLOOR, SIDE, BACK - HARDIE BOARD & BATTEN, 'SELECT CEDAR MILL; NIGHT GRAY
2. 2ND FLOOR DORMER(S) - HARDIE SHINGLE, KHAKI BROWN.
3. ASPHALT SHINGLE ROOFING - BLACK / GRAY
4. PELLA 250 SERIES 'BRICK RED' WINDOW FRAME, TYP.

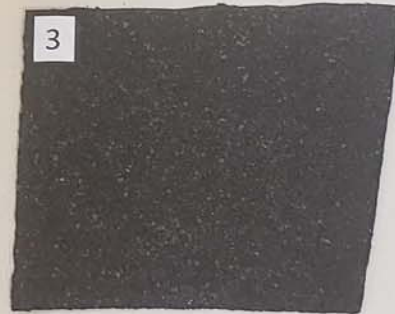
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Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of October 5, 2020

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Design Review Application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Farmhouse, to be located on Lot 11A, Block 49, Hailey Townsite (TBD North 4th Avenue) in the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

Hearing: October 5, 2020

Applicant: Jason Szabo and Chris Wrede

Request: 1,750 square foot single-family residence

Location: Lot 11A, Block 49, Hailey Townsite (TBD North 4th Avenue)

Zoning: Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts


Notice: Notice for the public hearing was published in the Idaho Mountain Express on September 11, 2020, and mailed to property owners within 300 feet on September 15, 2020.

Application: The Applicants are proposing to construct a new 1,750 square foot single-family residence on Lot 11A. This is a corner lot. Current access for the proposed residence is located on Fourth Avenue, Galena Street and the existing alley. A mature, deciduous tree also exists between the two parcels. The Applicants plan to retain the tree and will protect it throughout the construction process.

This parcel is currently vacant and a Lot Line Adjustment Application to reconfigure the previous lots, Lots 9-12, into two (2) lots, was completed and approved on March 30, 2020.

Procedural History: The Design Review Application was submitted on August 31, 2020 and certified complete on September 2, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on October 5, 2020, virtually and in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments
				Life/Safety: No comments
				Water and Sewer: The Water and Wastewater Departments recommend that the Applicant utilize the existing services to each lot.
				Building: No comments
				Streets: No comments
				City Arborist: The City Arborist recommends that the Applicant make every effort to protect the existing tree from damage and compaction during the construction process. This has been made a Condition of Approval.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	N/A, as signage is prohibited in residential zones.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: minimum of two (2) spaces, maximum of six (6) spaces
			Staff Comments	The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. Though no garage is proposed at this time, onsite parking can be accessed via the alley. It appears that two (2) or more spaces have been provided onsite. Additionally, it appears that the public right-of-way (Fourth Avenue) can accommodate for a total of two (2) parking spaces. Galena Street can also accommodate for an additional two (2) parking spaces. That said, the Applicants are unsure whether they will retain current parking off of Galena Street. If not, they will lightly landscape the area. Onsite parking and vehicular access to the site will be off of Fourth Avenue and the existing alley only. The Applicants may choose to retain parking within the right-of-way off of Galena Street and pedestrian access to the site only. If a garage is built in the future, access shall be made from the alley only and not Galena Street. This has been made a Condition of Approval. Parking requirements for the proposed residence are met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow.

				<p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<p><i>Staff Comments</i></p> <p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. Cut Sheets are attached.</i></p> 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p> <p>Zoning District: Limited Residential (LR-1) and Townsite Overlay (TO) Maximum Height: 30' Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 35%</p>	
			<p><i>Staff Comments</i></p> <p><i>Maximum Building Height: 30'</i> <i>Proposed Building Height: 29'-5"</i></p>	


				<p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> ○ Front Yard (East): 18' ○ Side Yard (South): 12' ○ Side Yard (North): 7'-6" ○ Rear Yard (West): 59' <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ 1,750 square feet (Proposed Footprint) / 5,998 square foot lot = 29% <p><i>All setback, building height, and lot coverage requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	No sidewalks exist in the area. Sidewalks and/or a sidewalk in-lieu payment shall be made for the frontage of Galena Street and Fourth Avenue. It is recommended that a payment for the sidewalk in-lieu fee, as outlined by the Hailey Municipal Code, be made. This in-lieu fee shall be paid concurrently with the Building Permit Application, and has been listed as a Condition of Approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.


Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p>Staff Comments: The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed addition will preserve the grid pattern, keeping visual access to Fourth Avenue, Galena Street and vehicular access via the alley.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;

				<ul style="list-style-type: none"> • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The lot is existing and respects the Old Hailey Townsite grid pattern. The front entry of the home faces Fourth Avenue and will be accessible either via Fourth Avenue, Galena Street or the existing alley. • The proposed residence will span the entire lot. Ample yard and open space exist on all sides of the home. • Snow storage has been identified on the site plan and is sufficient for the site. • Utilities are existing. Water, sewer and gas are located underground. Any additional utilities shall be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			<i>Staff Comments</i>	<p>The design intent of the proposed residence was to complement that of the surrounding area, while retaining the character of Old Hailey. The proposed design takes advantage of the southeastern exposure: a covered deck, several entries and windows are located at the southwest and southeast elevations.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	2. Bulk Requirements (Mass and Scale, Height, Setbacks)
				Guideline: The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	The use of gables, a covered front and side porch, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	3. Architectural Character
			17.06.090(C)3a	a. General
				Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	The architectural style of the proposed residence uses gables, covered front and side porch, and traditional exterior materials/colors to integrate into the surrounding area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	b. Building Orientation
				Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	The front entry of the proposed residence is located facing Fourth Avenue. A covered porch along the front façade and over the front entry is proposed, which is visible and inviting from the street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	The lot is existing and respects the Old Hailey Townsite grid pattern. A covered porch along the front and side façades, and over the front entry is proposed, which is prominent and inviting from Fourth Avenue and Galena Street.
			17.06.090(C)3c	c. Building Form

