

Agenda
Hailey Planning and Zoning Commission
Tuesday, January 20, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Phone Conference ID: 602 369 677#

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

New Business

NB1: Elect Commission Chair and Vice Chair

Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve Findings of Fact, by James Josel, represented by Thomas Howland of Howland Architecture Studio, Inc., for the construction of a new 2,884 square foot single-family residence and 696 square foot Accessory Dwelling Unit (ADU) constructed above the detached garage, to be located at 220 N 2nd Avenue (Lot 13A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **CA 2** Motion to approve Findings of Fact, by the Hailey City Council a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.06.080: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed-Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, refining and/or amending design standards for cottage and townhouse developments. **ACTION ITEM**
- **CA 3** Motion to approve meeting minutes dated November 17, 2025. **ACTION ITEM**
- **CA 4** Motion to approve meeting minutes dated December 01, 2025. **ACTION ITEM**
- **CA 5** Motion to approve meeting minutes dated December 15, 2025. **ACTION ITEM**

Public Hearing - ACTION ITEM

- **PH 1** Consideration of a Conditional Use Permit Application by Kimberly Sesnon for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**
- **PH 2** Consideration of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools. **ACTION ITEM**

Administrative Review – NO ACTION ITEM

- **AR:** AT&T

Staff Reports and Discussion

- Monday, February 02, 2026:
 - Continuation: DR and PP: Della Mountain Suites
 - Design Review Pre-Application Lilac Townhouses
 - AR: Greer ADU

Adjourn by 8:00 PM - ACTION ITEM

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On January 20, 2026, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by James Josel, represented by Thomas Howland of Howland Architecture Studio, Inc., for the construction of a new 2,884 square foot single-family residence and 696 square foot Accessory Dwelling Unit (ADU) constructed above the detached garage, to be located at 220 N 2nd Avenue (Lot 13A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

Notice: Notice for the December 15, 2025, public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on November 26, 2025. No public comments were received prior to the Public Hearing.

Application: The Applicant proposed the construction of a new 2,884 square foot, two-story single-family residence, in addition to a 1,392 square foot detached garage and ADU. The primary residence is proposed to have 923 square feet of conditioned basement area, as well as 1,038 square feet of conditioned area on the first floor and 923 square feet on the second floor. The proposed ADU is 696 square feet and located above a garage area with the same square footage. The property is currently undeveloped, and the Applicant also proposed to install approximately 2,241 square feet of patio pavers across the 5,992 square foot lot, in addition to landscaping both on the private property and within the unused right-of-way areas surrounding the corner parcel.

Public Hearing: At the December 15, 2025 Planning and Zoning Commission Meeting and Public Hearing for the project, the Applicant shared several project updates in response to specific items of question/concern identified in the Staff Report. These included:

- Confirmation that the proposed chimney height could be reduced to comply with the maximum allowable building height of thirty-two (32) feet, as outlined for the zoning district (and for such building features) in Hailey Municipal Code.
- A revised first floor building square footage for the primary residence, shifting from 923 square feet to 1,038 square feet. This produced a new overall building square footage of 2,884 square feet for the primary residence. All bulk requirements remained as met, despite this shift.
- Confirmation of a residential remodel/construction addition on the adjoining property to the south, mitigating privacy concerns noted by Staff regarding the large windows on the proposed southern building elevation. The Applicant confirmed that the windows would be facing a new garage structure and thus would pose little interaction with activity areas or private spaces of the neighbors.
- Confirmation of an existing fence along the southern property boundary, further mitigating privacy concerns and also allowing for the removal of original Condition of Approval "I", calling for a required fence permit and approval.

The Commission commended the Applicant Team on an attractive project design that spoke to the nature of Old Hailey and the Design Review Guidelines of the Townsite Overlay District. Some concern was raised over the roof pitch on the second level of the primary residence, specifically on the northern roof slope. The Applicant confirmed that they would install snow clips on this roof section, mitigating potential snow and precipitation build-up within the sunken patio area on the ground/below ground levels.

The removal of existing mature trees on the property (and one (1) confirmed public street tree in the N 2nd Avenue right-of-way), prior to the Applicant’s submittal for Design Review, was also discussed by the Commission, at the request of Staff. The Commission ultimately selected Option 1 for the required remediation, as recommended by the Hailey Tree Committee. Option 1 called for the planting of at least three (3) new street trees in the public right-of-ways surrounding the property, including at least one (1) replacement tree along the N 2nd Avenue frontage. The Applicant’s proposed landscaping plan preemptively called for planting four (4) new street trees, and so the Commission was assured that this requirement would be met. However, the Applicant stated that the removal of the private property trees came at the recommendation of an arborist, hired by the property owner to assess the health and condition of the existing mature trees. As the incorporation of existing mature trees on private property is a stated Design Review Guideline for projects in the Townsite Overlay, the Commission requested that the Applicant supply City Staff with a copy of the arborist’s assessment/report, to be filed with the project and retained for future reference. Supplying the arborist report was added as a component of the Conditions of Approval. The Conditions of Approval have been augmented to reflect the selection of Option 1, as well as this report.

Final comments/requests by the Commission included the submittal of a fully developed landscape plan, for review and approval by City Staff, identifying and providing more specific dedicated outdoor space for the ADU, and the requirement for the property owner to pay sidewalk in-lieu fees for the property’s Galena Street frontage.

After further review and discussion by the City of Hailey Public Works Superintendent and Streets Division Manager, it was found that actual installation of sidewalk along the property’s Galena Street right-of-way frontage was preferable to collection of in-lieu fees. The Applicant was amenable to this minor adjustment. This adjustment is reflected in these Findings, and each of these requests have been incorporated as additional Conditions of Approval.

Procedural History:

Procedural History: The Design Review Application was submitted on November 3, 2025, and certified complete on November 4, 2025. A public hearing will be held on December 15, 2025, in the Council Chambers and virtually via Microsoft Teams.

The Applicant also previously submitted a Lot Line Adjustment Application that proposed the removal of interior lot lines for Lot 13 and 14 and the creation of a new Lot 13A. This Application was reviewed and approved by the Hailey Planning and Zoning Administrator in February 2024.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
				Engineering: <i>No comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Life/Safety: <i>No comments</i></p> <hr/> <p>Water and Sewer: <i>Sewer: The Applicant shall locate and utilize the property's existing sewer stub. The ADU shall be piped into the same connection as the home. No new sewer tap is allowed.</i></p> <p><i>Water: Any existing meter vaults shall be utilized. If the existing meter vault is in a proposed drivable area, the Applicant shall install a metal collar over the meter vault.</i></p> <p><i>These items have been made Conditions of Approval.</i></p> <hr/> <p>Building: <i>No comments</i></p> <hr/> <p>Streets: <i>The Applicant shall install sidewalk along the property's N 2nd Avenue right-of-way, to match the existing sidewalk to the south of the property.</i></p> <p><i>The Applicant shall install five foot (5') wide sidewalk on the property's Galena Street right-of-way frontage, to match and connect with the sidewalk installed on N 2nd Avenue.</i></p> <p><i>These have been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. These standards will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p>17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i></p> <hr/> <p>Staff Comments <i>N/A, as signage is prohibited in residential zones and no signs are proposed.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p> <p>17.09.040 Single-Family Dwellings: <i>two (2) spaces minimum, six (6) spaces maximum</i></p> <hr/> <p>Staff Comments <i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for single-family residential dwellings. The proposed residence includes a two-car garage onsite, with vehicular access via the existing alley. Parking requirements for the proposed residence have been met.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are

				<p>encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<p>The Applicant has proposed to install ten (10) downcast, dimmable, Dark Sky Ordinance compliant lighting fixtures across both the primary residence and the garage/ADU structure. Additionally, they are proposing to install eighteen (18) recessed lighting fixtures underneath roof overhangs that are within circulation areas. The recessed fixtures will also be dimmable, and fully downcast.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Zoning District: General Residential (GR) and Townsite Overlay (TO) Zoning Districts:</p> <ul style="list-style-type: none"> - Maximum Building Height: 30 feet - Front Yard Setback: 12 feet - Side Yard Setbacks: Fifteen percent (15%) of lot width, or ten feet (10'), whichever is less - Rear Yard Setback: 6 feet - Any wall, (highest point to record grade) 1 foot per 2.5 feet of wall height - Lot Coverage: 30 % (2 or more stories above grade, with garage)
			<i>Staff Comments</i>	<p>Setbacks, building height, and lot coverage are proposed as follows:</p> <p>Primary Residence:</p> <ul style="list-style-type: none"> - Maximum Building Height: 29.84 (from highest roof ridgeline) feet. - Front Yard Setback: 12 feet - Side Yard Setbacks: 9.24 feet (south/private property); 12 feet (north/street right-of-way) - Rear/alley Setback: Approximately 50 feet <p>Garage/ADU:</p> <ul style="list-style-type: none"> - Maximum Building Height: 29.3 feet - Front Yard Setback: Approximately 50 feet - Side Yard Setbacks: 8.65 feet (south/private property); 12.35 feet (north/street right-of-way) - Rear/alley Setback: 6 feet - Lot Coverage: 27% <p>Original proposed chimney height on primary residence: 33.34 feet</p> <p>The original proposed chimney height exceeded the maximum building height for the zoning district. Hailey Municipal Code states that all portions of a chimney shall not extend into the required yard setback by more than two feet (2') (Section 17.06.010 (C)). In this instance, the chimney may extend up to two</p>


				<p><i>(2) additional feet beyond the thirty foot (30') building height maximum. The maximum allowable height for the proposed chimney, therefore, is thirty-two (32) feet.</i></p> <p><i>At the December 15, 2025 Public Hearing, the Applicant confirmed that they could readily reduce the chimney height to be below thirty-two (32) feet, although they could not provide an exact new height at the Hearing.</i></p> <p><i>The Applicant shall construct the proposed chimney to comply with all bulk requirements for the Zoning District and the Hailey Municipal Code.</i></p> <p><i>This has been made a Condition of Approval.</i></p> <p><i><u>Finding:</u> Compliance. These standards will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(A)1 Street Improvements Required</p>	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<p><i>Staff Comments</i></p>	<p><i>Hailey Design Review Standards require sidewalk improvements for new principal buildings in the Townsite Overlay District. The Public Works Director has requested that the Applicant install new sidewalk infrastructure along the property's 2nd Avenue frontage. This sidewalk will match the existing sidewalk to the south of the property, which extends for the entirety of this block of 2nd Avenue. Full pedestrian connectivity on the east side of 2nd Avenue will be achieved with the completion of this missing section. No curb and gutter or parking infrastructure is proposed.</i></p> <p><i>The Applicant shall install new sidewalk infrastructure along the property's 2nd Avenue frontage, to match and connect with existing sidewalk to the south. This has been made a Condition of Approval.</i></p> <p><i>No sidewalks exist in adjoining right-of-way sections along the property's Galena Street frontage. As such, Staff request that the Applicant install sidewalk along this E Galena Street right-of-way frontage. The Applicant was amenable to this request.</i></p> <p><i>The Applicant shall install five foot (5') wide sidewalk on the property's Galena Street right-of-way frontage, to match and connect with the sidewalk installed on N 2nd Avenue. This has been made a Condition of Approval.</i></p> <p><i><u>Finding:</u> Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(B) Required Water System Improvements</p>	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p>
			<p><i>Staff Comments</i></p>	<p><i>The Applicant is proposing the construction of a new single-family home that will be accessed off the alleyway. Insulating the water service line and main line within the alley has been made a Condition of Approval.</i></p>

				<i>Finding: Compliance. This standard will be met.</i>
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Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).				
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Compliant		Standards and Staff Comments		
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Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i> The lot is existing and located in the old Hailey grid, the property respects the old Townsite grid pattern, while allowing for a creative and thoughtful building design. In 2024, the Applicant received approval for a Lot Line Adjustment Application, eliminating historic interior lot lines and creating a new lot (Lot 13A), which meets the current lot size requirements for the zoning district, as identified in Hailey Municipal Code.</p>
				
<i>Finding: Compliance. This standard has been met.</i>				


<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; use of alleys as the preferred access for secondary uses and automobile access; adequate storage for recreational vehicles;
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			<ul style="list-style-type: none"> • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • Underground utilities for new dwelling units.
		<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The scale of the proposed residence is consistent with the scale and massing of buildings in the surrounding neighborhood. Residences of the same size, and also larger residences, exist in the surrounding neighborhood areas.</i> • <i>The proposed residence is oriented from east to west, following the established building pattern within the Townsite Overlay District’s historically narrow, east-to-west oriented lots.</i> • <i>The front façade and entrance are clearly visible and will face 2nd Avenue, which includes a welcoming front entry on the street façade, as is typical in Old Hailey.</i> • <i>The north and west facades, which are the most visible from N 2nd Avenue and E Galena , have a traditional gabled roof design. The Applicant has also proposed a significant amount of windows across both the primary residence and the garage/ADU, as well a variety of materials and textures. The natural stone chimney is proposed to face 2nd Avenue, creating a unique design element to the front façade that strongly evokes residential characteristics and design details associated with the historic homes of Old Town Hailey.</i> • <i>The new single-family residence, as well as the garage/ADU, will achieve vehicular access via the existing alley.</i> • <i>No recreational vehicle storage has been delineated onsite, but additional storage areas are available both within the two (2) car garage, as well as along the property’s interior north/south property lines.</i> • <i>The proposed primary residence will span the western half of the lot, while the garage/ADU is proposed to occupy the eastern (rear)-most quarter of the lot. A large paver patio is proposed at the interior of the lot, accessible from both structures. Garden beds are also proposed at the front of the property, along N 2nd Avenue.</i> • <i>Solar panels are proposed for the roof areas of both the primary residence and the garage/ADU. Solar energy efficiency will be maximized through the inclusion of significant glazing area on the north and south building elevations, as well as above-standard insulation and building construction practices, as identified within the submitted plans.</i> • <i>Snow storage has been identified on the site plan and is sufficient for the site.</i> • <i>Utilities exist and are located underground. Any and all new utilities to service the proposed residence will be located underground.</i> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active</p>

				<p>solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p>
			<i>Staff Comments</i>	<p><i>Solar panels are proposed for the roof areas of both the primary residence and the garage/ADU. The visual impacts of the solar panels will be minimized, as the Applicant proposes to install black, standing seam metal roofing in conjunction with the black solar panels. Both of the proposed solar panel installations do not face a public right-of-way, further minimizing visual impact.</i></p> <p><i>Solar energy efficiency will be maximized through the inclusion of significant glazing area on the north and south building elevations, as well as above-standard insulation and building construction practices, as identified within the submitted plans.</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090@2	<p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p>
				<p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p>
			<i>Staff Comments</i>	<p><i>The building mass is reduced through architectural elements like an interior patio area and projecting bays that break up the rooflines/wall planes. The front façade features a covered porch and stacked rooflines of differing styles, breaking up the tallest proposed wall plane. The proposed chimney features a distinct natural stone veneer, which enhances the architectural character of the primary residence. The garage/ADU is proposed with matching stacked rooflines and additional wood beam pillars, framing each level of the structure as distinct, rather than one large mass.</i></p>
				
				<p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	<p>3. Architectural Character</p>
			17.06.090(C)3a	<p>a. General</p>
				<p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p>

			<i>Staff Comments</i>	<p><i>A covered entry porch and traditional exterior materials/colors nicely integrate into the surrounding area. The gabled roof forms with 7:12 pitches, the lower-angled covered porch roof pitch, the wood beam pillar supports, vertical board and batt siding, and the use of natural stone for the proposed chimney reinterpret traditional Old Hailey architectural styles in a compatible yet contemporary manner.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i></p> <p><i>The proposed home orients to the street in a manner that is typical of historic residences in Old Hailey. The covered porch, exterior light fixtures, and proposed front walkway frame the front entrance, such that it is clearly identifiable from N 2nd Avenue. The proposed single-family residence will be accessed from the alley, as is typical in Old Hailey.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p><i>Staff Comments</i></p> <p><i>The lot exists and respects the Old Hailey Townsite grid pattern. A covered porch along the front façade, and over the front entry is proposed, which is prominent and inviting from N 2nd Avenue.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<p>c. Building Form</p> <p>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</p> <p><i>Staff Comments</i></p> <p><i>The proposed building forms of rectangular building footprints and gabled/single-pitch rooflines are traditional of Old Hailey.</i></p> <p><i>A covered front porch and stacked rooflines – moving from lower to higher pitch as building height increases - reduces the massing of the primary residence as a stand-alone structure. However, the offset building footprint of the garage/ADU at the rear of the property creates visual impact that appears to increase the perceived mass and scale of the primary residence from N 2nd Avenue.</i></p> <p><i>At the December 15, 2025 Public Hearing, the Applicant provided various ground-level renderings and 3-D viewing perspectives, responding to this initial Staff concern about perceived mass and scale and visual impact. These renderings showed that the perceived increase in mass and scale from the offset building footprint was nominal at the eye-level. The building offsets were a result of specific setback requirements for the two (2) new residential structures, based on relative wall heights. The Commission was amenable to the design as proposed.</i></p>

				<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<p><i>The first-story roof form frames the covered porch, which is one of the defining characteristics of the front entry of the proposed residence. The lower pitch of the first-story roof creates a clear visual delineation between the first and second stories, which breaks up the perceived mass of the larger front wall plane.</i></p> <p><i>On the garage/ADU, the Applicant proposes to suspend the wrap-around, low pitch roof, and instead proposes a second-story outdoor deck area for the use and enjoyment of occupants of the ADU. This design shift creates distinction between each individual structure, while still breaking up the larger wall plane of the garage/ADU. The garage is located to the rear of the property and not visible from N 2nd Avenue.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</p> <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<p><i>The standing seam metal roofing material and 7:12/8:12 roof pitches will allow snow to shed to the north and south edges of the property, Conveniently, these areas are also where the Applicant has proposed their required snow storage. The first-floor, low-angled roof feature provides additional protection from snow being shed onto the covered walkway areas and key pedestrian routes for the property.</i></p> <p><i>However, the exterior access for the finished basement area is located along the northern elevation of the primary residence. Staff originally found some concern with this aspect of the building design, stating that this recessed, below-grade entry area could potentially collect significant snow shed from the rooflines and encounter outsized negative impacts from freeze-thaw cycles over time.</i></p> <p><i>The Commission discussed this potential concern with the Applicant; they confirmed that they would be installing snow clips along this segment of the northern roof surface, mitigating potential negative impacts from snow shed. The Commission was amenable to this proposed measure.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p> <p><i>Staff Comments</i> The primary residence utilizes a primary 8:12 pitch as well as the covered porch 3:12 (front façade) and 4:12 pitch. Material type is standing seam, black metal. These are traditional roof forms and materials found in Old Hailey and adjoining properties.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p> <p><i>Staff Comments</i> See Standard 17.06.090(C)3d for further detail on how this standard is met.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<p>e. Wall Planes</p> <p>Guideline: Primary wall planes should be parallel to the front lot line.</p> <p><i>Staff Comments</i> The new single family residence orients to the street in a similar manner to adjoining properties, with its primary façade and front porch facing N 2nd Avenue and parallel to the front lot line.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<p><i>The largest proposed wall planes are located on the north and south elevations. The north elevation, in particular, will be visible from E. Galena Street. The lot widths and lengths of traditional Hailey Townsite lots naturally create larger east-to-west wall planes; this inherent architectural influence is present in the Applicant’s proposed design, and it respects the scale and traditional massing of the surrounding neighborhood. Primary wall planes are parallel to each adjacent lot line and the gable ends also run parallel to N 2nd Avenue and the front lot line.</i></p> <p><i><u>Finding:</u> Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<p><i>The Applicant has proposed a pop-out on both the north and south wall planes, which are also the longest. The pop-outs are enhanced by vertically-oriented windows, with glazing surface being the primary material type within each pop-out. This design combination breaks up these longer wall planes.</i></p> <p><i><u>Finding:</u> Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<p><i>The proposed street-facing windows are somewhat larger than window sizes found on traditional Hailey Townsite homes. While traditional window sizes are encouraged, Staff are also supportive of other functional and design benefits that the Applicant’s chosen window design offers. This includes ample glazing area for incorporation of natural light in living areas, the breaking up of larger wall planes, and the blending of historic architectural styles with contemporary elements that reflect the period in which they were installed.</i></p> <p><i>The Commission discussed how the Applicant could best balance this collection of residential design guidelines for the Townsite Overlay, within their proposed window design scheme. At the December 15, 2025, Public Hearing, the Applicant also provided the Commission with various examples of windows with similar size and proportion, found on other properties in the vicinity of the project property. The Commission noted these examples, and they did not provide any additional feedback or requests for the street-facing window sizes/proportions.</i></p> <p><i><u>Finding:</u> Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<p><i>The window placement on the second floor of the garage/ADU is modest and respects the privacy of the southern neighbors. However, the Applicant also proposed three (3) sets of sliding glass doors on the first floor of the primary residence, facing the adjoining southern property. In preparation</i></p>

				<p>for the December 15, 2025 Public Hearing, Staff shared concern that the degree of windows and full-length glazing that faced the southern neighbors may cause some privacy concerns.</p> <p>The Applicant provided specific contextual details at the December 15, 2025, Public Hearing, mitigating these concerns. These details included confirmation that the south-adjointing neighbors were in the process of completing a residential remodel project, which includes the addition of a garage in the area adjacent to the sliding glass doors. This garage area will provide shielding for the neighbor’s courtyard and living area windows. Additionally, the Applicant confirmed that there is an existing fence on the southern property boundary, providing an additional level of screening. The Commission found these details as sufficient assurance that privacy concerns would be mitigated.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	<p>g. Decks and Balconies</p> <p>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</p> <p><i>Staff Comments</i> A small second-story outdoor deck area is proposed for the garage/ADU, facing the alley. It is in scale with the building and the surrounding neighborhood.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	<p>Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</p> <p><i>Staff Comments</i> The second-story deck on the garage/ADU faces the alley, and it is not directly in line with the primary residence on the property to the south. The property across the alley has a residential structure that is located on the eastern-most property line, furthest away from the garage/ADU as possible.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	<p>h. Building Materials and Finishes</p> <p>Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</p> <p><i>Staff Comments</i> The proposed primary residence and garage/ADU will use the same materials and colors across both buildings, aside from the natural stone veneer of the chimney on the primary residence. White, vertically aligned board and batt siding is proposed across the project. This three-dimensional siding material helps eliminate the look of large, flat walls by its nature. The wrap-around roofline above the porch and covered walkway areas of both the primary residence and the garage/ADU create a strong horizontal element, which compliments the vertical board and batt. Natural wood beams across the site, including on the second level of the garage/ADU, further elevate the building design and textural variety.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<p><i>All proposed wall planes feature at least two (2) colors and materials, including white board and batt vertical siding, natural wooden beams, natural stone, black metal (roofing), and black window trim and garage doors. Wall planes appear to be balanced, avoiding large massing and also excessive ornamentation (a design guideline that is discouraged in Hailey Townsite).</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<p><i>The front wall plane of the primary residence is balanced by large vertical windows and a full-length glass door on the right side, paired with a natural stone chimney and matching vertical window on the other. Natural wooden beams support a low-pitch, wrap-around roof above the covered front porch.</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<p><i>The proposed residence aligns with the nature and character of Old Hailey. Porches, colored window trim, and natural wooden beams speak to the historic nature of Old Hailey residential design. Additionally, the Applicant is proposing natural stone siding on the wall plane of the sunken, below-grade exterior entrance for the finished basement area, located on the north elevation of the primary residence.</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<p><i>Please refer to Section 17.06.090(C)3i for further information.</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<p><i>Pedestrian access to the house will continue to be provided in front of the house from N 2nd Avenue, while vehicular traffic will be accessed off the alley. All snow storage will be outside of the covered walkways and pedestrian circulation areas. The addition of right-of-way sidewalk along N 2nd Avenue will further increase pedestrian safety around the property.</i></p> <p><u>Finding:</u> <i>Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>Adequate parking has been provided and is located in the garage off the alley. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<i>The Applicant is proposing vehicular access through the alleyway for the single-family residence. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<i>The garage is proposed to be attached and accessed off the alleyway. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<i>N/A, as the garage will have access from the existing alley. Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<i>N/A, as the garage will have access from the existing alley. Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<i>There is no parking for recreational vehicles being proposed, however the property has unused areas along the northern and southern elevations that may be suitable for recreational vehicles. Finding: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	5. Alleys
			<i>Staff Comments</i>	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. <i>The alley exists and will be utilized for access to onsite parking. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>Utilities are located underground within the existing alley. Any additional utilities and/or building infrastructure will be located underground within the existing alley.</i>