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<i>The use of gables, a covered front and side porch, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</i> <i>The proposed residence will complement that of the surrounding neighborhood. The proposed siding on the first floor will be a Hardie Board and Batten in Arctic White. The proposed siding on the second floor will be Hardie Plank Smooth Lap Siding in Arctic White, and the roof will be asphalt shingles in Black/Gray, and Standing Seam Metal in Gray. Pella 250 Series White Windows are also proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<i>The gables and covered front and side porch will minimize the perceived mass of the residence. The covered porch will also help define the entry to the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<i>The roof pitches are 4:12 and 8:12. Shingles will be utilized to limit the shedding of snow. The roof for the covered entry will utilize Standing Seam Metal and see a shallow pitch of 4:12. It doesn't appear that snow retention devices are proposed. Snow storage calculations can be found on the site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<i>The proposed roof forms, ridge lengths and materials are similar to those traditionally found in the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The proposed roof pitches of the home and front entry are consistent with the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<i>The proposed residence's primary wall plane is parallel to the lot line where the entrance is located.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The residence is proportional to the site in that the site's longest side is parallel with the residence's longest side. Material variation and front entry porch will also reduce the scale of the building to match the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>The covered entry, wrap around porch and exterior entrances create wall plane variation on the southeast and northeast facades to break up the long wall planes.</i>
			17.06.090(C)3f	f. Windows

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>Minimal windows are proposed facing the alley. Windows are also framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch is proposed along the front façade, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch is proposed along the front and side façades, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The proposed residence will complement that of the surrounding neighborhood. The proposed siding on the first floor will be a Hardie Board and Batten in Arctic White. The proposed siding on the second floor will be Hardie Plank Smooth Lap Siding in Arctic White, and the roof will be asphalt shingles in Black/Gray. The covered front and side porch will be Standing Seam Metal roof in Gray. Pella 250 Series White Windows are also proposed (see image below for further detail).</i>
<div><p style="text-align: center;">NORTH EAST</p></div>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.

			Staff Comments	<p><i>The largest wall plane is the southeast elevation. This plane is broken up by a variety of window sizes, exterior chimney, and two exterior doors. Vertical and horizontal siding will help reduce the mass of said wall planes (see image below for further detail).</i></p>  <p style="text-align: right;">SOUTHEAST</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p>Staff Comments <i>Simple detailing is proposed: covered front entry and porch, beams, vertical and horizontal siding.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p>Staff Comments <i>The proposed residence has minimal ornamentation. Simple detailing is proposed: covered front entry and porch, beams, vertical and horizontal siding.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<p>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p> <p>Staff Comments <i>Please refer to Section 17.06.090(C)3i for further information.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>4. Circulation and Parking</p> <p>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</p> <p>Staff Comments <i>Adequate parking has been provided. Pedestrian access is provided with the proposed concrete pathway to the front entry of the residence. Snow storage areas are located to the rear of the building, which does not restrict pedestrian access.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</p> <p>Staff Comments <i>Adequate parking has been provided. Pedestrian access is provided with the concrete walkway to the front entry of the proposed residence. Snow storage on site does not impede pedestrian travel. See site plan for snow storage and parking requirements.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</p>

			Staff Comments	<p>N/A, as no garage is proposed. The parking area off of Fourth Avenue can accommodate approximately two (2) vehicles. Galena Street can also accommodate for approximately two (2) vehicles.</p> <p>That said, the Applicants are unsure whether they will retain current parking off of Galena Street. If not, they will lightly landscape the area. Onsite parking and vehicular access to the site will be off of Fourth Avenue and the existing alley only. The Applicants may choose to retain parking within the right-of-way off of Galena Street and pedestrian access to the site only. If a garage is built in the future, access shall be made from the alley only and not Galena Street. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<p>Guideline: Detached garages accessed from alleys are strongly encouraged.</p> <p>Staff Comments N/A, as no garage is proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<p>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</p> <p>Staff Comments N/A, as no garage is proposed. The parking area off of Fourth Avenue can accommodate approximately two (2) vehicles. Galena Street can also accommodate for approximately two (2) vehicles.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<p>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</p> <p>Staff Comments N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</p> <p>Staff Comments Seasonal, off-street parking for recreational vehicles could occur off of the alley; however, no parking for recreational vehicles have been delineated.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<p>5. Alleys</p> <p>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</p> <p>Staff Comments The alley is existing and will be utilized as parking/access to and from the proposed residence.</p> <p>The existing alley sees a material change approximately mid-lot. The north half is gravel; the south half is asphalt. It appears the material change happens near the center of the subject parcel. At this time, the City does not foresee improving the alley. If the Applicants wish to see an improvement, they may do so at their own expense. Improvements shall be to City Standards and final design shall be approved by the City Engineer.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<p>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</p> <p>Staff Comments Utilities shall be located underground. No accessory building is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<p>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</p> <p>Staff Comments The existing alley is gravel and asphalt. If noxious weeds are present on the site, the Developer shall control according to State Law.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>The landscaping to be maintained is turf.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>N/A, as no accessory buildings are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>N/A, as no accessory buildings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	<i>The site plan proposes approximately 652 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (163 square feet) is required for snow storage. 192 square feet of snow storage is shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<i>Snow storage areas are located to the rear of the proposed residence. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>Existing trees are identified onsite and are proposed to be retained. No additional trees or landscaping are proposed to be removed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>An existing tree has been identified onsite and is proposed to be retained. The City Arborist recommends that the Applicant make every effort to protect the existing tree from damage and compaction during the construction process. This has been made a Condition of Approval.</i> <i>No other significant landscape features will be removed or appear to be impacted by the proposed residence. The proposed Landscape Plan includes a variety of plant materials: Prairiefire Crabapples, Compact Mugo Pine, European Variegated Dogwood, Double Play Gold Spirea, Limelight Hydrangea, Arborvitae Emerald Green as a screen/hedge, and retainment of existing tree.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.

			<i>Staff Comments</i>	<i>N/A, as no fences and/or walls are existing and/or proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A, as none are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

1. **Ensure compliance with applicable standards and guidelines.**
 2. **Require conformity to approved plans and specifications.**
 3. **Require security for compliance with the terms of the approval.**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Zoning Title.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicants shall utilize the existing water and wastewater services to each lot.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) The Applicants shall install sidewalks along the property frontages (Fourth Avenue and Galena Street), or a payment in-lieu fee shall be paid, as outlined in the Hailey Municipal Code. A payment in-lieu fee shall be made prior to issuance of a Building Permit.

- g) If constructed in the future, a garage shall have access off of the alley only, and not Galena Street.
- h) The Applicants shall protect the existing tree from damage and compaction throughout the construction process.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- k) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- l) All utilities shall be located underground, consistent with 17.06.080(A)3h.

Motion Language:

Approval: Motion to approve the Design Review Application by Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Farmhouse, to be located on Lot 11A, Block 49, Hailey Townsite (TBD North 4th Avenue), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (l) are met.

Denial: Motion to deny the Design Review Application Jason Szabo and Chris Wrede, for a new two story, 1,750 square foot residence called the Farmhouse, to be located on Lot 11A, Block 49, Hailey Townsite (TBD North 4th Avenue), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

VICINITY MAP

NOT TO SCALE

SITE DRAINAGE AND UTILITIES PLAN

SCALE: 1/16" = 1'-0"



SITE CROSS SECTION A-A

SCALE: 1/8" = 1'-0"

SITE PLAN

SCALE: 1/16" = 1'-0"



PROJECT INFORMATION

JOB ADDRESS: 303 4TH AVENUE NORTH
HAILEY, ID

APN: 068-370-006

PROP. OWNER: JASON SZABO & CHRIS WREDE
44102 DINELY DRIVE
THREE RIVERS, CA 93271

SCOPE OF WORK: TWO PROPOSED 1,750 S.F. RESIDENCES

OCCUPANCY AND ZONING:

OCCUPANCY: R-3

ZONING: LR-1 TOWNSITE OVERLAY

CONST. TYPE: V-B

NO. OF UNITS: 2

NO. OF STORIES: 2

SPRINKLERED: YES

FLOOD ZONE: 'X'

SEISMIC DES. CAT.: D

APPLICABLE CODES:

2012 IRC, 2012 IBC, 2012 IMC, 2012 IPC, 2012 IEC,
STATE OF IDAHO, CITY OF HAILEY

ORDER OF DRAWINGS

- 1 SITE PLAN & PROJECT INFORMATION
2 FLOOR PLAN
3 EXTERIOR ELEVATIONS

PLANT LIST

1. 'Prairiefire' crabapple
2. Compact mugo pine
3. European variegated dogwood
4. Double play gold spirea
5. Limeshield hydrangea
6. Arborvitae, 'limeshield green' as screen / hedge
7. Existing tree to remain

SNOW STORAGE

HARDSCAPING	
PARKING:	576 SF
PATHWAYS:	76 SF
TOTAL:	652 SF

652 SF x 0.25 = 163 SF MINIMUM REQUIRED SNOW STORAGE

LEGEND

- PROPOSED BUILDING
- NEW CONCRETE FLATWORK

OWNER
jason szabo & chris wrede
44102 DINELY DRIVE, THREE RIVERS, CA 92371

PROJECT
A NEW RESIDENCE
303 4TH AVENUE NORTH, HAILEY, IDAHO

A NEW RESIDENCE
303 4TH AVENUE NORTH, HAILEY, IDAHO

 **zerlang
design**
custom building design
& planning
2908-b west main street
visalia, ca 93291
phone: 559.739.1616
zerlangdesign.com