				<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<p>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the city alley should be managed for noxious weed control, particularly after construction activity.</p> <p><i>Staff Comments</i> <i>The parcel is located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The existing alley that services the residence is of a dust-free gravel, and if noxious weeds are present on the site, the Developer shall control according to State Law.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	<p>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple and respect the functional nature of the area and the pedestrian activity that occurs.</p> <p><i>Staff Comments</i> <i>N/A. No landscaping adjacent to the Alley is proposed.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<p>6. Accessory Structures</p> <p>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</p> <p><i>Staff Comments</i> <i>The garage/ADU structure is located at the rear of the site, mostly shielded from N 2nd Avenue by the primary residence. From E Galena Street, the garage/ADU is clearly subordinate in size from the primary residence.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<p>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</p> <p><i>Staff Comments</i> <i>The garage/ADU is located at the rear of the lot.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<p>7. Snow Storage</p> <p>Guideline: All projects shall be required to provide 25% snow storage on the site.</p> <p><i>Staff Comments</i> <i>According to the Applicant, the total hardscape area of the site 2,241 square feet, requiring at least 560 square feet of snow storage. The Applicant has proposed approximately 981 square feet of snow storage across the property, all located outside of pedestrian circulation areas and providing for clear vision triangles. Impacts to adjoining properties from snow storage is not anticipated.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<p>Guideline: A snow storage plan shall be developed for every project showing:</p> <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. <p><i>Staff Comments</i> <i>See Standard 17.06.090(C)7.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<i>Finding: Compliance. This standard has been met.</i>
				8. Existing Mature Trees and Landscaping
			Staff Comments	<p> <i>Prior to the Applicant's Design Review Public Hearing on December 15, 2025, the Applicant removed approximately five (5) mature conifer trees from their property's southern boundary.</i> </p> <div style="display: flex; flex-direction: column; align-items: center;">   </div> <p> <i>Image from August 2025 (Google Earth Street View). All trees shown have been removed as of December 2025.</i> </p> <p> <i>The Applicant's representative informed Staff that an arborist assessed the existing trees earlier in 2025, finding that beetle kill/disease was present in at least some of the trees and that it was more than likely that the disease would spread, and trees would require removal eventually, due to safety and hazard tree concerns. Staff have requested a copy of the arborist's report, demonstrating the infeasibility of retaining the previously existing mature trees.</i> </p> <p> <i>The Applicant shall supply City Staff with a copy of the property's referenced arborist report, which called for the removal of five (5) existing mature trees on the site. This has been made a Condition of Approval.</i> </p>

				<p><i>Additionally, the Applicant also removed one (1) tree in the N. 2nd Avenue public right-of-way. It appears that the Applicant was not aware of tree removal requirements for public trees, which includes an encroachment application, correspondence with both the Streets Division Manager, and review by the Hailey Tree Committee. The removal of the public street tree on N. 2nd Avenue was brought to Staff's attention in September 2025. Upon discussion with the Streets Division Manager, the removal was brought to the Hailey Tree Committee for consideration on how to proceed. The Hailey Tree Committee provided a recommendation at their regularly scheduled, December 3, 2025, public meeting. The recommendation memo was provided with the Staff Report for Commission review, in addition to being saved to the project file.</i></p> <p><i>The Tree Committee offered two (2) recommended options for Staff and the Commission to consider. They were generally described as: 1) Plant three (3) to four (4) new trees in the public right-of-way adjacent to the property, with at least one replacement tree along the N. 2nd Avenue right-of-way; or 2) Pay an in-lieu fee for the assessed value of the tree removed, calculated using methods and tools described in said recommendation memo.</i></p> <p><i>Staff preferred to see Option 1 applied, providing some level of immediate remedy to the substantial visual impact that such tree removal (public and private) has inevitably had on the surrounding area. Option 1 would also require that the property owner of 220 N. 2nd Avenue water and maintain the tree as needed to achieve and sustain long-term health.</i></p> <p><i>The Commission ultimately selected Option 1 for the required remediation, as recommended by the Hailey Tree Committee. The Applicant subsequently proposed to install four (4) new street trees along the property's N. 2nd Avenue and E. Galena Street rights-of-way. E. Galena Street public street trees were proposed as drought-tolerant honey-locust and hawthorn trees.</i></p> <p><i>For improvements within the public right-of-way, an Encroachment Permit shall be submitted and approved prior to the landscaping and tree plantings, and irrigation installation.</i></p> <p><i>Prior to street tree plantings, the Hailey Tree Committee shall review and approve the proposed public right-of-way landscaping plan.</i></p> <p><i>These have been made Conditions of Approval.</i></p> <p><i>Finding: Compliance. These standards will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<p>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</p>
			<i>Staff Comments</i>	<p><i>No additional significant landscape features are present on the site. The Applicant has proposed to install garden beds along the property frontage, as well as the planting of a wildflower meadow in the E. Galena Street</i></p>

				<p><i>public right-of-way, which will require the approval of an Encroachment Permit before installation.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<p>Guideline: Noxious weeds shall be controlled according to State Law.</p> <p><i>Staff Comments</i> <i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i> <i>Finding: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	<p>9. Fences and Walls</p> <p>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</p> <p><i>Staff Comments</i> <i>N/A There is an existing fence on the property, but it adjoins private property and not a public street or sidewalk.</i> <i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	<p>Guideline: Retaining walls shall be in scale to the streetscape.</p> <p><i>Staff Comments</i> <i>N/A, as none are proposed.</i> <i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	<p>10. Historic Structures</p> <p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. <p><i>Staff Comments</i> <i>N/A. No structures exist on site.</i> <i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;

					<ul style="list-style-type: none"> ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
				<i>Staff Comments</i>	<p>N/A. No structures exist on site. <u>Finding:</u> Compliance. This standard does not apply.</p>

General Requirements for Accessory Dwelling Units

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	Applicability. A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	General Provisions. A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	<p>The proposed ADU is detached from the primary residence and is approximately 696 square feet in size and located above a new 696 square foot garage.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Only one (1) Accessory Dwelling Unit is permitted on a lot.
			<i>Staff Comments</i>	<p>Only one (1) ADU is proposed onsite.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.
			<i>Staff Comments</i>	<p>The proposed ADU is in conjunction with an existing single-family residence, and both are located within the General Residential (GR) and Townsite Overlay (TO) Zone Districts.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.
			<i>Staff Comments</i>	<p>N/A, as the proposed ADU is not located within the Special Flood Hazard Area.</p> <p><u>Finding:</u> Compliance. This standard does not apply.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.040: Registration of Accessory Dwelling Units Required</p> <p><i>Staff Comments</i></p>	<p>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</p> <p><i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.050: Occupancy Restrictions - Short Term Occupancy</p> <p><i>Staff Comments</i></p>	<p>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</p> <p><i>At this time, the owners intend to utilize the ADU as a guest suite for family members. The owners will continue to reside in the primary residence. This standard shall be met and has been made a Condition of Approval.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><i>Staff Comments</i></p>	<p>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</p> <p><i>At this time, the owners intend to utilize the ADU as a family guest suite and will reside in the primary residence. This standard shall be met and has been made a Condition of Approval.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.060: Subordinate Scale and Size</p> <p><i>Staff Comments</i></p>	<p>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</p> <p><i>The gross floor area of the principal building is 2,884 square feet. Sixty-six percent (66%) of this is 1,730 square feet in size. The proposed ADU of approximately 696 square feet is within the range allowance.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><i>Staff Comments</i></p>	<p>B. Maximum Floor Area:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Lot Size (square feet)</th> <th style="text-align: center;">Minimum Gross Floor Area (square feet)¹</th> <th style="text-align: center;">Maximum Gross Floor Area (square feet)¹</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Up to 7,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">900</td> </tr> <tr> <td style="text-align: center;">7,001 – 8,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">950</td> </tr> <tr> <td style="text-align: center;">Lots 8,001 and greater</td> <td style="text-align: center;">300</td> <td style="text-align: center;">1,000</td> </tr> </tbody> </table> <p>Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p> <p><i>Please refer to Section 17.08D.060A, noted above, for further details.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><i>Staff Comments</i></p>	<p>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</p> <p><i>The proposed ADU has only one (1) bedroom.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.070: Livability</p>	<p>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</p>												

			Staff Comments	<p>The Applicant proposed a large paver patio at the interior of the site (1,000+ square feet), directly adjacent to the proposed ADU. While the Applicant only intends for visiting family to occupy the ADU, Staff have requested that the Applicant include additional design features to specifically delineate outdoor area for the unit.</p> <p>The Applicant shall include additional site design features to clearly designate the required private outdoor space for the ADU. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This standard will be met.</p>
Chapter 17.09: Parking and Loading				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.B	<p>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</p>
			Staff Comments	<p>A single-car compacted gravel parking space is proposed to the north of the ADU/garage. The proposed garage and paved driveway off the alley will service the primary residence.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	<p>Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</p>
			Staff Comments	<p>The following mitigation measures were taken into account when planning the location and size of the proposed ADU:</p> <p>Placement of ADU:</p> <ul style="list-style-type: none"> ○ The ADU/garage will be located behind the single-family residence and to the rear of the parcel. ○ The ADU's parking space is located to the north of the garage/ADU and to the rear of the primary residence. ○ An existing fence on the southern property boundary will be retained, providing light trespass mitigation on the ground level for the adjacent property owner to the south. Public right-of-ways (alley and public streets) are located in between the garage/ADU and all other surrounding residences, providing additional buffering. <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	<p>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</p>
			Staff Comments	<p>This standard has been met. A single-car parking space is proposed to service the ADU to the north of the driveway and garage. The primary residence will utilize the two (2) garage spaces and parking spaces in the right of way off N 2nd Avenue and E Galena Street, as needed.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety, or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing, and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one -year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.**
- 2. The project is in general conformance with the Hailey Comprehensive Plan.**
- 3. The project does not jeopardize the health, safety, or welfare of the public.**
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.**

DECISION

The Design Review Application by James Josel, represented by Thomas Howland of Howland Architecture Studio, Inc., for the construction of a new 2,884 square foot single-family residence and 696 square foot Accessory Dwelling Unit (ADU) constructed above the detached garage, to be located at 220 N 2nd Avenue (Lot 13A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, is hereby approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (o) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. The following shall be met:
 - i. The Applicant shall locate and utilize the property's existing sewer stub.
 - ii. The ADU shall be piped into the same connection as the home. No new sewer tap is allowed.
 - iii. Any existing meter vaults shall be utilized. If the existing meter vault is in a proposed drivable area, the Applicant shall install a metal collar over the meter vault.
 - iv. The Applicant shall install sidewalk along the property's N. 2nd Avenue right-of-way, to match the existing sidewalk to the south of the property.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Any construction staging and storage within the City Right-of-Way shall receive pre-approval by City Staff and will require payment of applicable right-of-way rental fees.
- i) All utilities shall be located underground, consistent with 17.06.080(A)3h.
- j) All water main lines within the alley that are less than six (6) feet deep, shall be insulated with material (blue board insulation or similar material) for each and every individual water service

line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.

- k) The Applicant shall be responsible for Option 1, as recommended by the Hailey Tree Committee and responding to the unauthorized removal of one (1) mature street tree located adjacent to the property in the N. 2nd Avenue public right-of-way.
 - i. For improvements within the public right-of-way, an Encroachment Permit shall be submitted and approved prior to the landscaping and tree plantings, and irrigation installation.
 - ii. Prior to street tree plantings, the Hailey Tree Committee shall review and approve the proposed public right-of-way landscaping plan.
 - iii. The property owner of 220 N 2nd Avenue shall be responsible for watering and maintaining the replacement street tree.
 - iv. The Applicant shall supply City Staff with a copy of the property's referenced arborist report, which called for the removal of five (5) existing mature trees on the site.
- l) The Applicant shall construct the proposed chimney to comply with all bulk requirements for the Zoning District and the Hailey Municipal Code.
- m) The Applicant shall submit a fully-developed, detailed site landscaping plan, for review and approval by City Staff, prior to issuance of a Building Permit.
- n) The Applicant shall include additional site design features to clearly designate the required private outdoor space for the ADU.
- o) The Applicant shall install five foot (5') wide sidewalk on the property's Galena Street right-of-way frontage, to match and connect with the sidewalk installed on N 2nd Avenue.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Kayme Backstrom, Community Development Assistant

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FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

On January 5, 2026, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.06.080: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed-Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, refining and/or amending design standards for cottage and townhouse developments.

The Hailey Planning and Zoning Commission unanimously recommended approval by the Hailey City Council, the City-Initiated Text Amendment to amend the Hailey Municipal Code, on January 5, 2026, and enters these Findings of Fact, Conclusions of Law and Decision.

Applicant: City of Hailey

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 17, 2025, and mailed to public agencies on that same day.

Background: Since 2021, City Planning Staff have prioritized minor code amendments within Hailey's Municipal Code. Staff will continue to pursue amendments in order of priority, and as time permits. At this time, Staff are proposing to amend the existing code language pertinent to the Design Review Design Standards for Cottage and Townhouse Developments.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On January 5, 2026, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.06.080: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed-Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, refining and/or amending design standards for cottage and townhouse developments.

In numerical order, below is a snapshot of code (highlighted in yellow) Staff and the Commission seek to modify, which have been more thoroughly described in the attached Draft Ordinance.

Proposed Amendment #1:

Title 17: Zoning Regulations, Section 17.060.010: A. Applicability, Design Review Approval or Exemption: No person shall build, develop or substantially remodel or alter the exterior of the following buildings without receiving design review approval or exemption pursuant to this chapter, as outlined in the matrix below:

Type Of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
New construction:			
All zones: Nonresidential buildings			X
All zones: Residential development of 3 or more units			X
All zones: Accessory Dwelling Units and Tiny Homes on Wheels	X		
Townsite Overlay District: New single-family or duplex			X
Townsite Overlay District: Accessory structures that add floor area equal to or greater than 50 percent of the original structure (excluding Accessory Dwelling Units and Tiny Homes on Wheels)			X
Additions:			
Commercial: Additions under 500 square feet which are not prominently visible from a public street	X		
Townsite Overlay District: Single-family, duplex, or accessory structures that add floor area equal to or greater than 50 percent of the original structure			X
Townsite Overlay District: Additions that adds floor area less than 50 percent of the original structure and complies with section 17.06.020 of this chapter	X		
Modifications that do not add square footage:			
Minor facade changes, alterations to parking and other site elements	X		
Commercial: Major deck additions; changes to architectural elements which alter the overall style of the building; addition of window(s) or door(s) or changes to existing windows or doors that result in major stylistic changes; changes to architectural elements which alter the overall style of the building			X
Commercial: Minor deck additions; changes to siding and/or materials; changes to window(s) or door(s) that do not result in major stylistic changes; landscape and/or parking changes that do not materially alter the flow of circulation	X		
Murals and public art	X		
Temporary structures	X		
Projects which qualify under subsection 17.06.020B of this chapter	X		

Proposed Amendment #2:

Title 17: Zoning Regulations, Section 17.06.080: Design Standards: E. Detached Townhouse Developments: In addition to the standards applicable to all non-residential, multi-family or mixed-use

developments located within the City of Hailey described in subsection A of this section, the following design standards also apply to detached townhouse developments located within the City of Hailey:

- Driveway Access: Garages shall be located near the rear of the primary residence and in no case shall be located less than ten feet (10') behind the front façade of the residence.

At the January 5, 2026, public meeting, the Commission discussed the nuances of defining the garage setback based on numerical value. Instead, the Commission amended the text to remove the numerical value and replace it with text referring to subordination and setbacks. The new language would read:

- Driveway Access: Garages shall be setback and subordinate to the front façade of the residence.

Proposed Amendment #3:

Title 17: Zoning Regulations, Section 17.06.080: Design Standards: F. Cottage Development: In addition to the standards applicable to all nonresidential, multi-family or mixed-use developments located within the City of Hailey described in subsection A of this section, the following design standards also apply to cottage developments located within the City of Hailey, all of which are compulsory unless a superior design is approved:

1. Common Open Space.

- a. Common open space of at least four hundred (400) square feet per cottage dwelling unit, with a maximum requirement of three hundred (3,000) square feet per cottage development, shall be provided.
- b. Minimum dimensions of the common open space shall be no less than twenty (20) linear feet.
- c. ~~All cottage dwelling units shall abut common open space, with cottages located on at least two (2) sides of the open space~~
- d. Cottage dwelling units shall be oriented around the common open space. The front entry porch of each cottage shall be oriented toward the common open space unless the cottage dwelling unit is located on a public street. If a cottage dwelling unit is located on a public street, its front entry porch shall be visible from the street, and the cottage shall have at least one (1) entry porch, front or secondary, visible from the common open space.
- e. ~~Cottages shall be located no more than sixty (60) feet from the edge of the common open space.~~
- f. The common open space shall consist of a paved plaza, landscaped greenspace, community garden, or other approved alternative with access for all dwelling units in the cottage development per the requirements of Section [16.04.110A1c](#).
- g. The common area shall serve the occupants of the cottage development in which it is located and shall be maintained by the cottage development homeowners' association, or landlord, if the cottage development is a rental endeavor.

The Commission concurred with the removal of Design Criteria, c. and e., as they determined that the requirements were over-prescriptive and were unattainable for some lots within the city.

3. Parking and Driveway Location and Design

- d. Attached private garages shall accommodate only one (1) car and shall have a maximum gross floor area of three hundred (300) square feet. Attached garages are prohibited between the cottage units and any public streets, between the cottage units and the common open space, and within any required setbacks. If the dwelling unit is

located on a public street, its private garage shall be located a minimum of ten (10) behind the street façade of the residence.

At the January 5, 2026, public meeting, the Commission discussed the nuances of defining the garage setback based on numerical value. Instead, the Commission amended the text to remove the numerical value and replace it with text referring to subordination and setbacks. The new language would read:

- Driveway Access: Garages shall be setback and subordinate to the front façade of the residence.

These standards were established as part of the Cottage and Townhouse Development Code, which was adopted by the Council in 2023. Staff have found that the new requirements as codified are proving to be difficult to meet where remnant parcels remain vacant that are smaller in size, irregular in shape, have limited ingress/egress access points, or are bound by existing developments on all sides.

The intent of this Text Amendment is to provide additional clarity around cottage and townhouse development design criteria, remove overly prescriptive requirements that prohibit creative development opportunities, and encourage smart, efficient infill projects in Hailey.

Draft Ordinance. Please refer to the attached Draft Ordinance. Input from the Planning and Zoning Commission and Staff have guided the direction of the proposed Ordinance. As such, edits have been incorporated therein, and recommended for approval, the ~~strike-through~~ text shown in the attached Draft Ordinance would be removed, and the underlined text would be added within Titles 16 and 17 of Hailey's Municipal Code.

Attachments:

- i. Draft Ordinance

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. **The proposed amendment is in accordance with the comprehensive plan.**
2. **Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.**
3. **The proposed uses are compatible with the surrounding area; and**
4. **The proposed amendment will promote public health, safety, and general welfare.**

1. The proposed amendment is in accordance with the comprehensive plan.

The Comprehensive Plan articulates the importance of creating an approachable housing environment that supports a wide range of individuals and families and creates and sustains an attainable housing market. As such, the following goal from the Comprehensive Plan is relevant to the proposed text amendment:

3.8.3 *Create strong housing policy and land use strategies to promote housing attainability and workforce development goals.*

A. Ensure that Hailey's zoning code and ordinances are aligned to provide housing opportunities in locations where greater density is allowed.

With overly prescriptive code regulations, building design and site access are constrained, especially for infill projects where remnant parcels exist, are irregular in shape, have limited ingress/egress access points, or are bound by existing developments on all sides. To adequately meet the needs of our growing community, the City is prioritizing the aforementioned code changes to better support infill projects, encourage creative design, and promote a variety of housing development, as called for in Hailey's Comprehensive Plan.

Findings: Compliance. The Commission found that this standard has been met.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at the public cost for services. The amendments are intended to clarify regulations, to simplify administration of the requirements, and to implement best practices.

Findings: Compliance. The Commission found that this standard has been met.

3. The proposed uses are compatible with the surrounding area; and

The proposed text amendment will not result in a change in allowed uses, and compatibility with surrounding areas will not be impacted.

Findings: Compliance. The Commission found that this standard has been met.

4. The proposed amendment will promote public health, safety, and general welfare.

The proposed amendments are consistent with the Hailey Comprehensive Plan, will promote public health, safety, and general welfare, and will not result in a change in allowed uses.

Findings: Compliance. The Commission found that this standard has been met.

Signed this _____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Kayme Backstrom, Community Development Assistant

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Agenda
Hailey Planning and Zoning Commission
Monday, November 17, 2025
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1-469-206-8535](tel:+14692068535): [602369677#](tel:602369677) United States, Dallas

Phone Conference ID: 602 369 677#

Present

Planning and Zoning Commission: Janet Fugate, Dan Smith, Sage Sauerbrey, Mike Smith, Jordan Fitzgerald

Staff: Robyn Davis, Emily Brooks, Ashley Dyer

5:31: Call to Order Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Application by Arch Community Trust, Inc., represented by Galena-Benchmark Engineering, wherein Lot 6, Block 3 (1411 RedTail Lane) of Quigley Farms Subdivision is subdivided to create two (2) Community Housing lots; Lot 6A comprising of 6,317 square feet in size and Lot 6B comprising of 6,319 square feet in size. This project is located within the General Residential (GR) Zoning District. **ACTION ITEM**
- **CA2** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Wireless Permit by AT&T Mobility Corporation to modify the existing Wireless Permit to upgrade the existing tower. The proposed modifications will occur inside the equipment room and to the existing tower on the roof; no increase in height of the tower is proposed. The Applicant is proposing the following modification to be permitted as part of the Wireless Permit Application: The removal and replacement of three (3) antennas,

removal and replacement of nine (9) remote radio heads (RRH), removal of three (3) TMA's, installation of six (6) new back-to-back RRH mounts and rotating the existing platform. Modifications to the Equipment room include the following: Removal of twenty (20) batteries, installation of eight (8) new batteries and the installation of one (1) generic E//BBU in DRM. The equipment is located at Pine Street Station Condominiums (400 South Main Street), within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

- [CA 3](#) Motion to approve meeting minutes dated October 06, 2025. **ACTION ITEM**
- [CA 4](#) Motion to approve meeting minutes dated October 10, 2025. **ACTION ITEM**
- [5:32:51 PM](#) Fitzgerald motion to approve CA 1-3, second M. Smith, all in favor. **ACTION ITEM**
- [5:32:59 PM](#) Motion to approve CA 4 Sauerbrey, Second Fitzgerald, all in favor. **ACTION ITEM**

Public Hearing - ACTION ITEM

- [5:33:16 PM PH 1](#) Consideration of a Design Review Pre-Application, submitted by Guerra-Ori, LLC, and represented by Jay Cone of Jay Cone Architecture, for the construction of a new Townhouse Development project consisting of three (3) detached townhouses to be known as Shapi Shay Townhomes. This project is located at 2410 Woodside Boulevard (Lot 18, Block 62, Woodside Subdivision #15) within the General Residential (GR) Zoning District.
-
- [5:33:49 PM](#) Dyer presents projects. The Cottage Development code states garages shall be located at rear of the residence and in no case less than 10 feet from the front façade of the residence. Due to the configuration of the parcel and access, due to this being an infill project this is difficult to meet current code. The applicant presented a building design that positions along the front elevations of the homes. Staff would like to encourage the commission to discuss this standard and redefine code to better support infill projects.
- [5:35:46 PM](#) Jay Cone introduced project.
- [5:37:46 PM](#) Fitzgerald wants clarification on which direction is the front of the property. Was curious about orientation.
- [5:42:35 PM](#) Alex Nelson representing applicant, the space Sauerbry inquired about was for a turnaround space for vehicles to avoid backing onto woodside boulevard. Least amount of curb cuts and efficiency.
- [5:44:41 PM](#) Sauerbrey asked staff if this was the first issue with garages. Davis answered yes, however, currently working with another applicant with same struggle. More discussion with staff, commission and the applicant continued.
- [5:48:17 PM](#) M. Smith thinks the intent of the code is not to have garages dominating the view from most streets. This location and setback mitigates this.
- [5:48:36 PM](#) D Smith, reiterated that this ordinance does not work with infill projects and townhouses. More discussion around ordinance verbiage.
- [5:56:30 PM](#) Davis clarified and said setbacks can be reduced to 10' between buildings and 5' from interior property line for sublots, for this project.