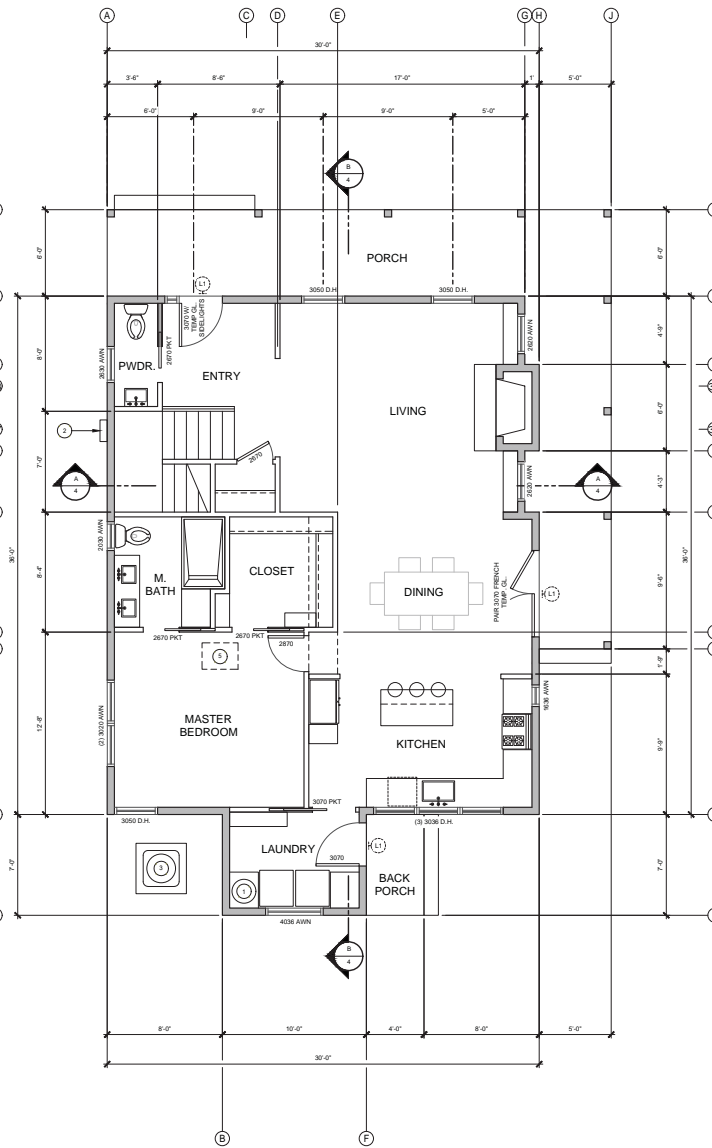
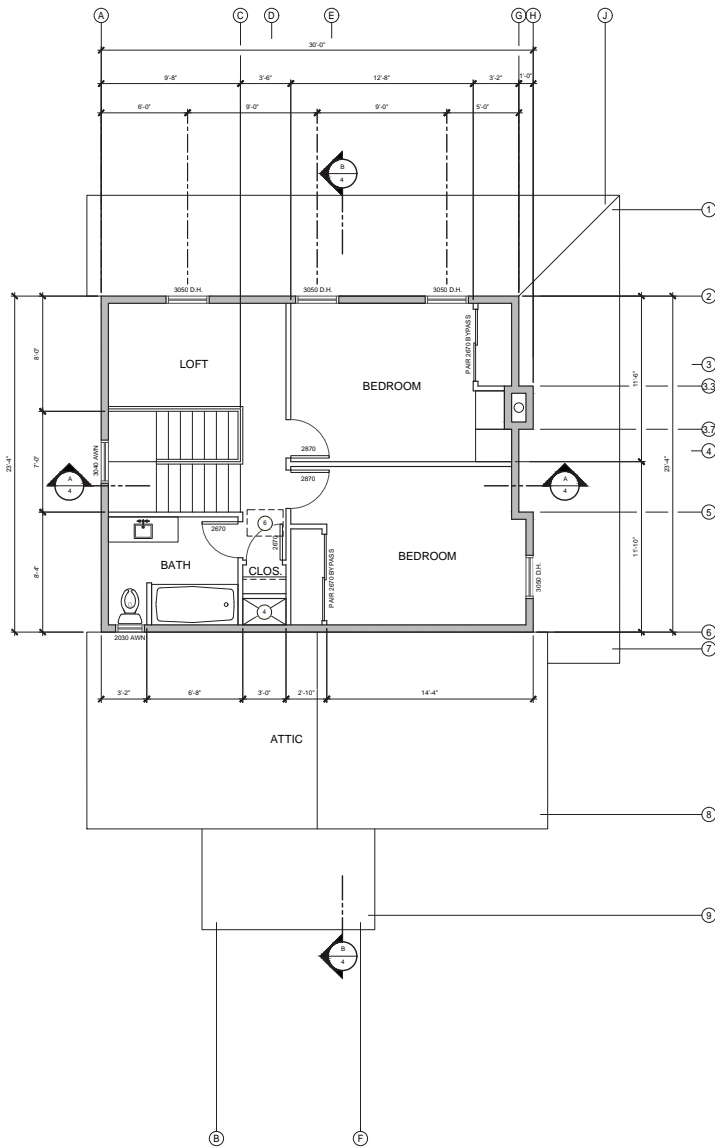
drawn: az
job no: 2010
date: 09.04.20

sheet title

SITE PLAN & PROJECT INFORMATION

sheet no. _____

design review



KEYNOTES

- 1 50 GALLON WATER HEATER, SEE PLUMBING PLAN
- 2 ELECTRICAL SERVICE PANEL
- 3 CONDENSER UNIT
- 4 HVAC PLENUM
- 5 22" x 30" ATTIC ACCESS PANEL ABOVE

LEGEND

- 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INS.
- 2x4 WOOD STUDS @ 16" O.C. AT INTERIOR WALLS

OUTDOOR LIGHTING

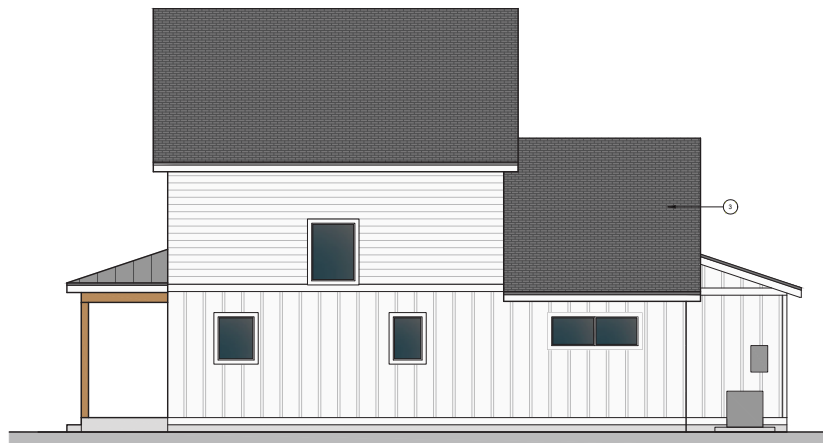
- L1 WALL MOUNT 48" PARK HARBOR "WETHERBURN" SINGLE LIGHT @ 1/4" TALL OUTDOOR WALL SCONCE, DARK-SKY COMPLIANT



SOUTHEAST



NORTH EAST



NORTHWEST



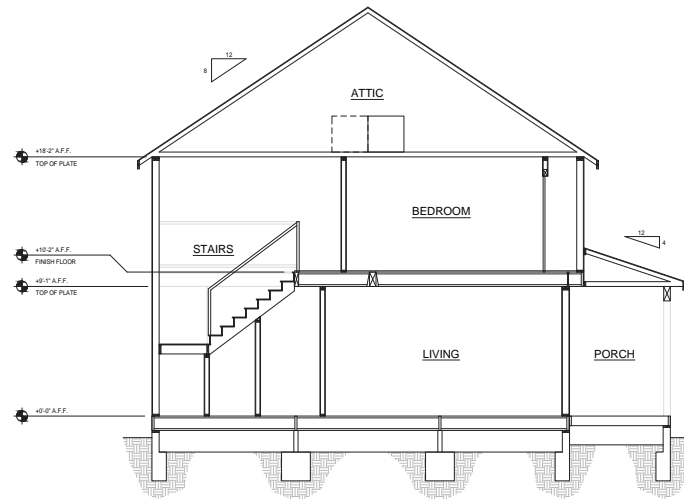
SOUTHWEST

KEYNOTES

- 1 1ST FLOOR - HARDIE BOARD & BATTEN - ARCTIC WHITE
- 2 2ND FLOOR - HARDIE PLANK SMOOTH LAP SIDING - ARCTIC WHITE
- 3 ASPHALT SHINGLE ROOFING - BLACK / GRAY
- 4 STANDING SEAM ON FRONT/SIDE PORCH - GRAY
- 5 PELLA 250 SERIES, WHITE WINDOW FRAMES, TYP.

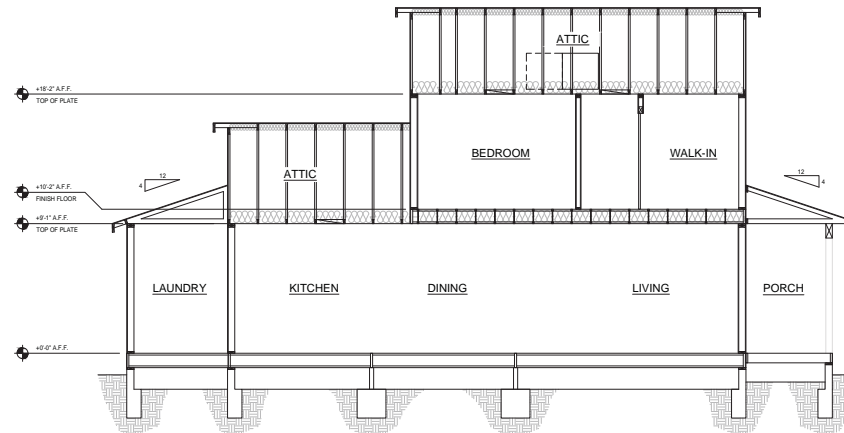
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



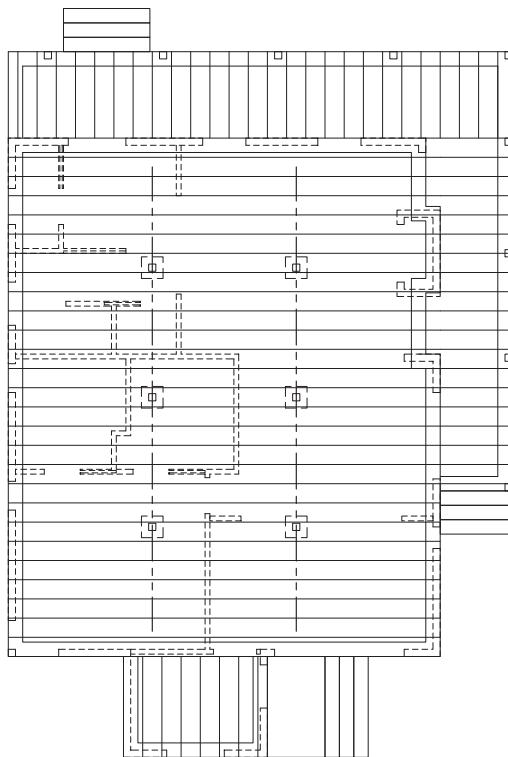
SECTION

A
A



SECTION

B
B



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FOOTING SCHEDULE

MARK	TYPE	PLAN DIM.	DEPTH	REINFORC.
(F1)	PERM. CONT.	12"	12" MIN. BELOW GRADE	(1) #4 TAB
(F2)	RES-GARAGE CONT.	12"	12" MIN. BELOW GRADE	(1) #4 TAB
(F3)	PERM. CONT.	12"	12" MIN. BELOW GRADE	(2) #4 TAB
(F4)	FAD	18"X18"	12" MIN. BELOW GRADE	(2) #4 EW
(F5)	TYP. RES SLAB	SEE GENERAL NOTES		
(F6)	TYP. PATIO SLAB	SIMILAR TO RESIDENTIAL SLAB, NO VAPOR BARRIER, THICKEN EDGE TO 8" WITH (1) #4 CONTINUOUS DOBLE TO ADJACENT FOOTING WITH #4#18" AT 48" O.C. EMBED INTO FOOTING 5"		
(F7)	TYP. GARAGE SLAB	SIMILAR TO RESIDENTIAL SLAB, NO VAPOR BARRIER		

FOOTING NOTES:
TAB = TOP AND BOTTOM
EW = EACH WAY
NOTE: TYPICAL FAD FOOTING IS CENTERED ON COLUMN

HOLD DOWN SCHEDULE

MARK	HARDWARE	ATTACHMENT	ANCHOR BOLT	MIN. VERTICAL
(HD1)	DTT2Z-S052.5	(8) 1/4X2.5 SDS	PMB4 **	(2) 2x
(HD2)	HDU2-S052.5	(8) 1/4X2.5 SDS	SB 5/8X24 AB	(2) 2x

HOLD DOWN NOTES:
1. ** NOT ALL HOLD DOWN HARDWARE AND FASTENERS FOLLOWING MANUFACTURER'S RECOMMENDATIONS.
2. ** MINIMUM 3" EDGE DISTANCE AND MINIMUM 8" EMBED. (8" BELOW BOTTOM OF CURB IF PRESENT)

SHEARWALL SCHEDULE

TYPE	VALUE (PLF)	SHEATHING	NAILING - EDGE / FIELD	BILL TO RM JOIST (6) SINKER UNO	RM JOIST TO TOP PLATE (1) USE	ANCHOR BOLT 1/2" DIA.
(S1)	260	3/8	8d 8 6" O.C. / 12" O.C.	6" O.C.	12" O.C.	32" O.C.