- [5:58:45 PM](#) D. Smith wants to move forward a conversation with City Council for ordinance change to be more successful with infill projects. Rest of commission agreed.
- [6:02:00 PM](#) Sauerbrey asking for clarification on lot coverage.
- [6:02:29 PM](#) Davis in this district is 40% lot coverage per subplot not parcel.
- [6:03:29 PM](#) M. Smith would like additional windows on ADU. Parking configuration meets intent of the code but is concerned about ADU resident and residential tenant parking. Encouraged more thought into parking. Further discussion with the applicant continued.
- [6:07:41 PM](#) Public Hearing opened
- [6:08:45 PM](#) Public Hearing closed.
- [6:09:33 PM](#) Sauerbrey suggested prewiring for EV and/or solar.
- [6:09:59 PM](#) Fitzgerald comment trees and balcony coverage.
- [6:11:29 PM](#) Commission suggested ordinance update to accommodate flexibility.

- [6:11:43 PM](#) _____
- **PH 2** Consideration of request from SVHD Properties, LLC, to the City of Hailey to vacate the certain section of Right-of-Way along West Carbonate Street, thereby reducing the City's Right-of-Way from 100' to 60' along that portion of West Carbonate Street adjacent to Lots 9 & 10, Block 43, Hailey Townsite. The section proposed for vacation is as follows, "Wherein approximately a 13-foot-wide strip of Carbonate Street adjacent to Lots 9 & 10, Block 43, Hailey Townsite is being [proposed for vacation] within City of Hailey, Blaine County, Idaho". **ACTION ITEM.**

- [6:12:35 PM](#) Brooks, presented project. She received some questions and calls about the project from community members as there are not many ROW projects like this.
- [6:13:41 PM](#) Fitzgerald, asking about gravel and parking details about
- [6:14:24 PM](#) Samantha Stahlnecker introduced herself, represents the applicant, clarified parking question.
- [6:15:29 PM](#) Sauerbrey asking about clarification of actual vacation from staff.
- [6:18:16 PM](#) Don Cunningham owner of property. No utilities of knowledge throughout ROW vacation proposal.
- [6:20:36 PM](#) Public Hearing opened.
- [6:21:11 PM](#) Heather Murphy, 210 Carbonate. She is in favor of this project.
- [6:21:43 PM](#) Christopher Simms, offering advice. Concerned with the process of the request. No actual project plan included. Suggested, to work with the applicant on a conditional agreement. Discussion continued.
- [6:26:04 PM](#) Samantha Stahlnecker, moving forward today is an appropriate action. She stated the amount of the right of way improvements were more costly than anticipated.
- [6:29:06 PM](#) Cunningham, agrees valid point. This is the first of a few ROW improvements. He has started improvements to building and has worked with staff to really meet all the needs. ROW vacation will allow for what can be done with the building in the future. To accomplish the potential of the property he needs that ROW.
- [6:35:01 PM](#) Discussion for a condition to move forward.
- [6:40:27 PM](#) **Motion by Sauerbrey to approve with condition of a right of way development agreement, seconded by M. Smith, all in favor.**

Administrative Review – NO ACTION ITEM

[6:42:12 PM](#)

Staff Reports and Discussion

- Monday, December 1, 2025
DIF Adoption into Comp Plan DIF Adoption into Comp Plan
PP: Little Haven PP: Little Haven
DR/PUD: Campion Ice House

[6:43:42 PM](#)

Motion to adjourn M. Smith, 2nd Sauerbrey, all in favor.

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda

Agenda
Hailey Planning and Zoning Commission
Monday, December 1, 2025
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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[+1-469-206-8535](tel:+14692068535): [602369677#](tel:602369677#) United States, Dallas

Phone Conference ID: 602 369 677#

Present

Planning and Zoning Commission: Janet Fugte, Dan Smith, Sage Sauerbrey, Mike Smith, Jordan Fitzgerald

Staff: Robyn Davis and Ashley Dyer

5:30:21 PM Call to Order Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

5:31:10 PM Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve the Findings of Fact, Conclusions of Law, and Recommendation of the Vacation Application submitted by SVHD Properties, LLC, to the City of Hailey to vacate the certain section of Right-of-Way along West Carbonate Street, thereby reducing the City's Right-of-Way by approximately 12.75 feet in width along that portion of West Carbonate Street adjacent to Lots 9 & 10, Block 43, Hailey Townsite. **ACTION ITEM**
- **Motion to approve M. Smith, seconded Sauerbrey, all in favor.**

5:31:31 PM Public Hearing - ACTION ITEM

- **PH 1** Consideration of a Preliminary Plat Application by William Delacruz wherein the existing parcel of Lot 5, Block 5, Woodside Subdivision #27 (corner of Winterhaven and Laurelwood Drive) is subdivided into two (2) single family lots, Lot 1 comprising 9,735 square feet in size, and Lot 2 comprising 7,304 square feet in size. This project is located

within the General Residential (GR) Zoning District and is to be known as Little Haven Subdivision. **ACTION ITEM**

[5:32:26 PM](#) Davis introduced project for Brooks who was on the call virtually, mic was not working.

[5:33:14 PM](#) Fitzgerald, does staff review existing plat? Yes, latest recorded plat is vetted.

[5:34:07 PM](#) Sauerbrey, applicant requested 3 townhouses, weren't able to due to restrictions previously discussed. Sprinklers based on hydrant for lot 2? Mike, thinks sprinkler requirement might be due to lack of access with a truck.

[5:38:03 PM](#) Continued sprinkler discussion.

[5:41:33 PM](#) Opened public hearing.

[5:41:54 PM](#) Closed public hearing.

Motion Language:

[5:42:42 PM](#) Approval: Motion to approve the Preliminary Plat Application by William Delacruz wherein the existing parcel of Lot 5, Block 5, Woodside Subdivision #27 (corner of Winterhaven and Laurelwood Drive) is subdivided into two (2) single family lots, Lot 1 comprising 9,735 square feet in size, and Lot 2 comprising 7,304 square feet in size, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (h) are met. **D. Smith motion, second Fitzgerald, all in favor.**

[5:43:53 PM](#) Concurrently open public hearing 2 and 3.

[5:45:50 PM](#) Dyer introduced project. Applicant providing community benefit with the expansion of the café/conference room, Zamboni storage, and additional locker rooms for public use.

[5:46:37 PM](#) Mike Burnel representing Campion Ice House. Turn expands west side of building into girls locker room, conference room, visitor locker room, additional café, Suns locker room will not be open to public for use. Zero lot line would expand building over 36,000 decided PUD over rezone. Addition is going to be sided with corrugated metal to match existing.

[5:51:49 PM](#) Jim Lasky, the whole addition deeded by the county to incorporate into Hailey Ice.

[5:56:35 PM](#) Discussion around bathrooms and what is and isn't being proposed.

[6:00:05 PM](#) Sarah Benson introduced herself, addressed locker room questions from Dan. Spaces have been used beyond imaginable. Allows facility to address use at a better capacity.

[6:02:14 PM](#) Discussions continued. Lighting, siding color, event parking, elevation change East to West. Sky lights? Insulation.

[6:07:51 PM](#) Sauerbrey asked if discussions with ARCH had taken place? At the time the deeded property, was when the building was built. There has not been any recent thorough communication of the current proposals.

[6:09:18 PM](#) At the time of quick deed established it was going to be a zero setback.

[6:11:09 PM](#) Sprinkler discussion took place.

[6:15:22 PM](#) Access road question for fire access lane. Concern of vehicle access on expansion side.

[6:22:14 PM](#) More functionality discussion ensued.

[6:26:13 PM](#) Public Hearing opened.

[6:26:33 PM](#) Public Hearing closed.

[6:26:49 PM](#) Commission discussion.

[6:27:52 PM](#) Fitzgerald is in strong favor for this project and is in favor of community benefit. As well as other commissioners: D. Smith, Sauerbrey (suggested mural), M. Smith agrees with value, Fugate also agrees with importance.

[6:31:55 PM](#) Further discussion of details.

- [PH 2](#) Consideration of a Planned Unit Development (PUD) Application by Campion Ice House, Inc., whereby the Applicant is seeking approval to construct a 6,536 square foot addition to the existing 34,997 square foot Campion Ice House Indoor Recreation Facility, located at 782 S. Main Street (Lot 2A, Block 1 Wertheimer Park) within the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts. In exchange for the existing community benefit of an inclusive indoor recreational facility, the Applicant requests the following waivers to Hailey's Municipal Code:
 - A waiver to the maximum square footage for Grouped Retail/Wholesale of 36,000 square feet. With the proposed addition, the Applicant is proposing a maximum gross floor area of 41,533 square feet.
 - A waiver to the minimum Setback Requirements for the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts. With the proposed addition, the Applicant is proposing a zero-foot (0') setback along the western property line.

ACTION ITEM

[6:40:54 PM](#) Approval: Motion to recommend approval by the Hailey City Council, the Planned Unit Development (PUD) Application by Campion Ice House, for approval to expand the existing 34,997 square foot building by 6,536 square feet, to continue to provide the community with an Active Indoor Recreational Facility, as the project's community benefit, located at 782 S. Main Street (Lot 2A, Block 1, Wertheimer Park) in the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Conditions 1-5 above. **Motion M. Smith, 2nd D Smith, all in favor.**

- [PH 3](#) Consideration of a Design Review Application submitted by Campion Ice House for the construction of a 6,536 square foot addition to the existing 34,997 square foot Indoor Recreational Facility, located at 782 S. Main Street (Lot 2A, Block 1 Wertheimer Park) in the Limited Business (LB) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**

[6:42:18 PM](#) Approval: Motion to approve the Design Review Application, submitted by Campion Ice House, for the construction of a 6,536 square foot addition to the existing Indoor Recreational Facility, located at 782 S. Main Street (Lot 2A, Block 1 Wertheimer Park) in the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (m) will be met. **Motion Sauerbry, 2nd M. Smith, all in favor.**

- [6:49:15 PM](#) [PH 4](#) Consideration of a City-Initiated Amendment to the Hailey Comprehensive Plan to update Part 5, Capital Improvement Plan, to reflect the newly adopted 2025 TischlerBise-Galena Consulting, "2025 Capital Improvement Plan and Development Impact Fee Study", and further repeal Appendix E, 2021 Capital/DIF Impact

Study Update, and adopt the 2025 Capital Improvement Plan and Development Impact Fee Study”, as Appendix E to the Comprehensive Plan. **ACTION ITEM**

[6:49:58 PM](#) Staff introduction Davis, this is the final component to what the council recently adopted. This is housekeeping for the 5 year rotation. This is a component of the comprehensive plan.

[6:51:41 PM](#) Public hearing comment open

[6:52:04 PM](#) Close public hearing

[6:52:19 PM](#) Approval: Motion to Repeal the Comprehensive Plan Appendix E, 2021 Capital/DIF Impact Study Update, and adopt the 2025 Capital Improvement Plan and Development Impact Fee Study, finding that the project is in conformance with the Comprehensive Plan; the project does not jeopardize the health, safety, or welfare of the general public. **Motion by Fitzgerald, 2nd M. Smith, all in favor.**

Administrative Review – NO ACTION ITEM

6:53:12 PM Staff Reports and Discussion

- Monday, December 15, 2025 (meeting to begin at 5pm):
 - o AWMP Update
 - o DR: 220 N 2nd Avenue
 - o PP: 1210 Baldy View

[6:54:30 PM](#) Motion D. Smith, 2nd Sauerbrey, all in favor.

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda

Agenda
Hailey Planning and Zoning Commission
Monday, December 15, 2025
5:00 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Or call in (audio only)

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Phone Conference ID: 602 369 677#

Present

Planning and Zoning Commission: Janet Fugate, Dan Smith, Sage Sauerbrey, Jordan Fitzgerald

Staff: Robyn Davis, Emily Brooks, Ashley Dyer

5:01:14 PM Call to Order Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.
- [5:01:28 PM](#) Chair Fugate thanked Sage Sauerbrey has been greatly appreciated. She hates that P&Z is losing him. But happy as a citizen to have him as a City Council member.
- [5:42:00 PM](#) Public Comment Steven Daniels, liability of ENF, they have a front row seat to traffic backing up. Encouraged to take a look at the traffic study before offering more suggestions for roads.

Consent Agenda - ACTION ITEM

- [CA 1](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Amendment to the Hailey Comprehensive Plan to update Part 5, Capital Improvement Plan, to reflect the newly adopted 2025 TischlerBise-Galena Consulting, "2025 Capital Improvement Plan and Development Impact Fee Study", and further repeal Appendix E, 2021 Capital/DIF Impact Study Update, and adopt the 2025 Capital Improvement Plan and Development Impact Fee Study", as Appendix E to the Comprehensive Plan. **ACTION ITEM**
- [CA 2](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application submitted by Hailey Ice, Inc., for the construction of a 6,536 square foot addition to the existing 34,997 square foot Indoor Recreational

Facility, located at 782 S. Main Street (Lot 2A, Block 1 Wertheimer Park) in the Limited Business (LB) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**

- **CA 3** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Planned Unit Development (PUD) Application by Hailey Ice, Inc., whereby the Applicant is seeking approval to construct a 6,536 square foot addition to the existing 34,997 square foot Indoor Recreation Facility, located at 782 S. Main Street (Lot 2A, Block 1 Wertheimer Park) within the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

- **CA 4** Motion to approve Findings of Fact, Conclusions of Law, and a Preliminary Plat Application by William Delacruz, represented by Galena-Benchmark Engineering, for the parcel located at Lot 5, Block 5, Woodside Subdivision #27 (corner of Winterhaven and Laurelwood Drive), proposing to subdivide the existing residential lot into two (2) new single-family residential lots of 9,735 square feet and 7,304 square feet in size. The existing lot is 17,039 square feet in size, approximately 11,000 square feet larger than the lot size minimum (6,000 square feet) for the property's General Residential Zoning District. **ACTION ITEM**

[5:54:09 PM](#) **D. Smith motion to approve CA1-CA4, 2nd Fitzgerald. All in favor.**

Public Hearing - ACTION ITEM

PH 1 Presentation and Update by GGLO: Airport Way Master Plan

- [5:04:45 PM](#) Mark Zindell, gave Airport Way Master Plan update. Commission discussion ensued.
- [5:47:37 PM PH 2](#) Consideration of a Preliminary Plat Application by Daniel and Mia Ward wherein Lot 7A, Block 4, Woodside Subdivision #1 (1210 Baldy View Drive) is subdivided into two (2) lots; Lot 1, 7AA comprising of 8,906 square feet, and Lot 2, 7AAA comprising of 8,685 square feet. This project is proposed as 1210 Baldy View Drive Subdivision and is located within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**
- [5:48:33 PM](#) Dyer introduced project.

[5:51:01 PM](#) Public hearing opened.

[5:51:13 PM](#) Public hearing closed.

[5:52:58 PM](#) **Approval:** Motion to approve a Preliminary Plat Application by Daniel and Mia Ward, wherein Lot 7A, Block 4, Woodside Subdivision #1 (1210 Baldy View Drive) is subdivided into two (2) lots; Lot 1, 7AA comprising of 8,906 square feet, and Lot 2, 7AAA comprising of 8,685 square feet. This project is proposed as 1210 Baldy View Drive Subdivision and is located in the Limited Residential (LR-1) Zoning District, finding that the application meets all City Standards, and that Conditions (a) through (j) will be met. **Sauerbrey motion, 2nd Fitzgerald, All in favor.**

[5:54:28 PM PH 3](#) Consideration of Design Review Application submitted by James Josel, represented by Thomas Howland of Howland Architecture Studio, Inc., for the construction of a new single-family dwelling, approximately 2,769 square feet in size, as well as a new 696 gross square foot Accessory Dwelling Unit (ADU), to be located above the new garage. This project is

located at 220 North 2nd Avenue (Lot 13A, Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

[5:55:05 PM](#) Brooks introduced project. Applicant came to city last year for a lot line adjustment.

[5:56:34 PM](#) Tom Howland addressed chimney height as a correction from first submittal to meet code, first floor is 1038 feet. Introduced the complete project.

[6:04:14 PM](#) Commission applicant discussion ensued.

[6:34:46 PM](#) Public Hearing Opened

[6:34:57 PM](#) Public Hearing Closed

[6:35:23 PM](#) Sauerbry commended on net zero home.

[6:37:08 PM](#) More discussion and comments with commission and the applicant.

[6:43:19 PM](#) **Approval:** Motion to approve this a Design Review Application by James Josel for the construction of a new 2,884 square foot single-family residence and 696 square foot Accessory Dwelling Unit (ADU), to be located at 220 N 2nd Avenue (Lot 13A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning District., finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions with modifications (a) through (o) are met. **Motion D. Smith, 2nd Sauerbrey, all in favor**

[6:45:17 PM](#) **Staff Reports and Discussion**

- Monday, January 05, 2026:
 - o PP: Della Mountain Suites
 - o DR: Della Mountain Suites
 - o PP: Text Amendment Cottage Code

[6:47:17 PM](#) **Motion to adjourn Sauerbrey, 2nd D. Smith, all in favor.**

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda



Staff Report
Hailey Planning and Zoning Commission
Regular Meeting of January 20, 2026

To: Hailey Planning & Zoning Commission
From: Ashley Dyer, Community Development City Planner

Overview: Consideration of a Conditional Use Permit Application by Kimberly Sesnon, for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District.

Hearing: January 20, 2026

Applicant: Kimberly Sesnon
Location: 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite)
Zoning: General Residential (GR) and Townsite Overlay (TO)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 31, 2025, and mailed to adjoining property owners on December 31, 2025. The onsite notice was posted to the property on January 10, 2026.

Application: The Applicant is proposing an owner occupied four-room Bed and Breakfast lodging establishment within an existing single-family home. The residence was originally remodeled in early 2000 with the intent of functioning as a Bed and Breakfast, including ensuite guest rooms, appropriate safety updates, and expanded common areas, all of which remain intact today. Operations are proposed to be modest, quiet, and will remain residential in character, like that of the previous B&B hosted here – The FeatherBed Inn, a successful lodging accommodation for many years. The owner intends to reside onsite full-time.

The parcel is located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, which allow for lodging establishments, such as this, via an approved Conditional Use Permit (CUP) Application. The proposed use further aligns with the GR Zoning District’s purpose. Specifically, **the purpose of the GR district is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood. (Ord. 1191, 2015)**

The proposed use aligns with the purpose of the General Residential District and complements the existing neighborhood via its residential character while offering a quaint lodging amenity. The Dandelion is proposed to be hosted by the owner in this private residence, offering a home away from home for travelers seeking a refreshing experience that provides overnight accommodation and breakfast, while preserving the intent of the Old Hailey residential character.

Procedural History: The Conditional Use Permit Application was submitted on December 2, 2025, and certified complete on December 30, 2025. A public hearing before the Planning and Zoning Commission

for approval or denial of the project will be held on January 20, 2026, in the Hailey City Council Chambers and virtually via Microsoft Teams.

General Requirements for all Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.020	<p>Complete Application: 17.11.020 The application shall include at least the following information:</p> <ul style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property. f. Description of proposed conditional use. g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. m. A fee established in a separate ordinance approved by the Council.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering: <i>No comments</i></p> <hr/> <p>Life/Safety: <i>No comments</i></p> <hr/> <p>Water and Sewer:</p> <hr/> <p>Building: <i>No comments</i></p> <hr/> <p>Streets: <i>No comments</i></p> <hr/> <p>Parks: <i>No comments</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			<i>Staff Comments</i>	<p><i>No signage is proposed at this time; however, if the Applicant decides to add signage, a Sign Permit Application shall be required prior to the installation of any signage. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> e. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> a. Overlighting; b. Energy waste; c. Glare; d. Light Trespass; e. Skyglow. f. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. g. Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator. h. All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in subsection 17.08C.040.02, Type of Luminaires, of this Chapter.
			<i>Staff Comments</i>	<p><i>N/A, the Applicant is not proposing to install any additional exterior lighting. The existing lighting meets dark sky requirements and is compliant with city code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p>
			<i>Staff Comments</i>	<p><i>Per the city's code, the Applicant is required to provide one (1) onsite parking space per 1,000 square feet of commercial space. While the dwelling unit is residential in nature, people will be reserving rooms, as needed, and be traveling to and from; therefore, commercial parking requirements apply.</i></p> <p><i>The total square footage of the residence is 3,966 square feet. The Applicant is required to provide four (4) onsite parking spaces for the use.</i></p> <p><i>The site currently has a two (2) car garage and covered parking for two (2) additional cars. There is also expanded parking within the public right-of-way, which can be used for at least four (4) cars (along First Avenue and Spruce Street). As such, there are a total of eight (8) available parking spaces on and around the site. Onsite parking requirements for the proposed use have been met.</i></p>

				<p>LYNN McDONALD RESIDENCE LOTS 18 & 14, BLOCK 58 HAILEY SCALE: 1" = 10'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.020.08(B)</p>	<p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p> <p><i>Staff Comments</i> The site is serviced by an alley; however, the existing parking configuration is located off Spruce Street and N 1st Avenue. Any additional onsite parking shall be accessed via the alley and not from Spruce Street or First Avenue. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.020.08(C)</p>	<p>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i> The existing site access is achieved via Spruce Street and First Avenue, as shown below.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(D)	D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
			<i>Staff Comments</i>	<i>N/A, as no onsite loading spaces are required with this Conditional Use Application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Staff Comments</i>	<i>N/A. No subdivision access will be impacted by this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Staff Comments</i>	<i>The existing configuration allows vehicles to back from the parking area into the public right-of-way from Spruce Street and First Avenue, which is permitted in the GR Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Staff Comments</i>	<i>N/A, as the proposed project does not include any stacked parking for the existing development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Chapter 17.05: Bulk Requirements	<p>SCI-SO District:</p> <ul style="list-style-type: none"> ● Maximum Building Height: 35 feet ● Minimum Setbacks: <ul style="list-style-type: none"> ○ Front Setback: 20 feet ○ Side and Rear Yard Setback: 8/side and 10/rear. ● Maximum Lot Coverage: 40
			<i>Staff Comments</i>	<i>The building is developed, and all bulk requirements have been met. The proposed Application does not alter nor change the existing bulk requirements.</i>
Chapter 17.11 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.010	<p>Compliance with the Comprehensive Plan</p> <p>17.11.010: Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.</p>
			<i>Staff Comments</i>	<i>The Comprehensive Plan calls for economic diversity to support a variety of projects and programs that meet the needs generated by various segments of</i>

			<p><i>the population. The proposed use aligns with the following Goals of Hailey' Comprehensive Plan:</i></p> <p>Goal 3.5.1 – Ensure that Hailey is a vibrant, dynamic, attractive, and affordable place to live, recreate, and operate businesses.</p> <ul style="list-style-type: none"> • Objective – Maintain the charm, character, and integrity of established neighborhoods while allowing for the gradual infill of similar and appropriate land uses. <ul style="list-style-type: none"> • <i>Develop and adopt zoning standards that allow for the development of neighborhood-serving commercial uses that do not detract from the vibrancy of the commercial core by establishing strict limits on the location, scale, intensity, and design of allowed uses.</i> <p><i>The proposed Application provides an attractive, compatible lodging amenity within Hailey that epitomizes economic diversity and fully embeds a neighborhood-serving commercial use into Old Hailey that does not detract from Downtown, nor the residential character of the neighborhood.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.11.040.01(a)</p> <p>17.11.040.01 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p> <p><i>Staff Comments</i></p> <p><i>The City recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, use, and circulation. In order to protect public welfare, and to further ensure that there's conformance with our Comprehensive Plan, a Conditional Use Permit has been submitted.</i></p> <p><i>The proposed use provides an owner-occupied Bed and Breakfast within an existing single-family residence. The use allows for a small-scale lodging establishment that offers overnight accommodation and breakfast. The use is compatible with other uses in the GR Zoning District.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.11.040.01(b)</p> <p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p> <p><i>Staff Comments</i></p> <p><i>The proposed use is located within an existing single-family development within the GR Zoning District. The proposed use does not change nor alter the character of the surrounding neighborhood.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(c)	c. Will not be hazardous or disturbing to existing or future neighboring uses;
			<i>Staff Comments</i>	<i>The proposed use will not have a negative impact on the surrounding properties. Vehicular traffic for the Bed and Breakfast will be minimal and comparable to other residential uses. There are four (4) rooms available for accommodation, and traffic from the use will be comparable to visiting friends or families at their residence. All activity will take place inside the building and property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(d)	d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and
			<i>Staff Comments</i>	<i>The site is currently serviced by essential public facilities and services.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(e)	e. Will not create excessive additional requirements at public cost for public facilities and services; and
			<i>Staff Comments</i>	<i>At this time, no additional cost will be incurred from any public agencies or facilities for the operation of said use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(f)	f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and
			<i>Staff Comments</i>	<i>The effects of the proposed use on adjoining properties will not be hazardous or disturbing to existing or future neighboring uses. Vehicular traffic for the Bed and Breakfast will be minimal and comparable to other residential uses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(g)	g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;
			<i>Staff Comments</i>	<i>All vehicular approaches to the property exist off Spruce Street and N. 1st Avenue.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(h)	h. Will not result in the destruction, loss or damage of a natural, scenic or historic feature.
			<i>Staff Comments</i>	<i>No trees or mature landscaping, scenic or historic features will be removed from the site as the site is developed.</i>

17.11.060 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 17.11.060(A) Require conformity to approved plans and specifications.**
- 17.11.060(B) Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping, and lighting.**
- 17.11.060(C) Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 17.11.060(D) Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 17.11.060(E) Limit time of day for the conduct of specified activities.**
- 17.11.060(F) Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 17.11.060(G) Require dedications and public improvements on property frontages.**
- 17.11.060(H) Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 17.11.060(I) Minimize adverse impact on other development.**
- 17.11.060(J) Control the sequence, timing and duration of development.**
- 17.11.060(K) Assure that development is maintained properly.**
- 17.11.060(L) Designate the exact location and nature of development.**
- 17.11.060(M) Require the provision for on-site or off-site public services.**
- 17.11.060(N) Require more restrictive standards than those generally found in this Ordinance.**
- 17.11.060(O) Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 17.11.060(P) Set a limit on the duration of the permit when deemed necessary.**
- 17.11.060(Q) Allow for subsequent periodic review.**

Summary: Section 17.11.010 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 17.11.090 of the Hailey Municipal Code. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any Conditional Use Permit approved by the Commission.