SHEAR WALL NOTES:
1. (S1) DESIGNATES SHEAR WALL LOCATION, LENGTH OF SHEAR WALL INDICATED BELOW SYMBOL.
2. SHEATHING IS APA RATED SHEATHING OSB OR CD PLYWOOD
3. VALUE SHOWN IS FOR SERVICE LEVEL LOADING FOR WIND. USE #1 4 (2012 CBC 2306.2)

FLOOR JOIST SCHEDULE

TYPE	MEMBER	SPACING (IN. O.C.)	MAX SPAN (FT. IN.)	NOTES
(FJ1)	8.5" T&I 110	16	8-6	

FLOOR DIAPHRAGM

TYPE	VALUE (PLF)	SHEATHING	NAILING - EDGE / FIELD	BLOCKING
(FD1)	285G15	2332 OSB	10d 8 6" O.C. / 12" O.C.	N/A

STAGGER PANELS, PANEL LONG EDGE PERPENDICULAR TO FRAMING MEMBER

BEAM SCHEDULE

TYPE	SIZE	GRADE
(B1)	8x8	DGL #2

OWNER
jason szabo & chris wrede

44102 DINELY DRIVE, THREE RIVERS, CA 93271

PROJECT

A NEW RESIDENCE
3004 4TH AVENUE SOUTH, WALLEY, IDAHO

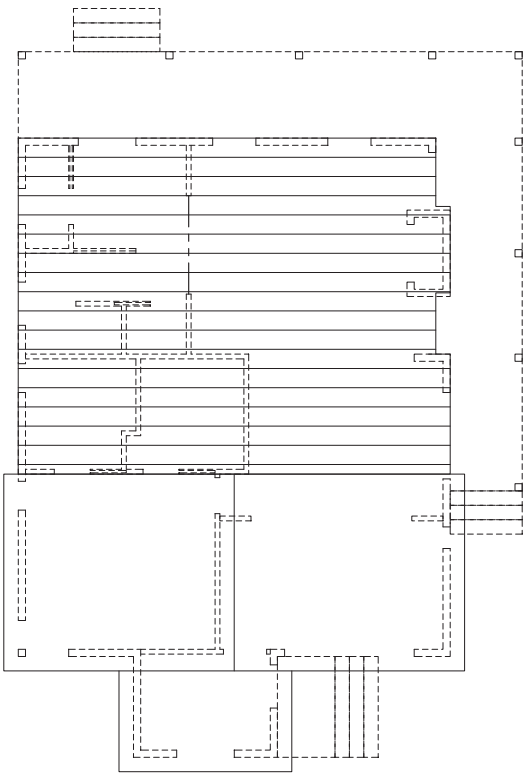
zerlang
design
custom building design
& planning
2908 S west main street
visalia, ca 93291
phone: 559.739.1616
zerlangdesign.com

drawn: az
job no: 2010
date: 07.02.20

sheet title

FOUNDATION PLAN

sheet no.



FLOOR FRAMING PLAN - LEVEL 2

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1
- 2
- 3
- 4

FLOOR JOIST SCHEDULE

TYPE	MEMBER	SPACING (IN, O.C.)	MAX SPAN (FT-IN)	NOTES
1	9" T.J. 110	16	8-6	

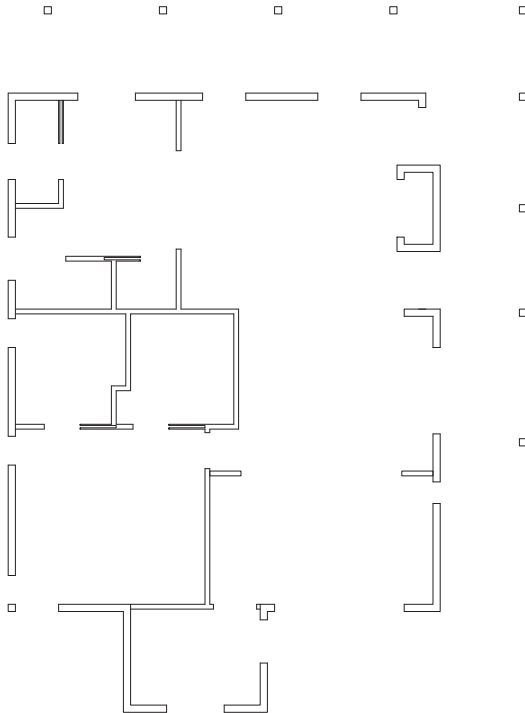
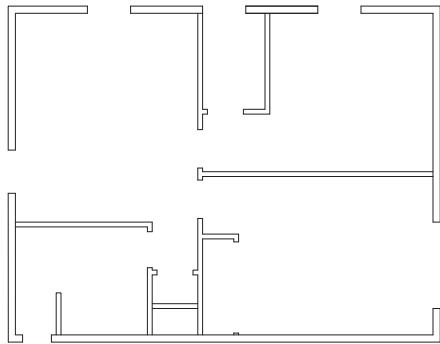
FLOOR DIAPHRAGM

TYPE	VALUE (PLF)	SHEATHING	NAILING - EDGE/FIELD	BLOCKING
	285/215	23/30 OSB	10d 8" O.C. / 12" O.C.	N/A

STAGGER PANELS, PANEL LONG EDGE PERPENDICULAR TO FRAMING MEMBER

BEAM SCHEDULE

TYPE	SIZE	GRADE
2	6x8	DFL #2



WALL FRAMING PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"



WALL FRAMING PLAN - LEVEL 2

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1
- 2
- 3
- 4

BEAM SCHEDULE

TYPE	SIZE	GRADE
B86	8x8	DFL #1 FQHC
B88	8x8	DFL #1 FQHC
B810	8x10	DFL #1 FQHC
B812	8x12	DFL #1 FQHC
B813	8.5x13.5	24FY4 DFL/DPL GLULAM

COLUMN SCHEDULE

MARK	DESCRIPTION	MATERIAL
C86	8x8	DFL #1 FQHC

SHEARWALL SCHEDULE

TYPE	VALUE (PSF)	SHEATHING	NAILING EDGE / FIELD	BILL TO RIM JOIST 1/4" SIMMER UNO	RIM JOIST TO TOP PLATE 1/2" DIA	ANCHOR BOLT 1/2" DIA
SW	260	3/8	8d @ 6" O.C. / 12" O.C.	6" O.C.	12" O.C.	32" O.C.

SHEAR WALL NOTES:

1. DESIGNATES SHEAR WALL LOCATION, LENGTH OF SHEAR WALL INDICATED BELOW SYMBOL.
2. SHEATHING IS APA RATED SHEATHING OSB OR CD PLWOOD
3. VALUE SHOWN IS FOR SERVICE LEVEL LOADING FOR WIND, USE #1 4 (2012 CBC 2308.2)

KING STUD SCHEDULE

WALL HT (FT-IN)	STUD MEMBER	QTY.	MAX. OPENING WIDTH (FT-IN)
9'-1"	2x4 DFL STUD	1	1-2.5
		2	3-8
		3	6-0
9'-1"	2x6 DFL STUD	1	6-6
		2	15-0
		3	24-0

HOLD DOWN SCHEDULE

MARK	HARDWARE	ATTACHMENT	ANCHOR BOLT	MIN. VERTICAL
H1	DTT32-SD32.5	(B) 1/4x3.5 SD6	PA66 **	(2) 2x
H2	HOLD-SD32.5	(B) 1/4x2.5 SD6	SB 5/8x24 AB	(2) 2x

HOLD DOWN NOTES:

1. INSTALL HOLD-DOWN HARDWARE AND FASTENERS FOLLOWING MANUFACTURER'S RECOMMENDATIONS.
- ** MINIMUM 3" EDGE DISTANCE AND MINIMUM 8" EMBED, (8" BELOW BOTTOM OF CURB IF PRESENT)

OWNER
jason szabo & chris wrede

44102 DINEY DRIVE, THREE RIVERS, CA 92571

PROJECT

A NEW RESIDENCE
300 4TH AVENUE SOUTH, WALLEY, IDAHO

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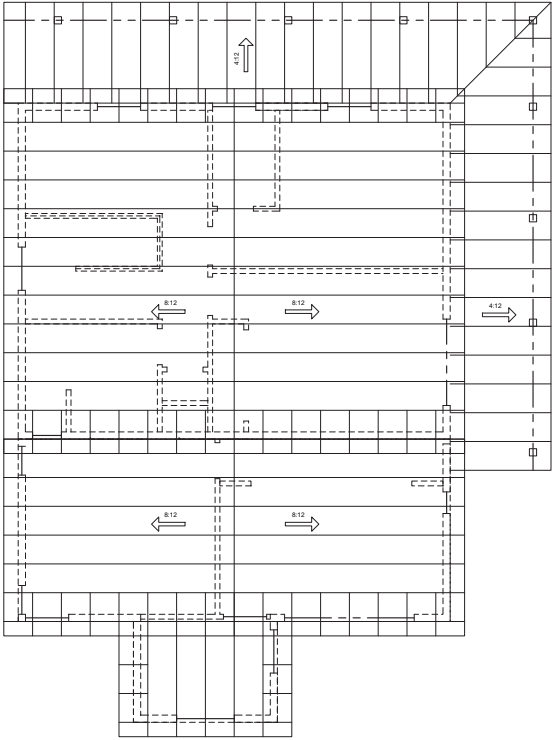
drawn: az
job no: 2010
date: 07.02.20

sheet title

WALL FRAMING
PLANS

sheet no.

7



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1
- 2
- 3
- 4

ROOF DIAPHRAGM

TYPE	VALUE (P/F)	SHEATHING	NAILING - EDGE/FIELD
A	230/176	7/16 OSB	96 6" O.C. / 12" O.C.