By ordinance, the Commission is required to decide to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons, therefore. The Commission is required to review the application, all

supporting documents and plans, and Section 17.11 of the Hailey Municipal Code, in making their decision.

The Commission should make Findings of Fact related to the criteria of Section 17.11, (a) through (q).

Suggested Conditions: The following conditions are suggested to be placed on approval of this application:

- a) All Fire Department and Building Department requirements shall be met in regard to all maintenance, administrative, and other functions of the proposed project.
- b) A Sign Permit Application shall be submitted prior to the installation of any signage.
- c.) Any additional onsite parking shall be accessed via the alley and not from Spruce Street or First Avenue.
- d.) The Applicant shall meet with the Fire Chief to determine the current load requirements based on the use and the design.

Motion Language

Approval: Motion to approve the Conditional Use Permit Application by Kimberly Sesnon, for the implementation of a Bed and Breakfast, to be known as The Dandelion SV, and located at 416 N 1st Avenue (Lots 13 & 14, Block 58), in the General Residential (GR) and Townsite Overlay (TO) Zoning District, finding that the application meets each of the Criteria for Review, (a) through (b) cited in the Hailey Municipal Code, that the Conditional Use Permit complies with the Comprehensive Plan, and that Conditions (a) through (d) will be met.

Denial: Motion to deny the Conditional Use Permit Application by Kimberly Sesnon, for a Bed and Breakfast lodging establishment to be known as the Dandelion SV LLC, located at 416 N 1st Avenue, in the General Residential (GR) and Townsite Overlay (TO) Zoning District, finding that _____[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____[the Commission should specify a date].

**Hailey Bed & Breakfast
Conditional Use Permit Packet
The Dandelion SV, LLC**

Prepared for Submission to the City of Hailey Planning & Zoning Commission
Proposed Use: Four-Room Owner-Occupied Bed & Breakfast
Design Theme: Mountain Modern — clean lines, warm neutrals, natural textures

1. Description of Proposed Use

The proposed use is the operation of a small, owner-occupied four-room Bed & Breakfast within an existing single-family home in Hailey, Idaho. The residence was originally remodeled in the early 2000s with the intent of functioning as a Bed & Breakfast, including ensuite guest rooms, appropriate safety updates, and expanded common areas—all of which remain intact today.

Operations will be small-scale, quiet, and fully residential in character, with the owner living on-site full-time. No exterior changes or construction are proposed.

2. Impact Evaluation

Noise impacts are expected to remain consistent with normal residential living. Quiet hours (10 p.m.—7 a.m.) will be maintained.

Glare is minimized through existing downward-facing lighting compliant with dark-sky principles.

Odor will not exceed typical residential food preparation, as breakfast is prepared in the existing home kitchen.

Traffic is minimal and comparable to visiting friends or family. All guest vehicles park on-site within the existing driveway, creating no street parking impact.

3. Compatibility Statement

The proposed use is fully compatible with surrounding residential properties. The structure already includes features designed for guest lodging, and operations remain residential in scale.

The Bed & Breakfast supports Hailey's Comprehensive Plan goals, including:

- Responsible tourism
- Maintaining neighborhood character
- Supporting local economic vitality
- Utilizing existing housing efficiently
- Owner occupancy ensures thoughtful management and ongoing community stewardship.

4. Site Plan Narrative

The property requires no structural alterations and maintains its existing landscaping and natural screening.

Parking is fully contained on-site. Access and circulation remain unchanged, using the existing residential driveway.

Exterior lighting is minimal and downward-directed, preserving the quiet mountain character of the neighborhood.

Waste disposal continues through standard residential systems with no commercial waste volume.

5. Findings of Fact & Conclusions of Law

All required criteria for a Conditional Use Permit are satisfied:

- The use is permitted within the zoning district upon CUP approval.
- The operation is compatible with the surrounding neighborhood.
- No undue noise, traffic, odor, or glare will result.
- No public infrastructure or city services are burdened beyond normal residential use.
- The project supports the Hailey Comprehensive Plan.
- The use is in the public interest, offering community-oriented lodging while retaining neighborhood character.

FeatherBed Inn

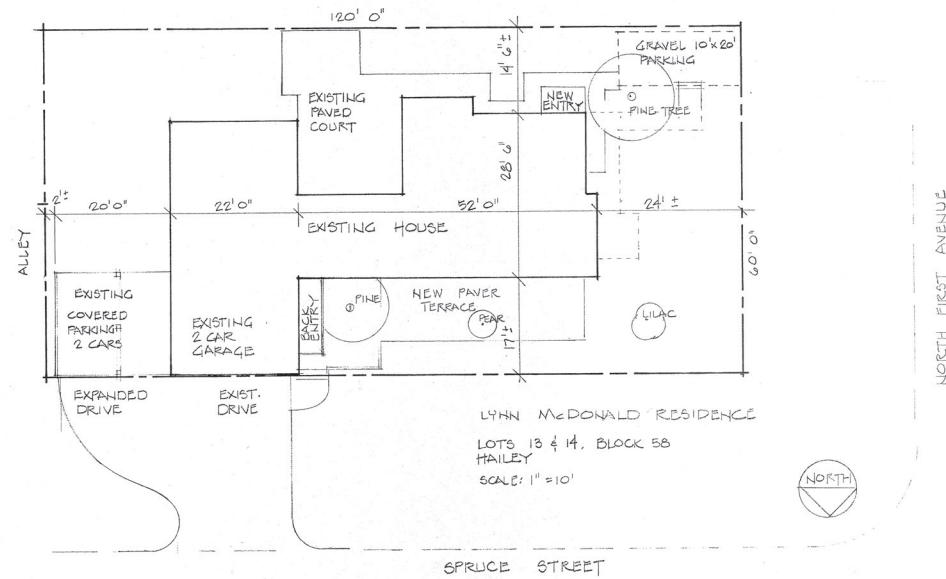
Square Footage: Existing - first floor living space	1722 sq. ft.
garage & carport	644 sq. ft.
second floor living space	1472 sq. ft.
attic space	430 sq. ft.
New - cold entry	32 sq. ft.
Enclosed - cold back entry	56 sq. ft.

Construction consists of raising the roof over two bedrooms and a bath and raising the attic roof for a third bedroom and an additional bath.

Typical insulation in remodeled area: trussed areas - R-38; sloped h-pair ceiling - R-30; exterior walls - R-19; remove second floor sheathing to fill joist space with sound insulation; install sound insulation between bedrooms and around bathrooms.

All new drain lines to be cast iron within the building.

Remodeled areas to have floor radiant heat.



LYNN McDONALD RESIDENCE
 LOTS 13 & 14, BLOCK 58
 HAILEY
 SCALE: 1" = 10'

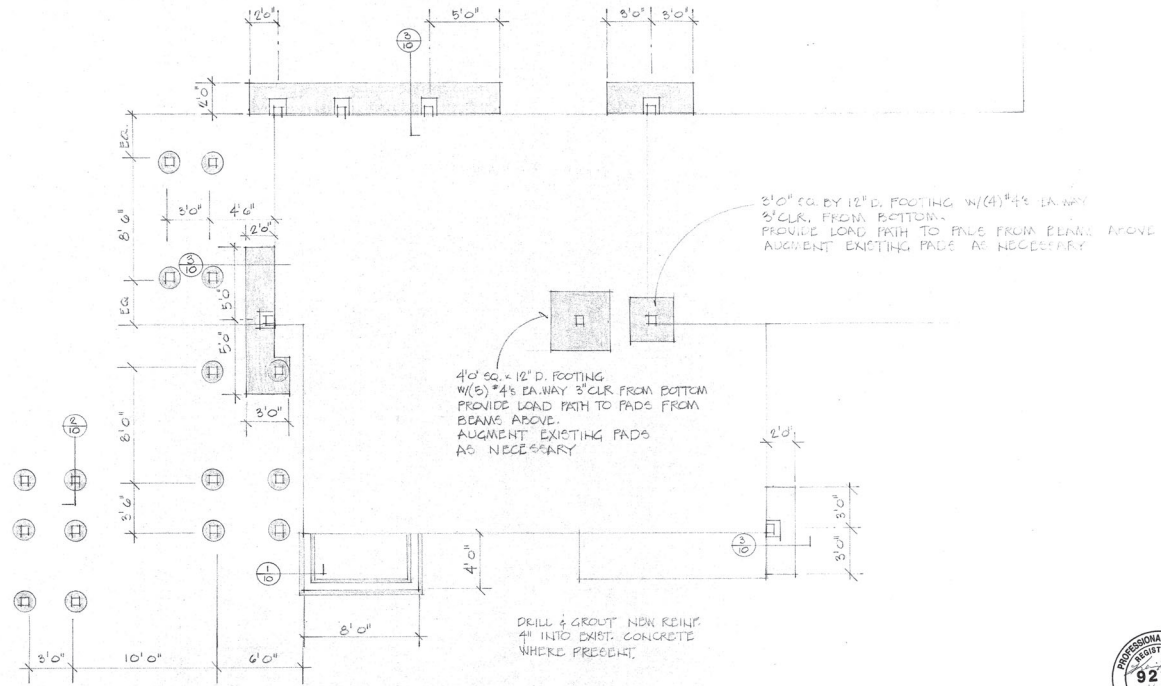


Linda Bergerson
 ARCHITECT
 205 BOCK ST. SW
 HAILEY, IDAHO 83401
 PHONE: 208-738-4444
 FAX: 208-738-4444
 WWW.LINDABERGERSON.COM

416 FIRST AVE NE-FIT
 HAILEY IDAHO

FeatherBed Inn
 ADDITION TO McDONALD RESIDENCE

16 JAN 04



15 JAN 04



ADDITION TO MCDONALD'S RESIDENCE

FOUNDATION PLAN
SCALE 1/4" = 1'-0"

Linda Bergerson
REGISTERED PROFESSIONAL ENGINEER
NO. 9215
STATE OF IDAHO
1/28/84
KEVIN M. MORRIS





Linda Bergerson
 ARCHITECT
 1101 W. HARRIS STREET
 WAKE FOREST, NC 27157
 PHONE: 336.853.1111
 FAX: 336.853.1112
 WWW: WWW.LINDA-BERGERSON.COM

ROOF FRAMING
 SCALE: 1/4" = 1'-0"

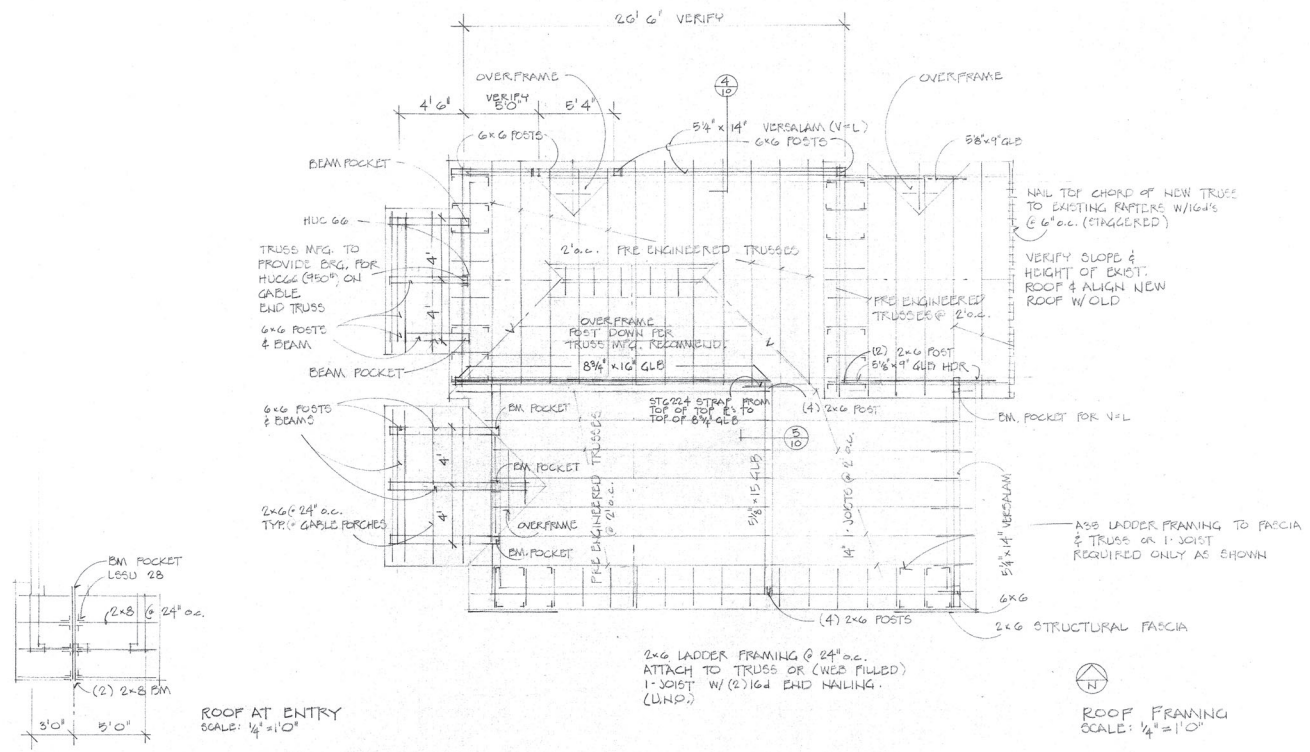
ADDITION TO McDONALD RESIDENCE

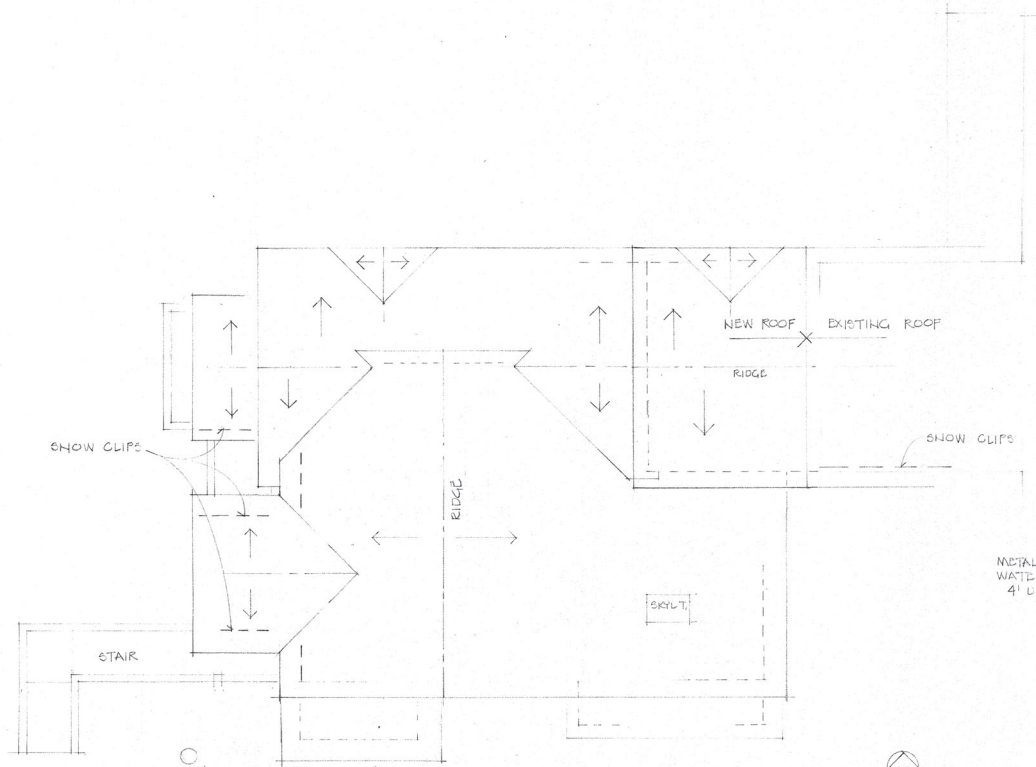
15 JAN 04



NOTES:

- IT IS IMPERATIVE THAT FULL HEIGHT BLOCKING BE USED ON THIS REMODEL TO TIE THE ROOF DIAPHRAGM TO THE EXISTING WALL. FULL NAILING OF THIS BLOCKING IS REQUIRED. CONTACT STRUCTURAL ENGINEER (KEVIN MURAK .(208) 809-0493) PRIOR TO ROUGH FRAMING INSPECTION
- EXT. WALL SHEATHING: 1/2" OSB W/ 10d's @ 4" o.c. EDGE NAILING & 10d's @ 12" o.c. FIELD NAILING. EXIST'G. SIDING MAY BE USED IF IT MEETS THIS CRITERIA.





METAL ROOFING OVER BURR PAPER
 WATERPROOF MEMBRANE FLASHING
 4" UP EITHER SIDE ALL VALLEYS

ROOF PLAN
 SCALE: 1/4" = 1'-0"

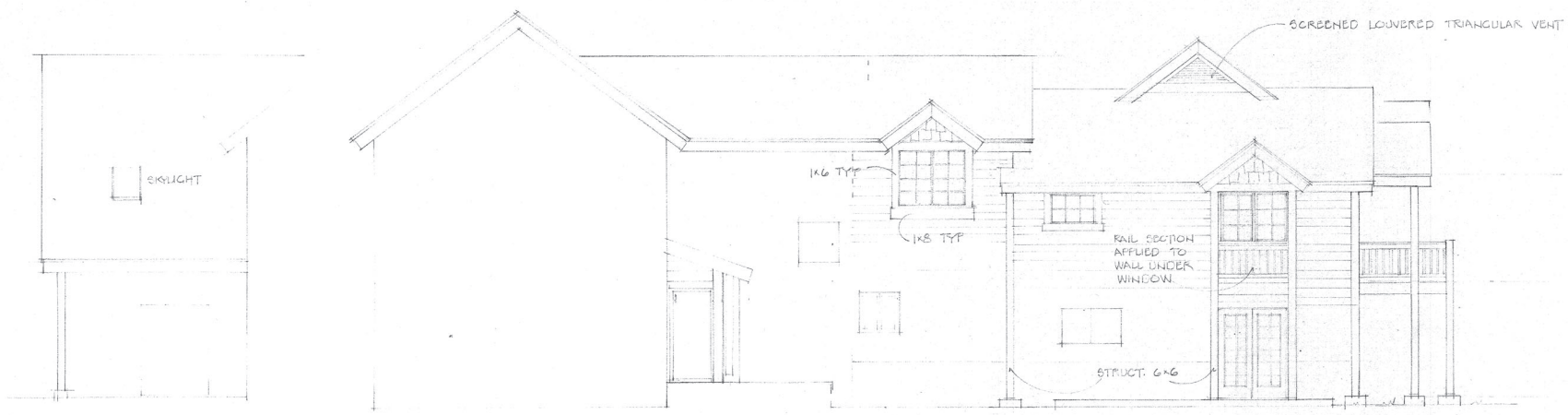


Linda Bergerson
 ARCHITECT
 No. 1252
 STATE OF OREGON
 1000 NE Oregon Street
 Portland, Oregon 97232-3144
 503.255.1234

ROOF PLAN

ADDITION TO MCDONALD RESIDENCE

16 JAN 04



WEST ELEVATION

NORTH ELEVATION



WEST ELEVATION
NORTH FIRST AVENUE

SOUTH ELEVATION

STAIR:
15 R @ 7"
T @ 11"
STEEL GRATE TREADS



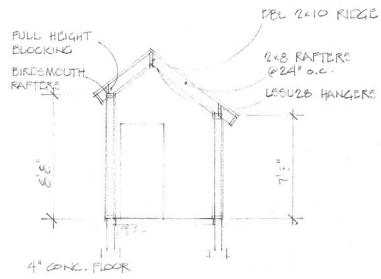
Linda Bergerson
ARCHITECT
1002
LINDA BERGERSON ARCHITECT
1002
STATE OF IDAHO

EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

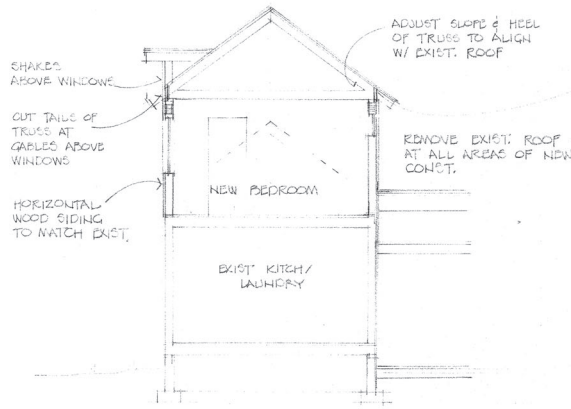
ADDITION TO McDONALD RESIDENCE

16 JAN 04

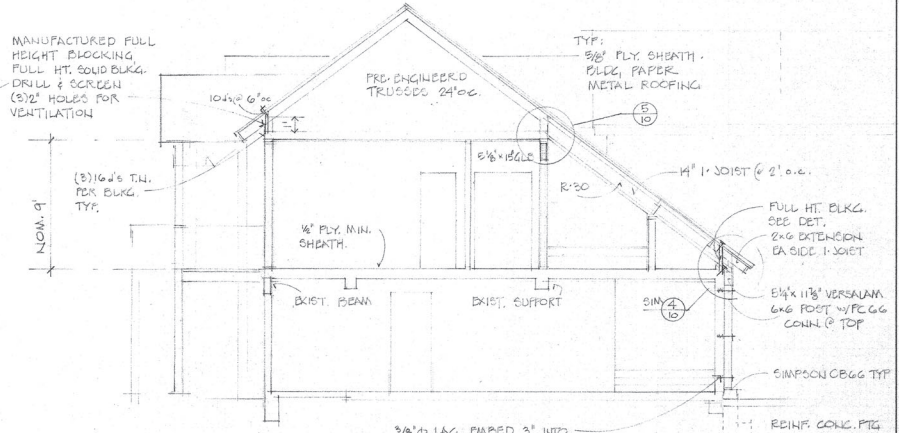




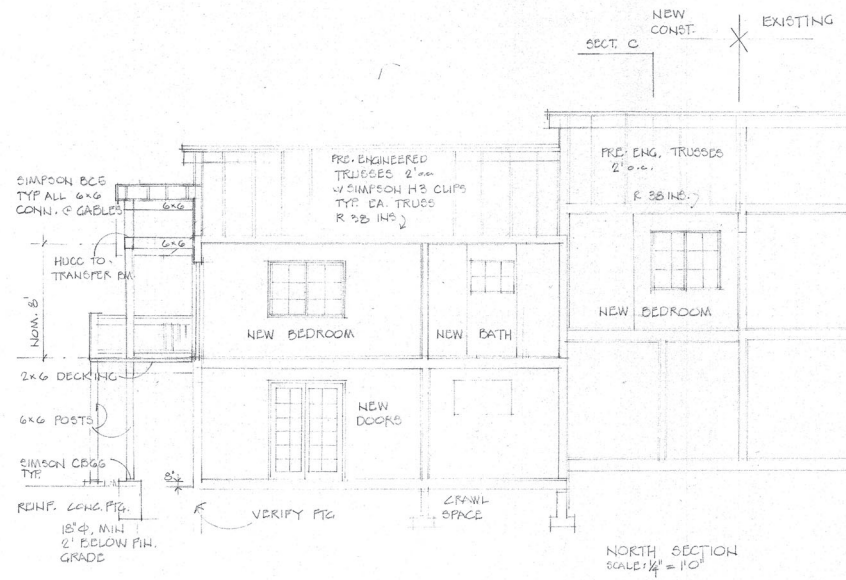
SECTION @ ENTRY



SECTION C
SCALE: 1/4" = 1'0"