STAGGER PANELS, PANEL LONG EDGE PERPENDICULAR TO FRAMING MEMBER

SHEATHING SCHEDULE

	THICKNESS	TYPE	APA RATING
ROOF	7/16	OSB	24/16
SHEAR WALLS	3/8	OSB	240

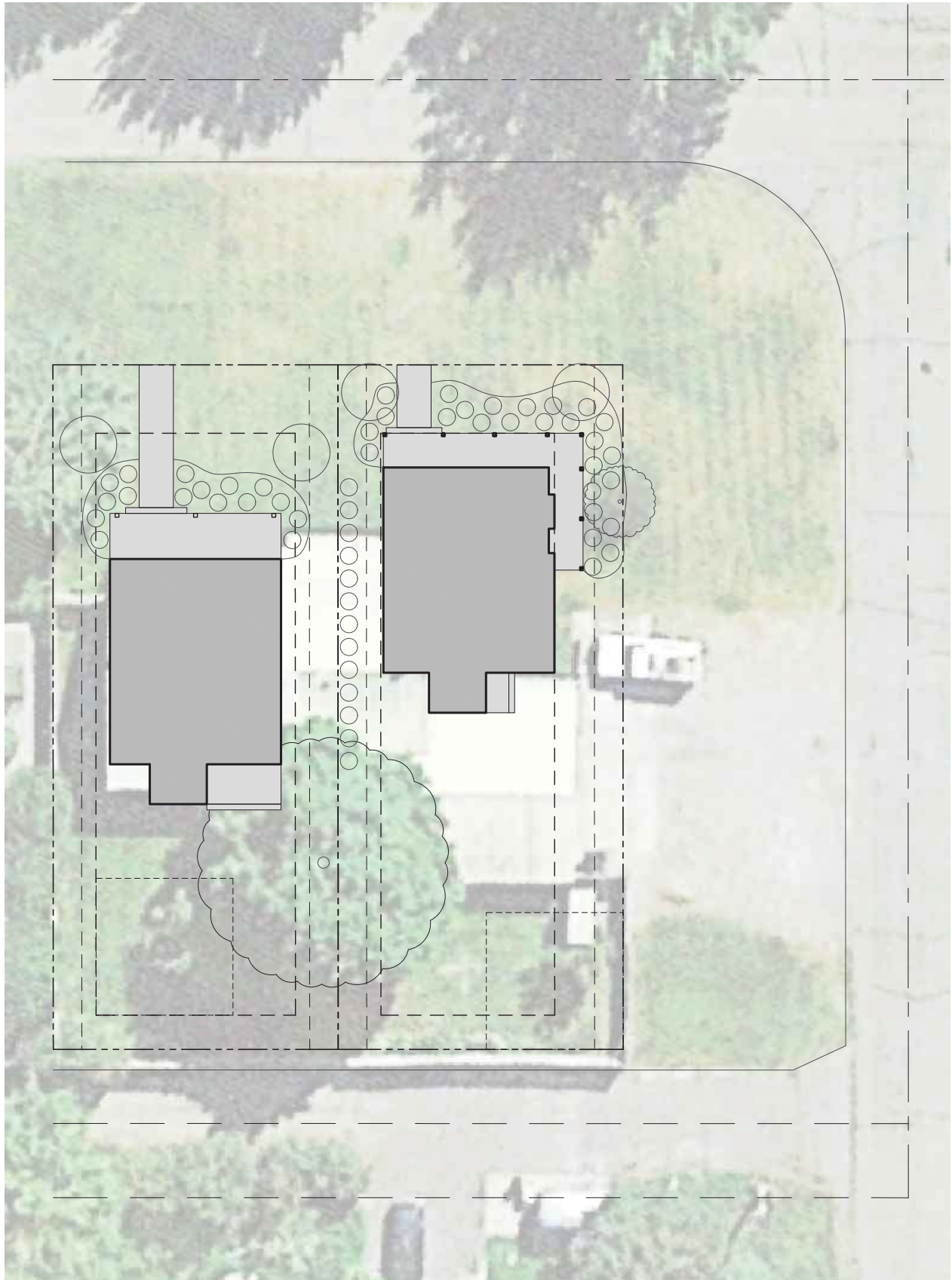
BEAM SCHEDULE

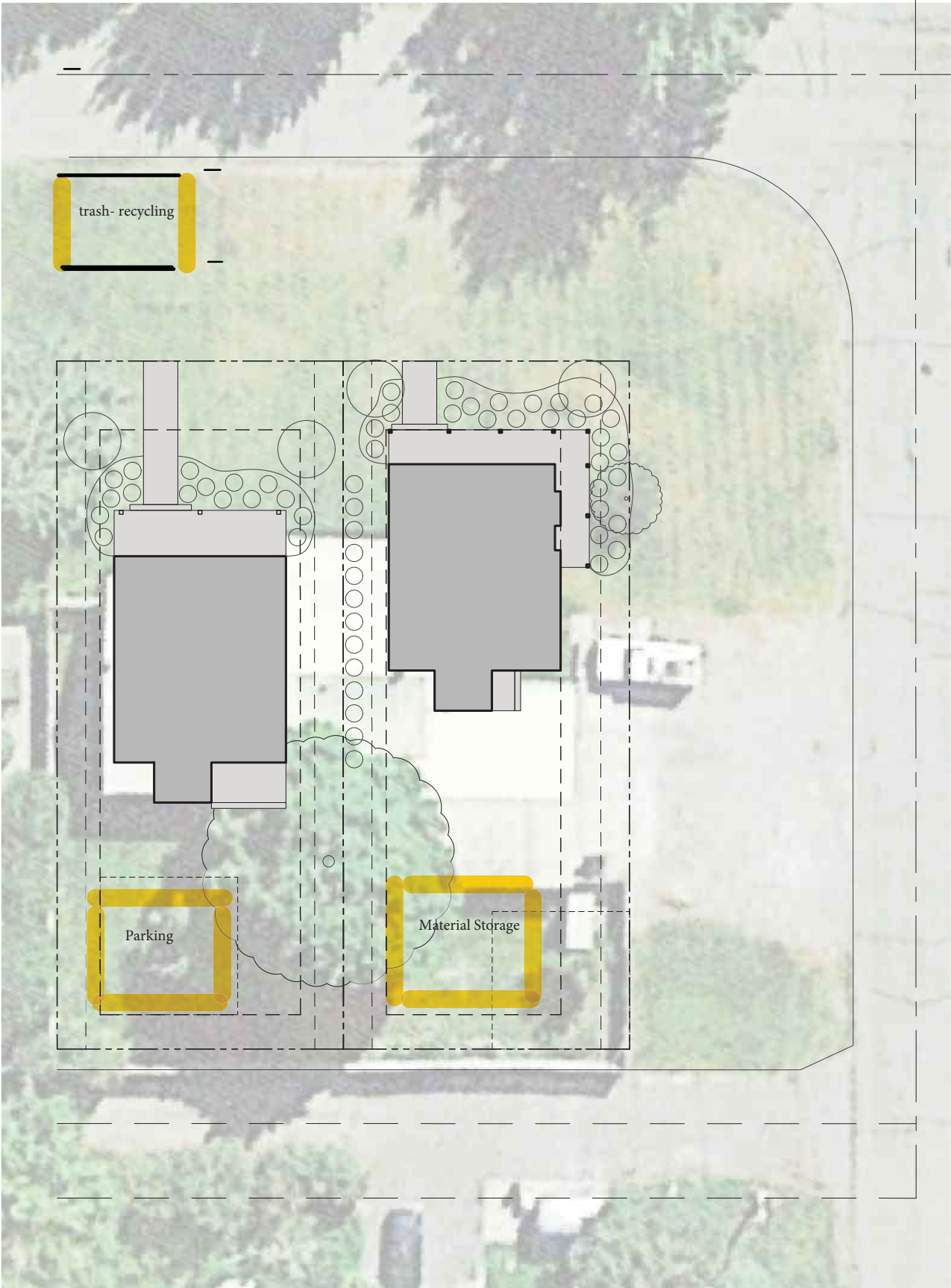
TYPE	SIZE	GRADE
B06	6x8	DFL #1 F0HC
B08	6x8	DFL #1 F0HC
B010	6x10	DFL #1 F0HC
B012	6x12	DFL #1 F0HC
B013	5.5x13.5	24FV4 DFLDFL GLU-LAM

COLUMN SCHEDULE

MARK	DESCRIPTION	MATERIAL
C06	6x8	DFL #1 F0HC

AREA DEVELOPMENT PLAN





SZABO/WREDE 303 4th AVE N. FARMHOUSE

1. 1ST FLOOR - HARDIE BOARD & BATTEN - ARCTIC WHITE
2. 2ND FLOOR - HARDIE PLANK SMOOTH LAP SIDING - ARCTIC WHITE
3. ASPHALT SHINGLE ROOFING - BLACK / GRAY
4. STANDING SEAM ON FRONT/SIDE PORCH - GRAY
5. PELLA 250 SERIES, WHITE WINDOW FRAMES, TYP.

1 2



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Return to Agenda