SOUTH SECTION
SCALE: 1/4" = 1'0"



NORTH SECTION
SCALE: 1/4" = 1'0"



Linda Bergerson
ARCHITECT
P.O. BOX 778
MADISON, MN 56101
PHONE: (507) 781-4444
FAX: (507) 781-4444
WWW.LINDABERGERSONARCHITECT.COM

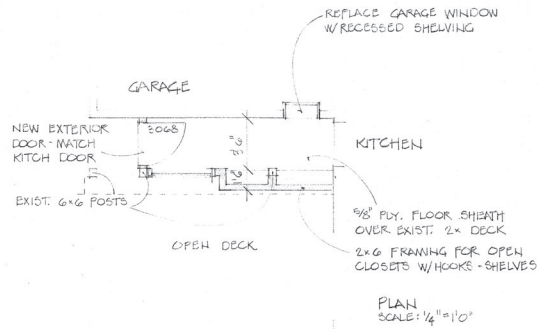
BUILDING SECTIONS
SCALE: 1/4" = 1'0"

ADDITION TO MCDONALD RESIDENCE



15 JAN 04

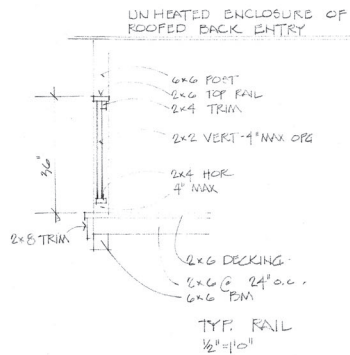
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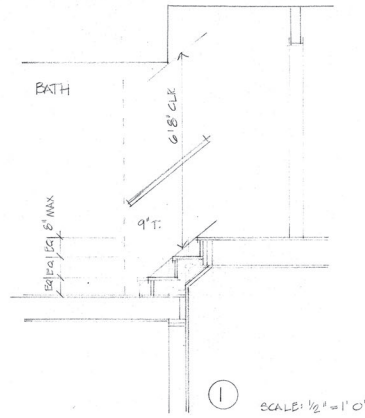
PLAN
SCALE: 1/4" = 1'0"



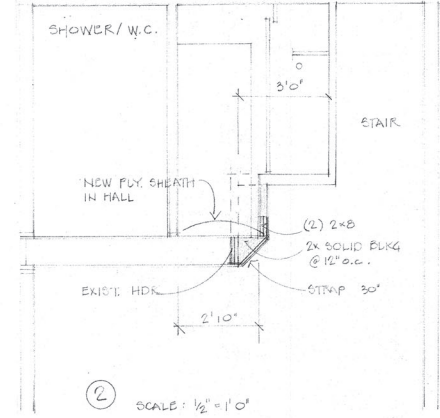
ELEVATION
SCALE: 1/4" = 1'0"



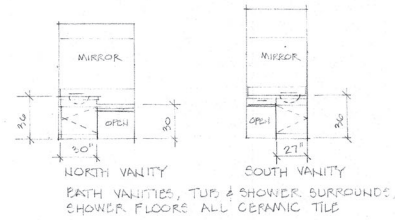
TYP. RAIL
1/2" = 1'0"



① SCALE: 1/2" = 1'0"



② SCALE: 1/2" = 1'0"



BATH VANITIES, TUB, & SHOWER SURROUNDS.
SHOWER FLOORS ALL CERAMIC TILE

WINDOW SCHEDULE

downstairs		
north	double door	5068
west	slider	4040 back entry
south	fixed glass	2020
upstairs		
north	dbl.casmt.	5040
	awning	3020
	dbl.casmt.	5036
west	double door	5068
	double door	5068
south	double hung	2646
	double hung	2646
	double hung	2646
east	skylight	22'x40"

All windows to be wood clad
Glazing to be low e



Linda Bergerson
ARCHITECT
1000 East 13th Street
Ann Arbor, MI 48106
734.769.1111
www.linda-bergerson.com

SECTIONS - DETAILS

ADDITION TO MCDONALD RESIDENCE

16 JAN 04



SECTION 1

- I. DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STRUCTURAL ENGINEERS WET STAMP IS AFFIXED TO DRAWINGS.
- II. ANY DISCREPANCIES IN THE DRAWINGS, NOTES AND SPECIFICATIONS SHALL BE REPORTED TO OWNERS REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
- III. THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION.
- IV. CONTRACTOR TO SUBMIT A REQUEST TO ENGINEER/ARCHITECT FOR ANY SUBSTITUTION OF MATERIALS OR PRODUCTS SPECIFIED ON THE DRAWINGS.
- V. THE FOLLOWING NOTES APPLY UNLESS SHOWN OTHERWISE
- VI. THESE DRAWINGS HAVE BEEN PREPARED SOLELY FOR THE USE IN THE CONSTRUCTION OF A PROPOSED BUILDING TO WHICH THESE NOTES ARE ATTACHED. THE DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART FOR FABRICATION OR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT THE WRITTEN CONSENT OF THE ENGINEER

SECTION 2

- I. ROOF LOADING:

PITCHED ROOF:	LIVE LOAD (SNOW)	100 PSF
	DEAD LOAD (TRUSS)	25 PSF
	TOTAL LOAD	125 PSF
- II. FLOOR LOADING:

	LIVE LOAD	40 PSF
	DEAD LOAD	10 PSF
	TOTAL LOAD	50 PSF
- III. WIND LOADING: 90 MPH (3 SECOND GUST) EXPOSURE B PER IBC FIGURE 1609
- IV. SEISMIC LOADING: SEISMIC CATEGORY I, SITE CLASS D PER IBC
- V. DESIGN SOIL PARAMETERS
2000 PSF BEARING PRESSURE ASSUMED PER IBC TABLE 1804.2 CLASS 4 MATERIAL(S).

SECTION 3 - CONCRETE

- I. GENERAL REQUIREMENTS
STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. MINIMUM CEMENT CONTENT SHALL BE 5 SACKS/CU.YD. MAXIMUM SIZE AGGREGATE SHALL BE 3/4" SLUMP NOT TO EXCEED 4". PROVIDE 4-8 % AIR ENTRAINMENT WHEN SUBJECT TO FROST.
- II. CAST IN PLACE CONCRETE
 - A. CONCRETE FORM WORK TO BE OF ADEQUATE SIZE AND STRENGTH. PROPERLY BRACED TO PREVENT SAGGING OR BULGING. PROTECT ALL CONCRETE FROM FREEZING TEMPERATURES. REFER TO DRAWING FOR DIMENSIONS OF CONCRETE MEMBERS AND SIZE AND LOCATION OF ALL ENFORCEMENT.
 - B. FOOTINGS
NO FOOTING SHALL BE PLACED ON DISTURBED SOIL (IF DISTURBED, COMPACT SOIL IN 6" LIFTS TO 90% OF MAXIMUM DRY DENSITY PER ASTM D1557). FOOTINGS SHALL BE STEPPED DOWN ONE (1) VERTICALLY TO ONE AND ONE HALF (1-1/2) HORIZONTALLY.
 - C. FOUNDATION WALLS
REINFORCE PER DRAWINGS. DO NOT BACKFILL WALLS UNTIL MAIN FLOOR IS FRAMED AND SHEATHED AND CONCRETE HAS CURED A MINIMUM OF 7 DAYS. USE HAND OPERATED COMPACTOR EQUIPMENT ADJACENT TO NEWLY PLACED CONCRETE BASEMENT WALLS.

- D. CONCRETE PADS AND THICKENED SLABS
REFER TO DRAWINGS AS TO SIZE AND REINFORCEMENT.
- E. CONCRETE SLABS
SLABS ON GRADE, AS NOTED ON THE DRAWINGS, TO BEAR ON 6" COMPACTED GRAVEL BASE. MINIMUM SLAB REINFORCEMENT TO BE #3'S @ 18" O.C. BOTH WAYS, PLACED 1" CLEAR FROM TOP FACE (U.N.O. ON PLANS).
- F. FIREPLACE FOOTINGS AND CMU WALLS
REFER TO DRAWINGS.
- G. REINFORCEMENT
REINFORCEMENT SHALL BE ASTM A615, GRADE 60 FOR ALL BARS. ALL REBAR LAPPED 30 TIMES DIAMETER OR 24" WHICHEVER IS GREATER. REBAR AT FOOTING TO HAVE 3" CLEAR COVER WHEN CAST AGAINST EARTH, 2" WHERE EXPOSED TO AIR OR BACKFILL (U.N.O. ON DRAWING). PROVIDE CORNER BARS WITH 18" LEGS AT THE CORNERS OF ALL WALL AND FOOTINGS. SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT.

- H. ANCHOR BOLTS
ANCHOR BOLTS TO BE ASTM A307, 1/2" x 10" EMBEDDED IN FOUNDATION WALLS @ 48" O.C. (MAX) U.N.O. (SEE FOUNDATION PLAN FOR REQUIREMENTS AT SHEAR WALL). BOLTS TO BE WITHIN 12" (MAX.) & 4" (MIN) TO ENDS OF SILL PLATES (COORDINATE WITH GENERAL CONTRACTOR) MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE.
 1. ALL POSTS SUPPORTED BY ISOLATED FOOTINGS TO HAVE POST ANCHORS UNLESS BRACED IN STUD WALLS.
 2. REFER TO DRAWINGS FOR HOLDOWN REQUIREMENTS. INSTALL REQUIRED EMBEDDED ITEMS PER MANUFACTURER'S CATALOG TO ENGAGE HOLDOWNS
 3. 3/16"x2"x2" SQUARE STEEL PLATE WASHERS SHALL BE PLACED BETWEEN SILL PLATE AND NUT PER IBC 2308.12.8.
- J. CONSTRUCTION AND CRACK CONTROL JOINTS
ALL SURFACES OF CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVE DUST, CHIPS AND OTHER FOREIGN MATERIAL PRIOR TO PLACING ADJACENT CONCRETE. CRACK CONTROL JOINTS IN SLABS SHALL HAVE A MAXIMUM SPACING OF 15'-0" IN BOTH DIRECTIONS AND AT RE-ENTRANT CORNERS.

- K. VAPOR BARRIER
VAPOR BARRIER TO BE 6 MIL POLYETHYLENE SHEET PLACED ON UNDISTURBED SOIL. VAPOR BARRIER UNDER SLAB ON GRADE IF REQUIRED. IF SLAB WILL HAVE FLOOR COVERING APPLIED, PLACED ON COMPACTED GRAVEL WITH 3/4" TO 1 1/2" OF DAMP SAND BETWEEN POLYETHYLENE VAPOR BARRIER AND CONCRETE.
- L. EMBEDDED ITEMS FOR HD TYPE HOLDOWNS TO BE ASTM A307 HEX HEADED BOLT IN THE DIAMETER AS SPECIFIED BY THE MANUFACTURER FOR THE HD. ALL BOLTS TO HAVE 3" MIN. CONCRETE SIDE COVER. EMBEDMENT DEPTHS ARE 15" FOR BOLTS UP TO AND INCLUDING 3/4" DIA, 24" DEPTH FOR BOLTS OVER 3/4". TYPICAL REINFORCEMENT TO PASS UNINTERRUPTED ALONGSIDE HOLDOWN AS APPLICABLE. COUPLER NUTS MAY BE USED TO EXTEND THE HOLDOWN ANCHOR THROUGH THE FLOOR PLATE TO THE SHEAR WALL CHORD.
- M. EPOXY ANCHORS
EPOXY GROUTED ANCHORS SHALL CONFORM TO SIMPSON CO. ET EPOXY-TIE ADHESIVE FOR TEMPERATURES ABOVE 40 F, ET22C. EPOXY-TIE ADHESIVE FOR TEMPERATURES OF 25' F TO 40' F OR ENGINEER APPROVED EQUIVALENT. INSTALL PER MANUFACTURER'S INSTRUCTIONS. WIRE BRUSH AND BLOW OUT HOLES.

SECTION 4 - FRAMING LUMBER

- I. SAWN STRUCTURAL LUMBER
 - A. SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) NO. 2 OR BETTER FOR 2 INCH AND 4 INCH NOMINAL LUMBER AND DF-L NO. 1 OR BETTER FOR 6 INCH NOMINAL AND LARGER STRUCTURAL MEMBERS (U.N.O.). STUD GRADE MAY BE USED FOR STUDS.
 - B. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING ON WOOD.
 - C. METAL HANGERS AND CONNECTORS SHALL BE FULLY NAILED OR BOLTED UNLESS OTHERWISE NOTED ON THE DRAWINGS. METAL HANGERS OR CONNECTORS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED BY SIMPSON COMPANY. METAL HANGERS OR CONNECTORS BY OTHER MANUFACTURERS MAY BE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER. ALL SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.
 - D. PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS. PROVIDE SOLID VERTICAL BLOCKING IN FLOOR SPACE TO MATCH STUD BUNDLES OR SOLID COLUMN ABOVE AND BELOW. VERTICAL BLOCKING AT WOOD "I" JOISTS SHALL BE 1/16" LONGER THAN JOIST IS DEEP. MINIMUM POST TO BE TWO 2x STUDS BEARING AT EACH END OF HEADER U.N.O. FOR BEAMS FRAMING PERPENDICULAR TO BEARING WALLS PROVIDE FULL WIDTH BEAM POCKET WITH FILLER AS REQUIRED AND KING STUD BOTH SIDES. STITCH STUD BUNDLES TOGETHER WITH 16d COMMON @ 18" O.C. MAXIMUM (U.N.O.) WHERE FLOOR BEAMS ARE FRAMED FLUSH WITHIN FLOOR AND TOP FLANGE HANGERS ARE SPECIFIED. BEAMS ARE TO BE BLOCKED TO JOIST HEIGHT WITH FULL WIDTH DF-L SPACER AS REQUIRED.
- II. STRUCTURAL GLUED-LAMINATED TIMBER
ALL GLUED-LAMINATED TIMBER SHALL BE COMBINATION 24F-V4 FOR SIMPLY SUPPORTED BEAMS, COMBINATION 24F-V8 FOR BEAMS CONTINUOUS OVER SUPPORTS, AND COMBINATION L2 FOR COLUMNS (U.N.O.) FABRICATION TO BE IN ACCORDANCE WITH AITC A190.1 AND ASTM D3737. PROVIDE WET-USE ADHESIVES MAXIMUM MOISTURE CONTENT SHALL BE 15%. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING ON WOOD. WOOD BEARING ON OR WITH 1" OF MASONRY OR CONCRETE SHALL BE TREATED WITH AN APPROVED PRESERVATIVE. SEAL END GRAIN OF ALL EXTERIOR EXPOSED BEAMS INCLUDING NON-LOAD BEARING ARCHITECTURAL BEAMS.
- III. MANUFACTURED WOOD "I" JOISTS
WOOD "I" JOISTS AS MANUFACTURED BY THE TRUS JOIST CORPORATION OR EQUIVALENT SHALL BE DESIGNED AND CERTIFIED BY MANUFACTURER TO SUPPORT LOADINGS AS SHOWN ON THE DRAWINGS. SUBSTITUTION OF PRODUCTS BY OTHER MANUFACTURERS REQUIRES APPROVAL OF ENGINEER. JOISTS SHALL BE ERECTED, INSTALLED, AND BRACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- IV. LAMINATED VENEER LUMBER (LVL)
PRODUCTS SPECIFIED HEREIN AS ML OR M=LL AND PL SHALL CONFORM TO THE PERFORMANCE CRITERIA OF LVL AND PSL PRODUCTS AS MANUFACTURED BY TRUS JOIST AS MICROLAM AND PARALLAM. SUBSTITUTES ARE ACCEPTABLE PROVIDED THEY HAVE THE SAME STRUCTURAL VALUES AS ML AND PL. ANY SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.

- V. WOOD SHEATHING
 1. ALL WOOD SHEATHING SHALL BE RATED EXPOSURE 1 PLYWOOD OR OSB WITH THICKNESS, VENEER GRADES AND SPAN RATING AS SHOWN HEREIN OR ON DRAWINGS.
 - A. ROOF SHEATHING
5/8" WITH MINIMUM (40/20) SPAN RATING
 - B. FLOOR SHEATHING
3/4" T&G APA SPAN RATED TO 24"
 - C. EXTERIOR WALL AND SHEAR WALL SHEATHING
1/2" WITH MINIMUM (24/0) SPAN RATING
 2. ROOF AND FLOOR SHEATHING TO BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0" O.C. INSTALL ROOF SHEATHING WITH 1/8" SPACE AT ALL PANEL EDGES. NAIL ROOF SHEATHING WITH 10d @ 6" O.C. AT SUPPORTED PANEL AND 12" O.C. AT INTERMEDIATE FRAMING. FLOOR SHEATHING WITH 10d @ 6" O.C. AT SUPPORTED PANEL EDGES AND 10" O.C. FIELD. U.N.O. HOLES ARE NOT PERMITTED IN DIAPHRAGMS UNLESS REVIEWED BY ENGINEER.
 3. NAIL EXTERIOR WALL SHEATHING WITH 8d @ 6" O.C. EDGES AND 12" O.C. FIELD. U.N.O. IN SHEARWALL SCHEDULE OFFSET VERTICAL JOINTS 4'-0" O.C. INSTALL WITH 1/8" GAP AT BUTT ENDS.
- VI. WOOD SHEARWALLS
 1. NO. 14 GAUGE STAPLES WITH MINIMUM 7/16 OD CROWN AND 1-3/8" LENGTH MAY BE USED ONE FOR ONE IN LIEU OF 8d NAILS, WHERE SUBSTITUTING FOR 10d NAILS USE 3 STAPLES FOR EACH 2 NAILS.
 2. WHERE PLYWOOD PANELS ARE APPLIED TO BOTH SIDES OF SHEARWALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING MEMBERS SHALL BE 3" (NOMINAL) WIDE AND NAILS ON EACH SIDE SHALL BE STAGGERED.
 3. ALLOWABLE SHEAR VALUES IN SHEARWALL TABLE ARE FOR DOUGLAS FIR FRAMING MEMBERS (GROUP II). NO SUBSTITUTION OF LESSER GRADES WILL BE ALLOWED. FASTENERS EXPOSED TO WEATHER SHALL BE ZINC COATED BY HOT DIP GALVANIZING, MECHANICALLY DEPOSITED, OR ELECTRO-DEPOSITED.
- VII. PRE-MANUFACTURED WOOD TRUSSES
WOOD TRUSSES SHALL BE FACTORY ASSEMBLED USING STRESS RATED MATERIALS DESIGNED TO SUPPORT LOADING SHOWN ON DRAWINGS. INSTALL AND BRACE PER MANUFACTURER. MANUFACTURER IS RESPONSIBLE FOR REVIEWING ALL CONNECTIONS AND FRAMING IN TRUSSED ROOF SYSTEMS ABOVE. PLATE HEIGHT FOR COMPLETENESS AND COMPATIBILITY WITH TRUSS DESIGNS. THIS INCLUDES ALL EAVE OVERHANGS AND OVER-FRAMES. SHOP DRAWINGS, DETAILS AND DESIGN CALCULATIONS OF TRUSSED ROOF SYSTEM MUST BE STAMPED BY A LICENSED ICAHO CIVIL ENGINEER AND SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.

MURAR ENGINEERING & DESIGN
 PROFESSIONAL ENGINEER
 NO. 00000000000000000000
 STATE OF TEXAS
 P.O. BOX 2703, HAILEY, ID 83333
 PH: 878 2080304-45

Linda Bergerson
 ARCHITECT
 LICENSE NO. 00000000000000000000
 STATE OF TEXAS
 1400 W. 19TH STREET, AUSTIN, TX 78741
 TEL: 512 476-1111 FAX: 512 476-1112

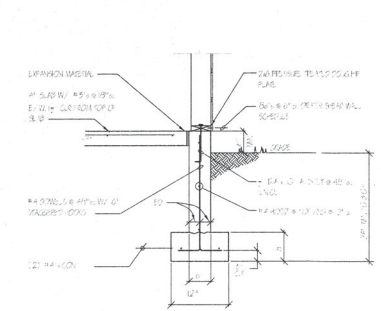
STRUCTURAL GENERAL NOTES

ADDITION TO MCDONALD RESIDENCE

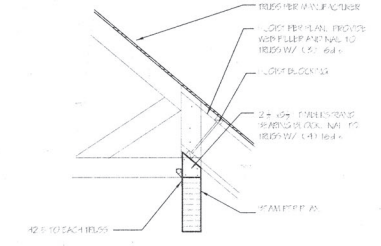
PREPARED BY: MURAR ENGINEERING & DESIGN
 DATE: 11/15/2011
 SHEET: NTS
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PROFESSIONAL ENGINEER
 STATE OF TEXAS
9215
 No. 00000000000000000000
 STATE OF TEXAS
 KEVIN M. MURAR

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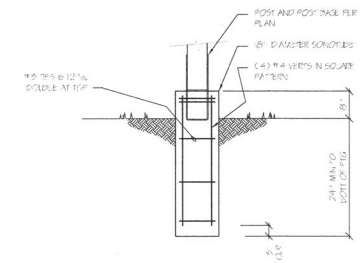
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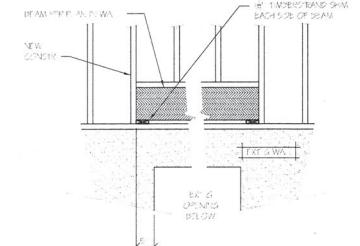
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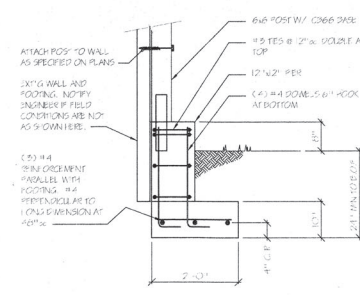
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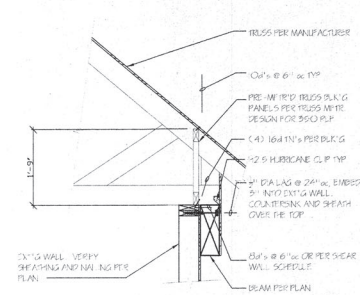
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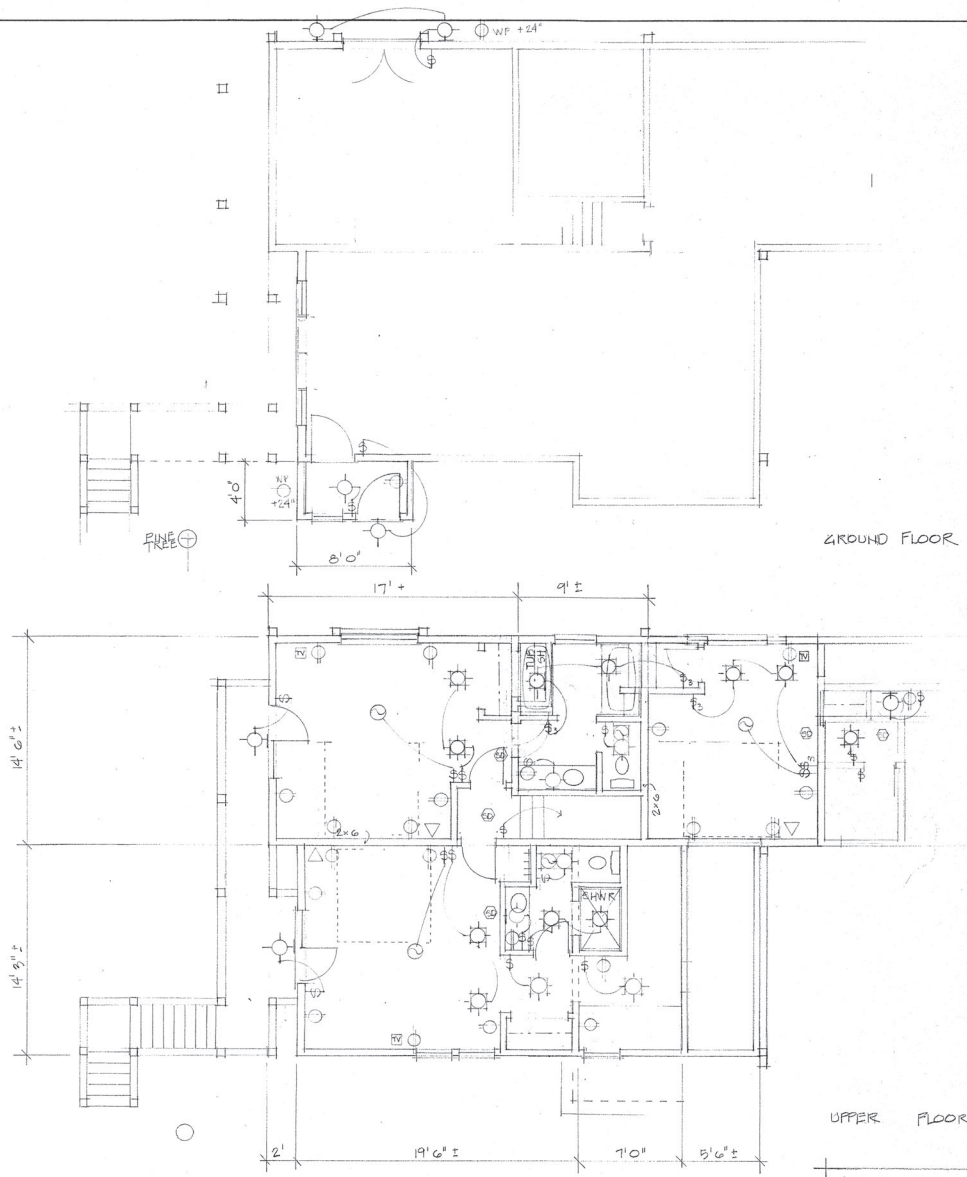
MURAR ENGINEERING & DESIGN
 PO BOX 27005, HAILEY, ID 83333
 PH: 208-738-0888 FAX: 208-738-0888

Linda Bergerson
 ARCHITECT
 REGISTERED ARCHITECT
 NO. 10000
 STATE OF IDAHO
 1994-2004
 1000 N. MAIN ST. HAILEY, ID 83333

STRUCTURAL DETAILS

ADDITION TO McDONALD RESIDENCE

FILE NO: 2004-001
 DATE: 11/10/04
 SHEET: 10



- ceiling light
- wall mounted light
- exterior wall mounted down lights
- recessed down light
- when located in tub/shower must be approved for such location
- fan/light
- ceiling mounted fan
- phone jack
- cable outlet
- smoke detector
- duplex outlet
- protected duplex outlet

LINDA BERGERSON
 ARCHITECT
 2004 W. 10th St.
 SPOKANE, ID 83402

Linda Bergerson
 ARCHITECT
 P.O. BOX 773
 SPOKANE, ID 83402
 PH: (208) 735-2144
 FAX: (208) 735-2144
 WEB: www.lindabergerson.com

ELECTRICAL FLOOR PLANS

ADDITION TO MCDONALD RESIDENCE

15 JAN 04



Return to Agenda



Staff Report
Hailey Planning and Zoning Commission
Meeting of January 20, 2026

To: Hailey Planning and Zoning Commission
From: Emily Brooks, City Planner/Resilience Planner

Overview: Consideration of a City-Initiated Text Amendment amending Hailey’s Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools.

Hearing: January 20, 2026

Applicant: City Staff

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on December 31, 2026.

Background: During the 2025 Idaho State Legislative Session, the Idaho House Health and Welfare Committee introduced – and successfully passed - House Bill 202, which “Amends, repeals, and adds to existing law to remove provisions previously related to the Department of Health and Welfare that now assigned to other state agencies.” Specifically, the legislation removed responsibility for certain powers and duties regarding public health protections from the State Department of Public Health. One such power and duty removed was “The enforcement of minimum standards of health, safety, and sanitation for all public swimming pools within the state as established in rule of the board”. According to Josh Jensen, Environmental Health Director for the South Central Public Health District (SCPHD), at the time of this proposed Text Amendment, it is now up to the municipalities themselves to regulate public and commercial swimming pools for health and safety standards. This includes requirements for annual inspections and licensure/permitting to operate. Prior to 2025, such duty and authority to regulate rested with the Director of the Idaho State Department of Health and Welfare.

Since the passage of HB 202, representatives from SCPHD have been in active communication municipalities that have historically relied on SCPHD to perform required inspections/permitting for public and commercial swimming pools. SCPHD brought this regulatory matter to the attention of the City of Hailey in fall, 2025. Blaine County Recreation District (BCRD) – a primary stakeholder for matters regarding public swimming pool regulations – was also apprised of this legislative development at the same time. SCPHD has confirmed that they are supportive of, and readily equipped to, continue offering public/commercial swimming pool inspections and be named as the regulatory authority for permitting, facilitated through the passage of local ordinances at the discretion of individual municipalities. SCPHD has requested that interested municipalities adopt similar language and requirements in any new ordinances, ensuring uniformity and consistency across SCPHD’s service area. This includes the application of the 2024 Model Aquatic Health Code (MAHC), a guidance document published by the U.S. Centers for Disease Control and Prevention that is aimed at preventing injury and illness at aquatic venues open to the public.

SCPHD has provided the City of Hailey with draft ordinance language for public/commercial swimming pool regulation that has already been adopted by peer communities in Idaho, incorporating applicable standards from the MAHC as well. The draft ordinance language forms the basis of the Text Amendment proposed herein. Additionally, City Staff have consulted with the Executive Director and the Aquatics Manager for the BCRD, regarding the proposed Text Amendment and any impacts it may have on for their operations. BCRD Staff had no feedback and offered their full support of the City's ordinance proposal. In summary, the City of Hailey wishes to continue upholding best practices for safeguarding public health and safety at public and commercial swimming pool facilities, despite the recent removal of State requirements for inspections and permitting. Both the proposed Text Amendment and the strong partnership and support of SCPHD will help ensure best possible outcomes for public health and safety in our community.

Specific additions to be considered include, but are not limited to, the following sub-sections:

- A. Purpose
- B. Authority
- C. Codes Adopted
- D. Definitions
- E. Inspection Requirements
- F. Inspection Criteria
- G. Violations and Enforcement
- H. Permits and Fees
- I. Appeals

Attachments:

- i. Draft Ordinance

Standards of Review:

Criteria for Review. Section 16.13.010 of the Hailey Municipal Code provides when evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

- 1. The proposed amendment is in accordance with the comprehensive plan;**
- 2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**
- 3. The proposed amendment will promote the public health, safety, and general welfare.**

1. The proposed amendment is in accordance with the comprehensive plan;

Hailey's Municipal Code should continue to address and promote the principles and lifestyle components that are most essential to our community's identity. Our code is the foundation from which our municipality and citizens begin a journey forward to a vibrant and thriving future. While Hailey's Comprehensive Plan does not go into the specificity that this code section contemplates, it is anticipated that the City will continue to update, modify, redefine, define, and/or clarify definitions to guide development, buildings and construction, and public health and safety. The following goals from the Comprehensive Plan are relevant to this text change:

Section 4: Recreation, Parks and Lands

- 4.1 Create and maintain interconnected systems of parks, recreation facilities, trails, green spaces and natural lands in order to provide divers recreation opportunities for Hailey residents.

Section 7: Demographics, cultural Vitality and Social Diversity and Well-Being

- 7.2 Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.

Section 9: Public Servies, Facilities and Utilities

- 9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services. South Central Public Health District has initiated the process for drafting and adopting the proposed amendment, and the Health District has offered their full support for the provisioning of proposed inspection and permitting services, with no additional burden or extraneous costs placed on the City of Hailey.

3. The proposed amendment will promote public health, safety, and general welfare.

The proposed amendment will ensure the public and commercial swimming pools continue to receive annual inspections and only operate under approved permits, consistent with U.S. CDC-recommended best practices for public health and safety, as outlined in the 2024 Model Aquatic Health Code. The proposed amendment is consistent with the Hailey Comprehensive Plan, and it will have serve to enhance public health, safety, and general welfare, given the passage of House Bill 202 and compared to no action taken by the City of Hailey.

Motion Language:

Approval: Motion to recommend approval by the Hailey City Council Ordinance No. _____, an Ordinance amending Hailey’s Municipal Code, Title 15: Buildings and Construction, Chapter 15.20 Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial: Motion to recommend denial by the Hailey City Council Ordinance No. _____, an Ordinance amending the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.20 Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare, finding that

_____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

HAILEY ORDINANCE NO. __

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING THE HAILEY MUNICIPAL CODE, TITLE 15: BUILDINGS AND CONSTRUCTION, CHAPTER 15.20: SPECIAL CODE REQUIREMENTS, TO ADD A NEW SECTION, § 15.20.020, ENTITLED PUBLIC AND COMMERCIAL SWIMMING POOLS, ESTABLISHING DEFINITIONS AND REGULATIONS FOR PUBLIC AND COMMERCIAL SWIMMING POOLS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following addition to the Hailey Municipal Code, Title 15, conforms to the Hailey Comprehensive Plan; and

WHEREAS, the proposed addition will establish health and safety standards for the licensing and inspection of public and commercial swimming pools within the City of Hailey ("City") and

WHEREAS, the Hailey City Council has determined that the above-mentioned amendments are appropriate amendments; and

WHEREAS, the text addition set forth in this Ordinance will promote the public health, safety and general welfare;

WHEREAS, Idaho House Bill 202 (2025) removed certain powers and duties of the director of the Idaho State Department of Public Health, the director of the State Department of Health, and the State Board of Health, vesting such powers and duties to the Director of the Department of Health and Welfare, but limiting the oversight of the Department of Health and Welfare and rulemaking and hearing functions relating to public health and licensure and certification standards to the Idaho State Board of Health and Welfare, which includes public aquatic facilities

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Title 15 Buildings and Construction, Chapter 15.20 Special Code Requirements is hereby modified by the addition of the underlined language, as follows:

Section 15.20.020: Public and Commercial Swimming Pools

A. Purpose

The purpose of this ordinance is to establish health and safety standards for the licensing and inspection of public and commercial swimming pools within the City of Hailey ("City"), to ensure the protection of public health, safety, and welfare.

B. Authority

The City hereby authorizes South Central Public Health District, or the current public health district established pursuant to Idaho Code section 39-408 to serve the jurisdiction of the City, to enforce the provisions of this chapter and further delegates all powers necessary thereto to carry out the requirements of this chapter in its the best exercise of judgment to fulfill the purpose of this chapter; provided, such delegated discretion shall remain subject to the ultimate discretion of the City.'

C. Codes Adopted

1. All the rules, regulations, and ordinances of a general and permanent character relating and applying, without limitation, to regulation of the construction, maintenance, and/or operation of public pools and commercial pools, are printed and contained in Code book form designated and entitled:

a. The 2024 Model Aquatic Health Code (MAHC) with amendments, as adopted by the City.

b. Except as stated otherwise in this chapter, to the extent that there may exist any inconsistency between the requirements or standards set forth in the Hailey City Code and the requirements or standards set forth in any of the above-referenced codes, including such amendments or revisions as may be adopted by the City, the more restrictive requirement or standard shall apply.

D. Definitions

For the purposes of this chapter, the following definitions shall apply, and any term used therein shall have the meaning to the extent is defined or set forth in the MAHC:

1. Private Pool: Any pool which is constructed in connection with or appurtenant to single family dwellings, condominiums, apartment homes, short-term rentals, or neighborhoods within a homeowners association, and which is used solely by the persons maintaining their residence within such dwellings, condominiums, apartments, and neighborhoods and the guests of such persons.

2. Commercial Pool: Any pool, excepting Private Pools, whose use is in connection with or appurtenant to a business or commercial use or purpose including without limitation hotels, motels, and gyms, regardless of such use or the purpose is private or public.

3. Public Pool: Any pool that is not a private pool as defined herein.

E. Inspection Requirements

1. Public Pools and Commercial Pools:

a. All public pools and commercial pools shall be open to inspection and water sample collection at any time they are in use, and at any other reasonable time, by agents of South Central Public Health District or other designee.

2. Private Pools:

a. Private Pools are not subject to these rules.

F. Inspection Criteria

Public pools and commercial pools shall comply with then-adopted version of the MAHC as set forth in this chapter.

G. Violations and Enforcement

1. Every person who violates any provision of this chapter shall be subject to closure of the violating pool, which may include without limitation the administrative license penalties of license denial, license revocation, or license suspension, as set forth in this chapter.

2. South Central Public Health District shall issue a written notice of violation if the subject pool fails to meet inspection requirements and resolve the violation at the time of inspection or in a period of time otherwise specified by South Central Public Health District or its designee by either of the following methods:

a. The South Central Public Health District agent or designee mailing a copy of the notice of violation by certified mail, postage prepaid, return receipt requested, to such person at his/her last known address; or

b. The South Central Public Health District or designee affixing the notice of the violation to the premises.

3. Violations must be corrected within ten (10) business days of delivery of written notice unless otherwise specified by South Central Public Health District or its designee in writing.

4. If the violation presents an immediate health or safety hazard, South Central Public Health District or its designee may immediately order temporary pool closure until South Central Public Health District determines the pool is compliant with the standards of this chapter and any other applicable laws or regulations.

H. Permits and Fees

1. Operators of public pools or commercial pools must obtain an annual pool operation permit, subject to inspection, from South Central Public Health District, who shall ascribe a reasonable inspection permit fee. The fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414.

The permit fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414. The permit includes the cost of inspections, complaint investigations, and year-round consultation for pool operators.

3. Newly constructed public pools or commercial pools will incur a plan review fee prior to permitting. The fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414.

4. No public pool or commercial pool may operate without a valid permit.

I. Appeals

Any person aggrieved by a notice of violation or enforcement action may appeal in writing to South Central Public Health District within thirty-five (35) days from the receipt of an adverse order or notice of decision.

Section 2. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 3. Repealer Clause. All City of Hailey Ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 4. Effective Date. This Ordinance shall be in full force and effect from and after passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR
THIS __ DAY OF _____, 2026.

Martha Burke, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 2, 2025, AT&T Mobility Corporation submitted a request to modify the existing Wireless Permit to upgrade the existing tower. The Applicant is proposing the following modification to be permitted as part of the Wireless Permit Application:

- Replacement of (1) 2' MW dish with a new 2' MW dish, (2) ODU (radios located behind MW dish) and (4) cables and to remove (2) ODU.

The equipment is located at Pine Street Station Condominiums (400 South Main Street), within the Business (B) and Townsite Overlay (TO) Zoning Districts.

FINDINGS OF FACT

Notice: Notice regarding the modification was mailed to property owners within 300 feet on December 31, 2025. Pursuant Section 17.08B.060.04: Review and Public Hearing, of the Hailey Municipal Code, where a Conditional Use Permit is not required, the planning administrator shall mail notice of the application to property owners within 300 feet and shall request written comment from such owners.

Application: AT&T Mobility Corporation submitted a Wireless Permit Application for a modification to the existing rooftop wireless telecommunications network, located and operated at the Pine Street Station Condominiums, at 400 South Main Street in Hailey. The Applicant is proposing the following modification to be permitted as part of the Wireless Permit Application:

- Replacement of (1) 2' MW dish with a new 2' MW dish, (2) ODU (radios located behind MW dish) and (4) cables and to remove (2) ODU.

To ensure the proposed modifications are compliant with Title 17.08: Supplementary Regulations, Article B: Wireless Facilities, Planning Staff reached out to Chuck Robertson, a certified Radio Frequency engineer, requesting a preliminary review of the application and supporting documents provided by AT&T Mobility Corporation. Chuck Robertson noted that the proposed modifications, "appear to be a circuit transport capacity upgrade project to increase circuit capacity via fiber located at this location to Della Mountain which will then be distributed to other cell sites via microwave from there". Mr. Robertson's analysis of AT&T's Application and supporting documents are attached to this report.

Background: On April 8, 2013, the Hailey Planning and Zoning Commission considered an application submitted by Powder River Development Services (PRDS) with co-applicant, AT&T- New Cingular Wireless PCS, LLC (AT&T), for a Wireless Permit to replace an existing Wireless Permit previously obtained by Edge Wireless, LLC, and AT&T Mobility Corporation. On September 30, 2022, AT&T Mobility Corporation submitted a request to modify the existing Wireless Permit to upgrade the existing tower to 5G technology. The proposed modifications occurred inside the equipment room and to the existing tower on the roof; no increase in height of the tower is proposed. The equipment is located at Pine Street Station Condominiums (400 South Main Street), within the Business (B) and Townsite Overlay (TO) Zoning Districts.

On November 17, 2025, the Planning and Zoning Commission considered and approved an application submitted by AT&T Mobility Corporation to modify the existing Wireless Permit to upgrade the existing

tower. The proposed modifications occurred inside the equipment room, as well as to the existing tower on the roof.

This Wireless Application is part of that project for AT&T Mobility, however, the proposed modification to the MW dish was not included within the initial Wireless Application. Staff concurred that it is best practice to have the new submittal reviewed for compliance by the Engineer as well as the Commission.

Permit Granting Authority: Pursuant Section 17.08B.060.01 of the Hailey Municipal Code,

- A. Wireless Permit: The Hailey Planning Administrator shall be the granting authority for wireless permits not requiring a conditional use permit, subject to final approval or denial by the Planning and Zoning Commission on its Consent Agenda. Such approval or denial shall specify the ordinance and standards used in evaluating the application; the reasons for the approval or denial; and the actions, if any, that the Applicant could take to obtain a permit. An Applicant who is denied or aggrieved by a decision may appeal such decision as set forth in Section [17.08B.150.01](#) of this article. The Planning Administrator may attach reasonable conditions to the approval of an application, including, but not limited to, those that will minimize adverse impact on adjacent properties or public ways, and/or assure the PWSF or WCF is constructed and/or maintained in accordance with this article and this title.

This project does not require a Conditional Use Permit; therefore, in accordance with Section 17.08B.060.01 of the Hailey Municipal Code, the Planning Administrator has submitted these Findings of Fact, Conclusions of Law, and Decision for the Planning and Zoning Commission to review and approve via the Consent Agenda at the January 20, 2026, public hearing.

Procedural History: The Application was submitted on December 2, 2025, and certified complete on December 10, 2025. A review of the Findings of Fact, Conclusions of Law and Decision made by the Planning Administrator will be held on January 20, 2026, in the Hailey City Council Chambers.

General Requirements for Wireless Facilities				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030:	17.08B.030: Applicability
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.01	<p>17.08B.030.01 Permits Required: It shall be unlawful to commence construction or placement of any PWSF or WCF without having first obtained a valid written wireless permit pursuant to this article, and as set forth in section 17.08B.040 of this article, a conditional use permit pursuant to chapter 17.11 of this title.</p> <p style="margin-left: 20px;">A. Building Permit: It shall be unlawful to commence construction on any new PWSF or WCF, or to modify, alter or add on to an existing PWSF or</p>

				WCF, without having first obtained a valid written building permit as required under the international building code as adopted by Hailey ordinance.
			<i>Staff Comments</i>	<i>The Applicant has not yet submitted a Building Permit for the proposed modifications; however, a Building Permit shall be required prior to the commencement of construction. This has been listed as Condition of Approval and further notes that the application and all documentation shall be approved prior to installation of any new equipment associated with this project. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. Conditional Use Permit: Any conditional use permit issued for a PWSF or WCF shall subscribe to procedures set forth in this article and in chapter 17.11 of this title.</p> <p>1) Where nonconflicting differences between this article and chapter 17.11 of this title exist, this article shall be additive to and supportive of chapter 17.11 of this title.</p> <p>2) Where this article and chapter 17.11 of this title contain conflicting provisions, the more restrictive requirements shall apply. (Ord. 1191. 2015)</p>
			<i>Staff Comments</i>	<p><i>A Conditional Use Permit is not required. Wireless Facilities mounted to a building are accessory uses in the Business (B) Zone District.</i></p> <p><i>Furthermore, pursuant Section 17.08B.060.01 of the Hailey Municipal Code,</i></p> <p><i>A. Wireless Permit: The Hailey Planning Administrator shall be the granting authority for wireless permits not requiring a conditional use permit, subject to final approval or denial by the Planning and Zoning Commission on its Consent Agenda. Such approval or denial shall specify the ordinance and standards used in evaluating the application; the reasons for the approval or denial; and the actions, if any, that the Applicant could take to obtain a permit. An Applicant who is denied or aggrieved by a decision may appeal such decision as set forth in Section 17.08B.150.01 of this article. The Planning Administrator may attach reasonable conditions to the approval of an application, including, but not limited to, those that will minimize adverse impact on adjacent properties or public ways, and/or assure the PWSF or WCF is constructed and/or maintained in accordance with this article and this title.</i></p> <p><i>This project does not require a Conditional Use Permit; therefore, in accordance with Section 17.08B.060.01 of the Hailey Municipal Code, the Planning Administrator has submitted these Findings of Fact, Conclusions of Law and Decision for the Planning and Zoning Commission to review on the Consent Agenda of January 20, 2026. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.02	<p>17.08B.030.02: Preexisting Personal Wireless Service Facilities or Wireless Communications Facilities:</p> <p>A. Prior Issued Permits: A PWSF or WCF for which a permit has been issued prior to the effective date hereof shall be deemed a permitted use, subject to the conditions of that permit.</p> <p>B. Compliance for Unpermitted: All unpermitted PWSFs or WCFs shall be brought into compliance with this article. Unpermitted PWSFs or WCFs will be subject to abatement.</p> <p>C. Separate Permits: Where any unpermitted PWSF or WCF to be attached to a mount approved for another use or PWSF or WCF, the</p>

				<p>unpermitted PWSF or WCF must apply for a separate permit, even when: 1) sharing a legal mount; 2) already in operation; and/or 3) duly licensed by the federal communications commission. The issuance of permit renewals or other new permits for such facilities shall be in accordance with the provisions of this article.</p> <p>D. Damaged, Destroyed Facilities: Damaged or destroyed facilities may be rebuilt and all such facilities may be replaced by facilities of the same height at the same location; provided, that lattice towers are encouraged to be changed to mounts of lower visual impact.</p> <p>E. New Approvals With Preexisting: Any carrier with at least one preexisting PWSF or WCF in the city of Hailey that is out of compliance with the city of Hailey building and zoning requirements, prior to the adoption of this article, shall not be eligible for any new approvals of PWSFs or WCFs by the city until each preexisting PWSF or WCF owned by that carrier is brought into compliance with this article. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>The existing wireless facility was installed prior to the adoption of Section 17.08B: Wireless Facilities. The proposed modifications are to an existing and previously permitted facility. The Hailey Municipal Code requires that the existing facility and the proposed modifications be reviewed and/or brought into compliance, if incompliant, with a new Wireless Permit Application. The Applicant has submitted a new Wireless Permit Application for the proposed modifications, and the proposed modifications appear to be compliant with code. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.03	<p>17.08B.030.03: Unpermitted Facilities, Mounts or Equipment Ineligible for Collocation:</p> <p>A. No issuance of any permit under this article shall occur for a request to collocate, attach or share an existing PWSF or WCF site, mount or facility, when such existing site, mount or facility is found to have one or more PWSFs or WCFs without permits and/or any structure, mount or facility is found to lack one or more building or any other permits required by the city, or is otherwise in violation of city ordinance or state or federal law.</p> <p>B. Any application by a wireless carrier or other entity shall not be accepted by the city of Hailey if that wireless carrier has a preexisting PWSF or WCF on, or the other entity owns or leases, a mount, rooftop or tower, on which there is any unpermitted PWSF or WCF until that PWSF or WCF is brought into compliance with this article. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>The existing Wireless Facility and proposed modifications are permissible, so long as the modifications comply with FCC regulations and standards noted herein.</i></p> <p><i>To ensure the proposed modifications are compliant with Title 17.08: Supplementary Regulations, Article B: Wireless Facilities, Planning Staff reached out to Chuck Robertson, a certified Radio Frequency Engineer. Mr. Robertson noted that that the proposed modification “appear to be a circuit transport capacity upgrade project to increase circuit capacity via fiber located at this location to Della Mountain which will then be distributed to other cell sites via microwave from there”.</i></p>

				<i>Mr. Robertson's analysis of AT&T's Application is attached to this report. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.030.04	<p>17.08B.030.04: Exempt Communication Facilities:</p> <p>A. The requirements imposed by this article shall not apply to antennas designed to receive video programming signals from direct broadcast satellite (DBS) services, multichannel multipoint distribution providers (MMDS), or television broadcast stations (TVBS); provided, that all of the following conditions are met:</p> <ol style="list-style-type: none"> 1) The antenna measures thirty-nine inches (39") (1m) in diameter or less in diameter 2) A dish that measures greater than thirty-nine inches (39") (1m) in diameter that is complete enclosed 3) The antenna is attached to a freestanding tower measuring less than twelve feet (12') in height <p>B. The requirements of this article shall not apply to amateur radio facilities owned and operated by a federally licensed amateur radio operator or used exclusively as noncommercial, receive only antennas. However, such facilities may not collocate a PWSF or WCF unless a wireless permit is obtained under this article. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>N/A, as the existing facility and proposed modifications do not meet the specifications of an exempt communication facility. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.05	<p>17.08B.030.05: Relationship to Other Ordinances: This article shall supersede any conflicting requirements contained in this title regarding the siting and permitting of PWSFs or WCFs, except as otherwise specifically provided for in this article. (Ord. 1191, 2015)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.06	<p>17.08B.030.06: Jurisdiction: This article shall apply only in the incorporated area of the city of Hailey and where adopted pursuant to the Hailey/Blaine County area of city impact ordinance. (Ord. 1191, 2015)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.030.07	<p>17.08B.030.07: Zoning District Regulations, General Prohibitions and Restrictions:</p> <p>A. Applicability: The placement, use or modification of any wireless communication facility at any location within the city of Hailey is subject to the provisions of this article.</p> <p>B. LB, B, LI, TI, SCI, A Districts: In the limited business district, business district, light industrial district, technological industry district, service commercial industrial district, and airport district:</p> <ol style="list-style-type: none"> 1) PWSFs and WCFs attached to street poles shall be a permitted use in the aforementioned zoning districts upon issuance of a wireless permit in accordance with the provisions of this article 2) All other PWSFs or WCFs, excluding freestanding towers, shall be permitted as an accessory use in the aforementioned zoning districts of Hailey upon issuance of a wireless permit in accordance with provisions of this article 3) Freestanding towers and monopoles, excluding lattice towers, shall be a conditional use within these zoning districts of Hailey upon issuance of a wireless permit and a conditional use permit in accordance with this article and chapter 17.11 of this title

			<i>Staff Comments</i>	<i>The existing Wireless Facility is attached to the roof of Pine Street Station Condominiums, located at 400 South Main Street. The proposed modification does not result in any substantial change, since the only changes are to swap (1) 2' MW dish with a new 2' MW dish, (2) ODU (radios located behind MW dish) and (4) cables and to remove (2) ODU. No change in tower height is proposed. The tower will remain attached to the roof and/or existing facility of the same building. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>C. RGB, LR, GR, TN Districts: In the recreational green belt district, limited residential district, general residential district, and transitional district:</p> <ol style="list-style-type: none"> 1) PWSFs or WCFs shall be permitted only as a conditional use in the aforementioned zoning districts of Hailey upon issuance of both a wireless permit in accordance with this article and conditional use permit in accordance with chapter 17.11 of this title 2) Freestanding towers and monopoles shall be prohibited in these zoning districts of Hailey.
			<i>Staff Comments</i>	<i>N/A, as the project is located within the Business (B) Zone District. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>D. Prohibitions: The following are prohibited within the City:</p> <ol style="list-style-type: none"> 1) Lattice towers larger than two feet by two feet (2' x 2') 2) WCFs and PWSFs that interfere with City and public safety communication systems and/or area television or radio broadcast
			<i>Staff Comments</i>	<i>N/A, as no lattice towers are proposed. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>E. Restrictions: In all zoning districts within Hailey, no guywire or other support wires shall be used in connection with antenna, antenna array or its support structure, except when used to anchor the antenna, antenna array or support structure to an existing building to which such antenna, antenna array or support structure is attached. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>N/A, as no guywire or other support wires are proposed at this time. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.050	17.08B.050: Location and Facility Type Standards and Priorities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08.050.01	17.08B.050.01: Location Selection Criteria:
			<i>Staff Comments</i>	<i>Please refer to Section 17.08B.060.02 for further information. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. Siting Criteria: Applications shall be considered based on preferred siting criteria as set forth below in order of priority:</p> <ol style="list-style-type: none"> 1. City owned property due to the city's ability to control and monitor ordinance compliance; 2. Public safety communication center; 3. Collocation on existing buildings, structures and towers in the zoning districts set forth in subsection 17.08B.040B of this article. In presenting another site, the applicant shall have the burden of proving that there are no such feasible existing structures upon which to locate; 4. Street poles;

				<p>5. Existing buildings and structures, excluding freestanding towers and monopoles, located on residentially zoned land, as set forth in subsection 17.08B.040C of this article;</p> <p>6. In areas where the existing topography, vegetation, buildings and other structures provide the greatest amount of screening;</p> <p>7. Other locations consistent with the provisions of this title;</p> <p>8. Location of PWSFs or WCFs within floodplain areas, wetlands, hillside areas above twenty five percent (25%) slope, avalanche prone areas, areas where the FAA requires lighting on the facility, and areas for which the FCC requires an environmental assessment under the national environmental policy act (NEPA) are to be avoided. (Ord. 1191, 2015)</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.050.02	<p>17.08B.050.02: Collocation Requirement: Collocation is considered to be the least intrusive and visually unobtrusive installation method because the equipment is attached to an existing structure. No new tower shall be permitted unless the applicant demonstrates a good faith effort to collocate on an existing facility, including good faith efforts to negotiate lease rights, and there is no reasonable alternative location, site or design. The applicant shall submit clear and convincing evidence that:</p> <ul style="list-style-type: none"> A. No suitable existing towers or structures are located within the city or immediate geographic area; B. Existing towers or structures are not sufficiently designed to meet the applicant's master development plan; C. Existing towers or structures do not have sufficient structural strength to support the applicant's proposed antenna and related equipment; D. The applicant's proposed antenna would cause electromagnetic interference with the antenna on the existing towers or structures, or the antenna on the existing towers or structures would cause interference with the applicant's proposed antenna; E. The fees, costs or contractual provisions required by the owner of the proposed collocation site in order to share an existing tower or structure or to adapt an existing tower or structure for share are prohibitive; F. Costs exceeding new tower development and construction are presumed (rebuttably) to be prohibitive; G. No other reasonable alternative exists to the applicant's proposed PWSF or WCF; H. In the case of public safety communication equipment, existing towers or structures do not satisfy requirements for public safety communication accreditation. <p>In addition, no new tower shall be permitted unless the applicant provides a written statement to the city that the applicant shall make a good faith effort to allow other wireless carriers to collocate antennas on the proposed tower where technically and economically feasible. This provision shall not apply to lattice towers. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>The Applicant has submitted a new Wireless Permit Application for the proposed modifications to the existing facility. The existing facility does not have an existing or proposed freestanding tower; therefore, collocation requirements are not applicable. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.060	17.08B.060: Application and Hearing Procedures
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.060.01	17.08B.060.01: Permit Granting Authority: A. A. Wireless Permit: The Hailey planning administrator shall be the granting authority for wireless permits not requiring a conditional use permit, subject to final approval or denial by the planning and zoning commission on its consent agenda. Such approval or denial shall specify the ordinance and standards used in evaluating the application; the reasons for the approval or denial; and the actions, if any, that the applicant could take to obtain a permit. An applicant who is denied or aggrieved by a decision may appeal such decision as set forth in section 17.08B.150.01 of this article. The planning administrator may attach reasonable conditions to the approval of an application, including, but not limited to, those that will minimize adverse impact on adjacent properties or public ways, and/or assure the PWSF or WCF is constructed and/or maintained in accordance with this article and this title.
			<i>Staff Comments</i>	<i>This project does not require a Conditional Use Permit; therefore, in accordance with Section 17.08B.060.01 of the Hailey Municipal Code, the Planning Administrator has submitted these Findings of Fact, Conclusions of Law and Decision for the Planning and Zoning Commission to review on the Consent Agenda of the January 20, 2026, public meeting. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Master Development Plans: The planning administrator shall also have the authority to approve or deny all PWSF or WCF master development plans.
			<i>Staff Comments</i>	<i>Please refer to Section 17.08B.060.02 for further information. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		C. Conditional Use Permits: The Commission shall have the authority to approve or deny all conditional use permit applications for PWSFs or WCFs, which shall be jointly processed with wireless permit applications in accordance with the procedures for conditional use permits set forth in chapter 17.11 of this title.
			<i>Staff Comments</i>	<i>N/A, as a Conditional Use Permit, is not required. Wireless Facilities mounted to a building are accessory uses in the Business (B) Zone District. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Encroachment Permit: Prior to issuance of any wireless permit for a facility to be located on a street pole, or otherwise within the public right of way, an encroachment permit or right of way use agreement must be obtained by the applicant for the PWSF or WCF from the city and/or, where applicable, the Idaho transportation department (ITD). Any PWSF or WCF to be otherwise located on city owned property shall also enter into a lease agreement with the city subject to authorization by the city council. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility exists and is not located on a street pole or within the public right-of-way. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.060.02	17.08B.060.02: Master Development Plan: A. Required: An applicant for a wireless permit must obtain approval of a master development plan by the Hailey planning administrator and pursuant to this article prior to or concurrently with the processing of any wireless permit application. A master development plan shall be


				<p>submitted by each company seeking placement of a PWSF or WCF within the city.</p> <p>B. Waiver: The planning administrator may waive the processing of a master development plan if the applicant demonstrates by clear and convincing evidence that a network of PWSFs or WCFs will not be required of the owner/operator of the proposed PWSF or WCF.</p> <p>C. Expected Network Illustrated: The master development plan shall illustrate a carrier's expected network of PWSFs or WCFs within and adjacent to the city. It shall forecast five (5) years in advance the approximate locations of future facilities and the areas of service, but is not required to detail the specific siting or type of facility (e.g., pole, roof, building attached). Future amendments to each company's master development plan shall be submitted and reviewed by the planning administrator prior to approval of additional PWSF or WCF facility locations.</p> <p>D. Placement Without Plan: If a PWSF or WCF is placed without a master development plan, the applicant shall file for and receive approval of a plan prior to the filing of an application for another PWSF or WCF. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>The Applicant is seeking to continue utilizing an existing Wireless Facility and currently has no plans for constructing a new facility within the City of Hailey. Based on this information, the Master Development Plan was administratively waived. Staff concur with the previous waiver and do not see a need for a Master Development Plan at this time. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.060.05:	<p>17.08B.060.05: Permit Form, Annual Report and Renewal:</p> <p>A. Issuance of Permit: Upon approval, the city shall issue the applicant a wireless permit in written form stating the exact PWSF or WCF approved and the conditions, if any, of said permit.</p> <p>B. Annual Report: As a condition of each wireless permit, the applicant shall file with the city on each anniversary date of the issuance of the permit an annual report containing the following information:</p> <ol style="list-style-type: none"> 1. Name of permittee, landowner; 2. Any collocation added to the site or removed from the site within the preceding year; 3. Any modifications to the site in the preceding year, including change of ownership; 4. Updated list of hazardous substances as set forth in subsection 17.08B.060.03C15d of this article, together with a plan of the site showing the exact location of each such substance and means of access in case of an emergency; 5. Date of the last physical inspection of the site by the permittee and any carrier on the site; 6. The name and telephone number of contact person in case of emergency at the site and for any required maintenance of the site. 7. Annual renewal fee as set by city ordinance. <p>C. Renewal; Failure To File: The permit shall be automatically renewed annually upon the filing of an annual report and renewal fee as set by city ordinance. Failure to file an annual report shall result in the expiration of the wireless permit. Expiration occurs one year after the</p>

				<p>due date of the annual report. A new application, together with all applicable fees, shall be required to reinstate the permit.</p> <p>D. Conditional Use Permit: Where an application is also required as set forth in this article, the city shall issue the applicant a conditional use permit in written form stating the exact PWSF or WCF and the conditions of said permit. Such permit shall be subject to the terms and conditions set forth in chapter 17.11 of this title, as well as any supplementary conditions set forth in this article. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>Issuing these Findings of Fact, Conclusions of Law and Decision shall satisfy the requirements of the standards noted above. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.01	<p>17.08B.070.01: Applicability: The standards identified in the sections below shall apply to all wireless permits and all PWSFs or WCFs constructed or located in the city, unless otherwise herein specified. Such standards shall also be considered in the issuance of a conditional use permit pursuant to this article and chapter 17.11 of this title. The Applicant for a wireless permit has the burden of demonstrating compliance with these standards.</p>
			<i>Staff Comments</i>	<p><i>A Conditional Use Permit is not required. Wireless Facilities mounted to a building are accessory uses in the Business (B) Zone District.</i></p> <p><i>Furthermore, pursuant Section 17.08B.060.01 of the Hailey Municipal Code,</i></p> <p><i>A. Wireless Permit: The Hailey Planning Administrator shall be the granting authority for wireless permits not requiring a conditional use permit, subject to final approval or denial by the Planning and Zoning Commission on its Consent Agenda. Such approval or denial shall specify the ordinance and standards used in evaluating the application; the reasons for the approval or denial; and the actions, if any, that the Applicant could take to obtain a permit. An Applicant who is denied or aggrieved by a decision may appeal such decision as set forth in Section 17.08B.150.01 of this article. The Planning Administrator may attach reasonable conditions to the approval of an application, including, but not limited to, those that will minimize adverse impact on adjacent properties or public ways, and/or assure the PWSF or WCF is constructed and/or maintained in accordance with this article and this title.</i></p> <p><i>This project does not require a Conditional Use Permit; therefore, in accordance with Section 17.08B.060.01 of the Hailey Municipal Code, the Planning Administrator has submitted these Findings of Fact, Conclusions of Law and Decision for the Planning and Zoning Commission to review on the Consent Agenda of the January 20, 2026, public meeting. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.02	<p>17.08B.040.02: Height: PWSFs or WCFs shall not exceed forty feet (40') AGL or the maximum permissible height of the zoning district where it is sited, whichever is lower, with the exception of facade and roof attached PWSFs or WCFs or public safety communication equipment as described below:</p>
				<p>A. Roof attached PWSFs or WCFs shall not exceed five feet (5') above the highest portion of the roof membrane, or continuous parapet wall. The antenna and support system for whip antennas shall not exceed ten feet (10') above the highest portion of that roof, including parapet walls.</p>
			<i>Staff Comments</i>	<i>The existing MW dish is 2' in height, and the new dish is proposed to be the same height. This standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. Facade attached PWSFs or WCFs shall not exceed five feet (5') above the facade to which it is attached.
			<i>Staff Comments</i>	<i>N/A, as the existing facility and proposed modifications are roof-mounted and do not attach to the façade of the building. This standard either does not apply or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. If the height of the building is in excess of the maximum height allowed within the zone and was legally established, then the combined height of the building and antenna shall not exceed the maximum height allowed by such approval, unless determined to be suitably camouflaged.
			<i>Staff Comments</i>	<i>The height of the building is 38'. The exception of roof attached PWSF's allows for PWSF height to be above the maximum permissible height of the Business (B) Zone District. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Street pole attached PWSFs or WCFs may only extend six feet (6') above the existing street pole. A maximum extension of ten feet (10') from the top of the street pole, may be permitted pursuant to standards provided in section 17.08B.070.09 of this article, if a utility disturbance can be clearly demonstrated.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is not attached to a street pole. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		E. Public safety communication equipment located on the same property as a public safety communication center, the height of the support structure may be allowed a maximum of seventy-five feet (75') AGL. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.070.03	17.08B.070.03: Setbacks: All PWSFs or WCFs, except those mounted-on street poles, shall comply with the building setback provisions of the zoning district in which the PWSF or WCF is located or the requirements of this section, whichever is greater. At a minimum, the following setbacks shall be observed: A. Street Pole Attached: No setback when constructed within the public right of way and under the provisions of section 17.08B.070.09 of this article;
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		A. Facade Attached: The maximum projection shall be eighteen inches (18"). The location of a PWSF or WCF on the wall of a legal nonconforming structure is permitted. However, the PWSF or WCF shall not be located on an exterior wall in a manner that will increase the degree of nonconformity. Additional standards for antennas attached to the facade of structures are listed in section 17.08B.070.09 of this article
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Roof Attached: PWSFs or WCFs shall be set back from the edge of the building a distance equal to the height of the antenna and support system as measured from the roof membrane
			<i>Staff Comments</i>	<i>It appears this standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>C. Freestanding Tower: Setbacks shall be measured from the base of the tower to the property line of the parcel on which it is located. Towers shall be set back from all property lines one hundred percent (100%) of the height of the tower as measured from the base of the tower to the highest point of the tower, including antennas</p>
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>D. Underground Vaults or Aboveground Structures: Underground vaults or aboveground structures shall comply with all setback and other requirements of the underlying zoning district in which the real property is located</p>
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>E. Equipment Enclosures: No freestanding PWSFs or WCFs or equipment enclosures shall be located between the face of a structure and a public street, bikeway, park or residential development, except for approved facade attached PWSFs or WCFs located on existing or new permitted structures in accordance with this article. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.04	<p>17.08B.070.04: Design Standards: The following design criteria shall be met by each application for wireless permit approval:</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>A. Architectural Compatibility:</p> <p>1) All facilities shall be designed to minimize the visual impact to the greatest extent feasible, considering technological requirements, by means of placement, screening and camouflage to be compatible with existing architectural elements and building materials and other site characteristics. The applicant shall use the smallest and least visible antennas possible, as well as the smallest possible equipment enclosure.</p>
			<i>Staff Comments</i>	<i>The modifications will not be visible from the alley, rear parking area of Pine Street Station, or from Highway 75. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>2) Equipment enclosures of PWSFs or WCFs shall be placed in underground vaults or within buildings where possible. All other equipment enclosures shall be designed consistent with the requirements of this article. The equipment enclosure shall be constructed so as to minimize its visual impact. Landscape planting shall be installed and maintained to completely obscure the visibility of the equipment enclosure from the developed street and adjacent properties. Sight distance clearance shall be maintained for the equipment enclosure and associated landscape pursuant to the requirements of this article and other applicable ordinances and standards of the city. Any aboveground equipment enclosure greater than ninety (90) cubic feet in size shall be subject to design review pursuant to chapter 17.06 of this title.</p>
				<i>All equipment enclosures are located and stored within the building. This standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>B. Landscaping or Screening Standards:</p> <p>1) Support structures and equipment enclosures shall be installed so as to maintain and blend with existing landscaping on site, including trees, foliage and shrubs, whether or not utilized for screening</p>
			<i>Staff Comments</i>	<i>N/A, as no landscaping exists and/or is proposed. The Wireless Facility is a rooftop facility located at Pine Street Station Condominiums. The support structures are compact in size, and all equipment enclosures are located and stored within the building. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>2) Additional landscaping and screening shall be installed to visually screen the aboveground equipment enclosures. Landscaping and screening shall consist of a combination of trees, foliage and shrubs of dense spacing in one of the following designs:</p> <p style="margin-left: 40px;">a) A screening wall or fence and a five foot (5') wide landscape planter located in front of the wall or fence</p> <p style="margin-left: 40px;">b) A ten-foot (10') wide landscape planter</p> <p style="margin-left: 40px;">c) Any combination of existing vegetation, topography, decorative walls/fences or other features instead of landscaping, if they achieve the same degree of screening as the required landscaping described above.</p>
				<i>N/A, as all equipment enclosures are located within the building. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>3) No PWSF or WCF shall be at a height greater than ten feet (10') above the average height of the existing, mature trees located on site.</p>
			<i>Staff Comments</i>	<i>N/A, as no mature landscaping exists onsite. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>4) Where mature trees or landscaping does not exist, the appropriateness of siting support structures and equipment enclosures shall be determined by considering the context of the surrounding topography, buildings or other vertical structures.</p>
			<i>Staff Comments</i>	<i>No mature landscaping exists. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>5) Upon completion, the permittee(s) of the facility shall be jointly and severally responsible for the continued maintenance and replacement of all required landscaping and screening materials.</p>
			<i>Staff Comments</i>	<i>N/A, as no mature landscaping exists onsite. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>C. Color and Materials Standards:</p> <p>1) PWSFs or WCFs located on buildings, walls or roofs, or structures, shall be painted or constructed of materials to match the color of the structure directly behind them to reduce the visibility of the PWSF or WCF</p>
			<i>Staff Comments</i>	<i>It has been made a Condition of Approval that the existing and proposed equipment be painted a non-reflective grey color. The Applicant intends to paint the new equipment to match the existing grey antennas. See image below for details. This standard has been met.</i>

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		2) To the extent any PWSFs or WCFs extend above the height of the vegetation immediately surrounding it, they shall be painted in a nonreflective light gray, light blue or other hue, which blends with the skyline and horizon.
			<i>Staff Comments</i>	<i>There is no vegetation immediately surrounding the rooftop of Pine Street Station Condominiums. The Applicant intends to paint the new equipment a non-reflective grey color to match the existing antennas. This has been made a Condition of Approval. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		D. Facility Lighting and Signage Standards: 1) Facility lighting shall be designed so as to meet but not exceed minimum requirements for security, safety and/or FAA regulations. Lighting of antennas or support structures shall be prohibited unless required by the FAA and no other alternatives are available. In all instances, the lighting shall be designed so as to avoid glare and minimize illumination on adjacent properties. No strobe or flashing lights shall be permitted unless no other lighting can meet FAA regulations and the applicant provides written confirmation from the FAA that the specific WCF under review cannot meet its regulations by the use of any other alternative other than such lighting. Lighting shall also comply with any applicable city lighting standards.
			<i>Staff Comments</i>	<i>The FAA does not require notification of construction and/or modifications to wireless facilities for antennas less than 20 feet in height; therefore, no lighting is necessary at this time. It has been made a Condition of Approval that lighting any part of the Wireless Facility shall be prohibited. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		2) Signs shall be limited to those needed to identify the telephone number(s) to contact in an emergency, public safety warnings, certifications or other required seals. These signs shall also comply with the requirements of the city's sign regulations.

			<i>Staff Comments</i>	<i>N/A, as no signs are proposed and/or required at this time. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		3) All facility lighting shall comply with the standards as set forth in article C of this chapter. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>No lighting is necessary at this time. It has been made a Condition of Approval that lighting any part of the Wireless Facility shall be prohibited. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.05	17.08B.070.05: Parking Standards: A. Automated: If the freestanding PWSF or WCF is fully automated, one off street parking space shall be provided for maintenance workers.
			<i>Staff Comments</i>	<i>The wireless facility is fully automated, and one (1) off-street parking space is required, and has been provided, for maintenance workers. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. Nonautomated: Nonautomated PWSFs or WCFs shall provide documentation regarding the provision of adequate off-street parking. Parking will be sufficient to accommodate the maximum number of employees at any one time. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.06	17.08B.070.06: Access Standards: In addition to ingress and egress requirements of the international building code and the international fire code, access to and from PWSFs or WCFs, and equipment shall be regulated as follows: A. Interference: No PWSF or WCF or equipment shall be located in a required parking, maneuvering or vehicle/pedestrian circulation area such that it interferes with, or in any way impairs, the intent or functionality of the original design.
			<i>Staff Comments</i>	<i>The Wireless Facility and all associated equipment are located on the roof of Pine Street Station Condominiums. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Public, Emergency Access: The PWSF or WCF shall be secured from access by the general public, but access for emergency services must be ensured. Access roads shall comply with fire department and other city standards for emergency vehicular access. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The Wireless Facility and all associated equipment are located on the roof of Pine Street Station Condominiums. Emergency Services do have access to the rooftop area; however, the general public does not. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.070.07	17.08B.070.07: Scenic Landscapes and Vistas Standards: A. Open Areas: Freestanding PWSFs or WCFs shall not be located within open areas that are visible from public roads, recreational areas or residential development. As specified in subsection 17.08B.070.04A1 of this article, PWSFs or WCFs shall be installed to blend with existing landscaping and structures.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is not located within open areas visibly from public roads, recreational areas, or residential development. It is a roof-mounted facility. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. Scenic Areas: Any PWSF or WCF that is located within three hundred feet (300') of a scenic vista, scenic landscape or scenic road as designated by the city, in addition to height regulations specified in section 17.08B.070.02 of this article, shall not exceed the height of vegetation at the proposed location. If the facility is located further

				than three hundred feet (300') from the scenic vista, scenic landscape or scenic road, section 17.08B.070.02 of this article shall apply exclusively. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A, as the roof-mounted equipment is not located within 300 feet of a scenic vista, landscape, or scenic road. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.070.08	17.08B.070.08: Environmental Standards: A. Floodways, Wetlands: PWSFs or WCFs shall not be located in floodways and wetlands. PWSFs or WCFs shall also be avoided whenever possible in floodplains and disturbance to floodplain areas shall be minimized.
			<i>Staff Comments</i>	<i>N/A, as the facility is not located within the floodplain or wetlands. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. Riparian Areas: PWSFs or WCFs shall not be located in riparian setbacks along watercourses.
			<i>Staff Comments</i>	<i>N/A, as the facility is not located in any riparian setbacks. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		C. Avalanche Areas: PWSFs or WCFs shall avoid locating in avalanche prone areas, as determined by site specific studies on a case by case basis as part of the PWSF or WCF approval process. Evidence shall be submitted to demonstrate that no location outside an avalanche prone area can accommodate the applicant's proposed antenna as specified in the collocation requirement of section 17.08B.050.02 of this article. PWSFs or WCFs located within avalanche prone areas shall provide proof of FCC acceptance of the proposed location.
			<i>Staff Comments</i>	<i>N/A, as the facility is not located in avalanche prone areas. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		D. Hazardous Waste: No hazardous waste shall be discharged on the site of any PWSF or WCF. If any hazardous materials are to be used on site, there shall be provisions for full containment of such materials. An enclosed containment area shall be provided with a sealed floor, designed to contain at least one hundred ten percent (110%) of the volume of the hazardous materials stored or used on site.
			<i>Staff Comments</i>	<i>Hazardous waste shall not be discharged, stored, or used onsite. This has been made a Condition of Approval. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		E. Stormwater Runoff: Stormwater runoff shall be contained on site.
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		F. Placement in Floodplain: PWSFs or WCFs locating within the floodplain shall comply with the additional placement standards set forth in the Hailey floodplain ordinance and provide written proof of FCC acceptance of the proposed location.
			<i>Staff Comments</i>	<i>N/A, as this facility is not located within the floodplain. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		G. Aboveground Noise: Aboveground equipment for PWSFs or WCFs, exclusive of roof and facade attached PWSFs or WCFs, shall not generate noise in excess of fifty (50) decibels at the property line.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		H. Noise from Attached Equipment: Roof or facade attached equipment for PWSFs or WCFs shall not generate noise in excess of fifty (50) decibels at ground level at the base of the structure closest to the antenna.
			<i>Staff Comments</i>	<i>This standard shall be met and has been made a Condition of Approval. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		I. Measurement of Noise: The noise standards of this article require measurements by a qualified acoustical engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A- This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08B.070.09	17.08B.070.09: Street Pole and Façade Attached Standards: Street pole and facade attached PWSFs or WCFs shall meet the following conditions and criteria, in addition to the other standards identified in this section: A. Façade Attached PWSFs Or WCFs: Equipment enclosures shall be located within the structure in which the WCF is placed or located underground if site conditions permit. Otherwise, equipment enclosures shall comply with the design standards listed in section 17.08B.070.04 of this article.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. Street Pole Attached PWSFs Or WCFs: Only one PWSF or WCF shall be permitted on any one street pole. Surface area of an antenna shall not exceed four (4) square feet. The antenna shall be either fully concealed within the street pole or camouflaged to appear to be an integrated part of the street pole. An antenna not flush mounted on the side of the street pole shall be centered on the top of the street pole to which it is attached; horizontal projection shall not exceed twelve inches (12") beyond the outer diameter of the pole, and camouflaged or disguised.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		C. Utility Separation: In the event that a utility located upon the street pole requires vertical separation between its utility facilities and the antenna so attached, the antenna may be raised by a support system to accommodate the separation requirement to an elevation not exceeding an additional ten feet (10') or the required separation, whichever is less. Any such support shall not be greater in diameter than the existing street pole and shall be designed to blend into the colors and textures of the existing street pole.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Pole Replacement: Existing street poles may be replaced with a new street pole of the same height, dimensions and appearance as the existing street pole. An antenna located upon the new street pole shall meet the standards for attaching an antenna to an existing street pole, as set forth above.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		E. Horizontal Separation: For PWSFs or WCFs located within developed streets, there shall be a minimum horizontal separation of three

				hundred feet (300') between the PWSFs or WCFs of a single licensed carrier and a minimum horizontal separation of one hundred feet (100') between the PWSFs or WCFs of any other licensed carrier.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		F. Permits: An encroachment permit or right of way permit shall be obtained from the city, or where applicable, ITD, by the applicant, after staff review of the wireless permit application and prior to its issuance.
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		G. Relocation of Utilities: In the event the utilities located on a street pole are relocated underground, the PWSF or WCF shall be relocated to another location pursuant to the requirements of this article. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A, as the Wireless Facility is roof mounted. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.070.10	17.08B.070.10: Review of Alternatives: In reviewing the alternatives submitted with regard to an application under subsection 17.08B.060.03C of this article, the city shall compare the PWSF or WCF proposed in the application with the alternatives submitted. Comparisons shall be made between: a) the location selection criteria set forth in section 17.08B.050.01 of this article; b) the collocation requirement set forth in section 17.08B.050.02 of this article; and c) the standards and criteria set forth in section 17.08B.070 of this article, in order to determine which best meets those standards, criteria and priorities and which is the least intrusive on the values set forth in the intent and purpose set forth in this article. (Ord. 1191, 2015)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.080	17.08B.080: Safety Requirements: A. Federal Requirements: All PWSFs or WCFs shall meet or exceed current standards and regulations of the FAA, the FCC and any other agency of the federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, the owners of the PWSFs or WCFs governed by this article shall bring such PWSFs or WCFs into compliance with the revised standards and regulations. Failure to bring PWSFs or WCFs into compliance with such revised standards and regulations shall constitute grounds for revocation of the wireless permit and removal of the PWSF or WCF at the owner's expense.
			<i>Staff Comments</i>	<i>The project does not require FAA approval. The FCC Microwave License for AT&T is active, and no changes are proposed to the licensed system. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Antenna Support Structure Safety: The applicant shall demonstrate that the proposed antenna and support structure are safe and the surrounding areas shall not be negatively affected by support structure failure, falling ice or other debris or interference. All support structures shall be fitted with anticlimbing devices, as approved by the manufacturers. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The safety and durability of the proposed modifications will be evaluated by the Building Department during the building plan review process. Due to roof access limitation, it is not necessary to fit the structures with anticlimbing devices. This standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.090	<p>17.08B.090: Maintenance Requirements:</p> <p>A. Each permittee shall maintain its PWSF or WCF in a good and safe condition, preserving the original appearance and concealment, disguise or screening elements incorporated into the design at the time of approval and in a manner, which complies with all applicable federal, state and local requirements. Such maintenance shall include, but not be limited to, such items as painting, repair of equipment and maintenance of landscaping. If the permittee fails to maintain the facility, the city may undertake the maintenance at the expense of the permittee or terminate the permit, at its sole option.</p>
			<i>Staff Comments</i>	<i>It has been made a Condition of Approval that the facility be maintained in accordance with the Maintenance Requirements noted herein. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. To ensure the structural integrity of towers, the owner of a tower shall ensure that it is maintained in compliance with standards contained in applicable city building codes and the applicable standards for towers that are published by the EIA, as amended from time to time. If, upon inspection, the city concludes that the tower fails to comply with such codes or standards and constitutes a danger to person or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards. Failure to bring such tower into compliance within said thirty (30) days constitutes grounds for revocation of the wireless permit and removal of the PWSF or WCF at the owner's expense. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.100	<p>17.08B.100: Modification of PWSFs or WCFs:</p> <p>A. New Permit: Any proposed change or addition to any PWSF or WCF shall require the issuance of a new wireless permit, pursuant to the requirements of this article. This provision shall not apply to routine maintenance of a PWSF or WCF, to the replacement of any portion of the PWSF or WCF with identical equipment, or to a change in ownership.</p>
			<i>Staff Comments</i>	<i>The Wireless Permit Application, submitted December 2, 2025, satisfies this requirement. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. Facility Upgrade: At the time of modification or upgrade of facilities, existing equipment shall be replaced with equipment of equal or greater technical capacity and reduced in size so as to reduce visual impact.</p>
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>C. Existing Uses: Any PWSF or WCF lawfully existing on the effective date hereof shall be allowed to continue operation as it presently exists, subject to section 17.08B.030.02 of this article. Routine maintenance and repair shall be permitted. However, any construction involving the replacement of support structure apparatus, antennas or any exterior alteration of the PWSF or WCF, or any component thereof, shall comply with all the requirements of this article. Emergency service PWSFs or WCFs may obtain a waiver from the commission in order to preserve the public health and safety. In order to receive a waiver, the</p>

				commission must determine that the modifications cannot comply with this article without an extreme burden to the citizens of Hailey. The waiver shall be noticed by the commission under the public hearing notice requirements identified in subsection <u>17.08B.060.04D</u> of this article. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed modifications require a new Wireless Permit Application and Building Permit Application, which is satisfied by the present application and permit process. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08B.110	17.08B.110: Abandonment or Discontinuation of Use: A. Commencement Time Limit; Extensions: Construction or activation of a PWSF or WCF shall commence within ninety (90) days of approval of the wireless permit or the permit shall be null and void ab initio. Due to weather conditions or other extenuating circumstances beyond the control of the applicant, an additional ninety (90) day extension may be granted by the approving body as accepted by said approval body. Requests and approvals of extensions shall be made in writing and prior to the expiration of the time period sought to be extended.
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Notification: At such time that a licensed carrier plans to abandon or discontinue operation of a PWSF or WCF, such carrier shall notify the city by certified U.S. mail of the proposed date of abandonment or discontinuation of operations. Such notice shall be given no less than thirty (30) days prior to abandonment or discontinuation of operations. In the event that a licensed carrier fails to give such notice, the PWSF or WCF shall be considered abandoned upon such discontinuation of operations.
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Physical Removal: Upon abandonment or discontinuation of use, the carrier shall physically remove the PWSF or WCF within ninety (90) days from the date of abandonment or discontinuation of use. "Physically remove" shall include, but not be limited to: 1) Removal of antennas, support structures, equipment enclosures and security barriers from the subject property 2) Proper disposal of the waste materials from the site in accordance with local and state solid waste disposal regulations 3) Restoring the location of the PWSF or WCF to its natural condition, except that any landscaping and grading shall remain in the after condition. Minor modification for integration with other landscaping or site design will be permitted and approved by staff.
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		D. Failure to Remove: If a carrier fails to remove a PWSF or WCF in accordance with this section, the city may cause the facility to be removed and the owner of the land where the facility is located shall pay all expenses of removal.
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		E. Multiple Providers: In the event that more than one provider is using the PWSF or WCF, the PWSF or WCF shall not be considered abandoned until all such users cease using the structure as provided in this article. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The Applicant is hereby notified of this standard. This standard has been met.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 - 1. The project does not jeopardize the health, safety or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.
 - 2. Require conformity to approved plans and specifications.
 - 3. Require security for compliance with the terms of the approval.
 - 4. Minimize adverse impact on other development.
 - 5. Control the sequence, timing and duration of development.
 - 6. Assure that development and landscaping are maintained properly.
 - 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW & DECISION

Based upon the above Findings of Fact, the Planning Administrator makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards outlined in the Hailey Municipal Code.
5. That the project shall receive Wireless Permit approval, subject to the following Conditions:
 - a. All necessary permits (Building Permit, Wireless Permit, etc.) shall be obtained prior to the installation of any new equipment associated with this project.
 - b. The project shall meet all applicable Fire and Building Department requirements.
 - c. All existing and proposed equipment shall be painted a non-reflective grey color.
 - d. Lighting any part of the wireless facility shall be prohibited.
 - e. The existing and proposed portions of the facility shall not generate noise in excess of fifty (50) dBA at ground level at the base of the structure closest to the antenna. Verification that noise does not exceed this standard shall be submitted by a qualified acoustical engineer.
 - f. The existing facility and proposed modifications shall meet or exceed the current standards and regulations of the FCC and any other agency of the federal government with the authority to regulate antennas.
 - g. The facility and all applicable structures shall be maintained in accordance with Section 17.08B.090: Maintenance Requirements, of the Hailey Municipal Code.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Kayme Backstrom, Community Development Assistant

CR Wireless, LLC

December 29, 2025

City of Hailey, Community Development
115 South Main Street
Hailey, ID 83333

Ref: AT&T Site Modification / Microwave MW) Upgrade Wireless Permit application dated December 23, 2025
ID4214 Hailey, FA10129884
400 South Main Street, Hailey, ID 83333

Attn: Ashley Dyer, City Planner, Community Development

Dear Ms. Dyer,

At your request I have reviewed the documentation provided regarding the Wireless Permit Application for an AT&T Site Modification / Microwave (MW) Upgrade located on the rooftop at 400 South Main Street in Hailey, Idaho. This appears to be a circuit transport capacity upgrade project to increase circuit capacity via fiber located at this location to Della Mountain which will then be distributed to other cell sites via microwave from there.

- Upgrade from 23GHz standard microwave to 18GHz high performance microwave.
- Use existing mount to replace existing 2-foot microwave dish antenna with new 2-foot dish antenna oriented toward Della Mountain.
- Structural analysis report shows PASS for this proposed installation.
- Project description as outlined appears to meet existing project requirements.

Based upon review of the documentation provided and justification I recommend approval of this application.

Thank you.

Sincerely,



Chuck Robertson
RF Engineer

Cc: Robyn Davis, Community Development Director



Network Real Estate, LLC

1676 Bryan Rd, Suite 100-101, Dardenne Prairie, MO 63368

Office: (817) 494-3909 Fax: (636) 922-3409

12/23/2025

City of Hailey, ID
Ashley Dyer
City Planner, Community Development
City of Hailey, Idaho

**RE: AT&T SITE: ID4214 / HAILEY – WIRELESS PERMIT APPLICATION
NARATIVE –LOCATED ON ROOFTOP AT: 400 S MAIN ST, HAILEY, ID 83333**

Ashley,

This AT&TMW upgrade project does not result in any substantial change, since the only changes are to swap (1) 2' MW dish with a new 2' MW dish, (2) ODU (radios located behind MW dish) and (4) cables and to remove (2) ODU.

This project does not violate a generally applicable law, regulation, or other rule reasonably related to public health and safety and complies with generally applicable building, structural, electrical, and safety codes as shown on the construction drawings and structural analysis.

This project complies with the original application design elements or conditions of approval, including but not limited to colors, textures, surfaces, scale, character, and siting, or any approved amendments since this project will not change any of the design except the swapping out of a similar MW equipment.

This project complies with concealment elements of the eligible support structure necessary to qualify as a concealed facility since there is no change to the structure itself.

Please let me know if you need anything else or have any questions.

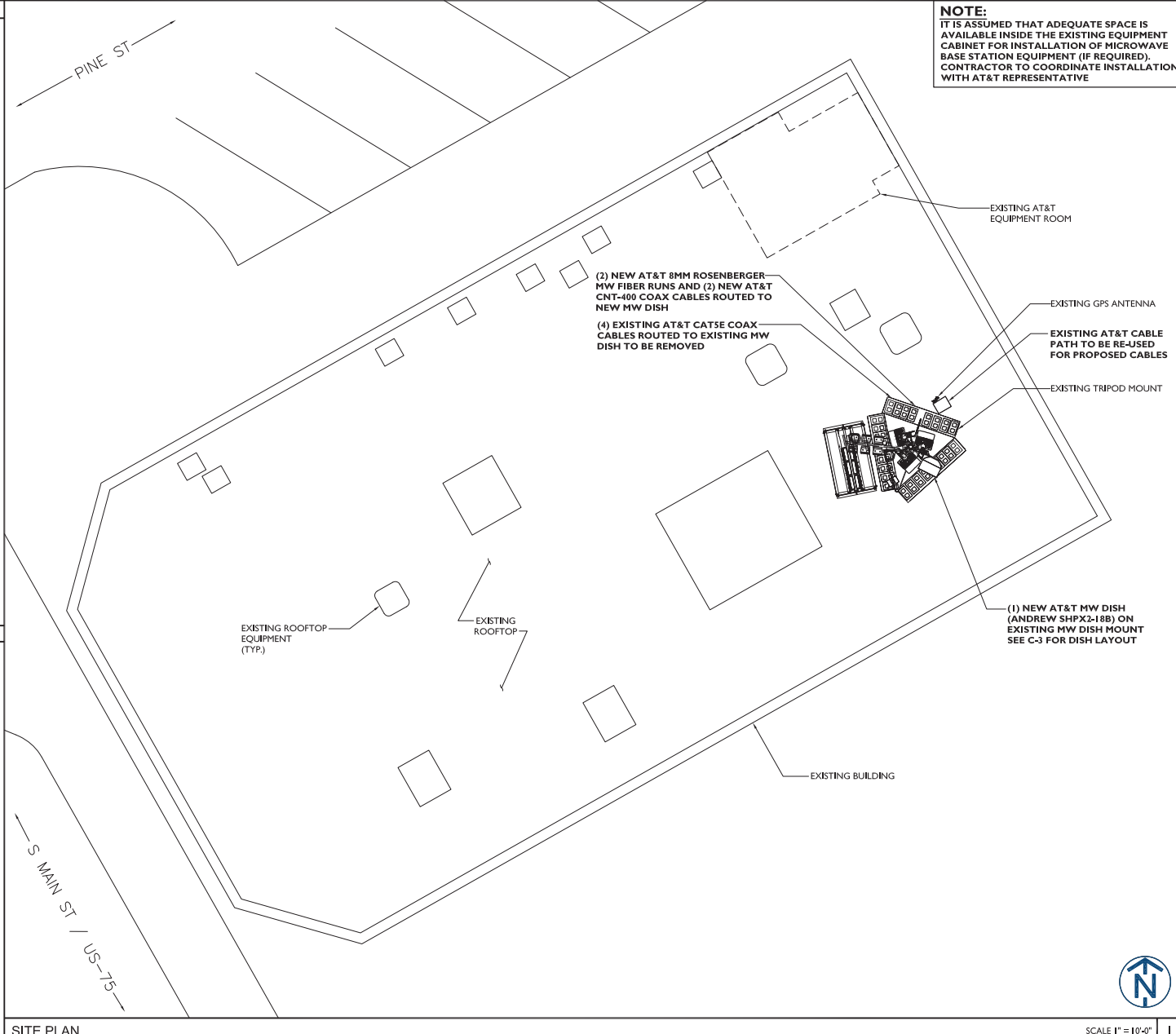
Regards,

A handwritten signature in black ink, appearing to read 'Angela Tarter', is written over a horizontal line.

**Angela Tarter, an authorized representative of AT&T
Network Real Estate, LLC
1676 Bryan Rd Suite 100-101
Dardenne Prairie, MO 63368
Office (817) 494-3909
Fax (636) 922-3409
angela.tarter@networkre.net**

ABBREVIATIONS	
AFB	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AGL	ABOVE GROUND LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BBU	BASE BAND UNIT
CL	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
CRAN	CENTRALIZED RAN
C-RAN	CLOUD RAN
DWG	DRAWING
FT	FOOT(FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
GSM	GLOBAL SYSTEM FOR MOBILE COMMUNICATION
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MOB	MASTER GROUND BAR
MIN	MINIMUM
MIMO	MULTIPLE IN MULTIPLE OUT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PPC	POWER PROTECTION CABINET
P	PROPERTY LINE
RAN	RADIO ACCESS NETWORK
RBS	RADIO BASED STATION
RRH	REMOTE RADIO HEAD
RGS	RIGID GALVANIZED STEEL
IN	INCHES
INT	INTERIOR
LB(S), #	POUND(S)
SFL	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UMTS	UNIVERSAL MOBILE TELE-COMMUNICATION SYSTEM
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

SYMBOLS	
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	FENCE
	CHAINLINK
	WOOD
	WROUGHT IRON
	ELECTRIC
	OVERHEAD
	UNDERGROUND
	FIBER
	OVERHEAD
	UNDERGROUND
	TELEPHONE
	OVERHEAD
	UNDERGROUND
	DCPOWER
	SECTION REFERENCE



NOTE:
IT IS ASSUMED THAT ADEQUATE SPACE IS AVAILABLE INSIDE THE EXISTING EQUIPMENT CABINET FOR INSTALLATION OF MICROWAVE BASE STATION EQUIPMENT (IF REQUIRED). CONTRACTOR TO COORDINATE INSTALLATION WITH AT&T REPRESENTATIVE



7801 FARLEY ST.
OVERLAND PARK, KS 66204



5055 Hwy N, Suite 200
St. Charles, MO 63304



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TEL: 847-908-3400
CO# 01-C-2332
www.fullerton-us.com

REV	DATE	DESCRIPTION	BY
A	10/14/25	90% REVIEW	MD
0	11/03/25	FINAL	EC

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



SITE NAME
HAILEY

USID/SITE NUMBER:
USID 99737
ID4214
IWM PROJECT NUMBER:
WSUTH0064286

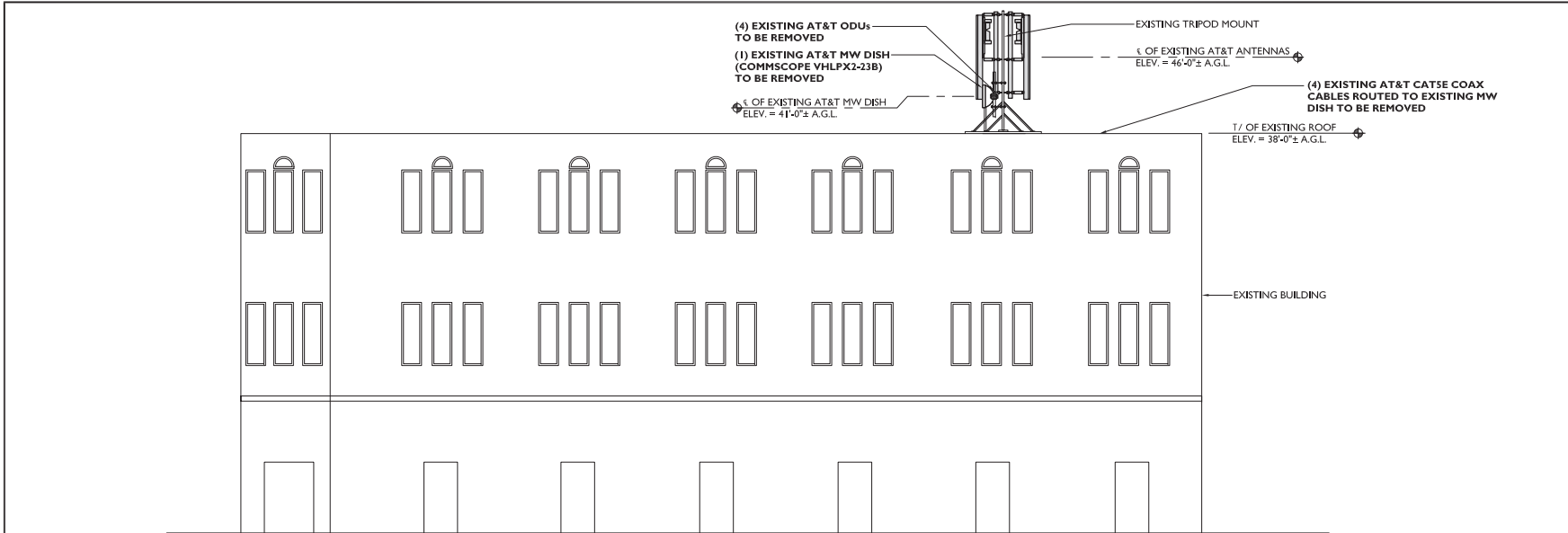
SITE ADDRESS
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME
SITE PLAN

SHEET NUMBER
C-1



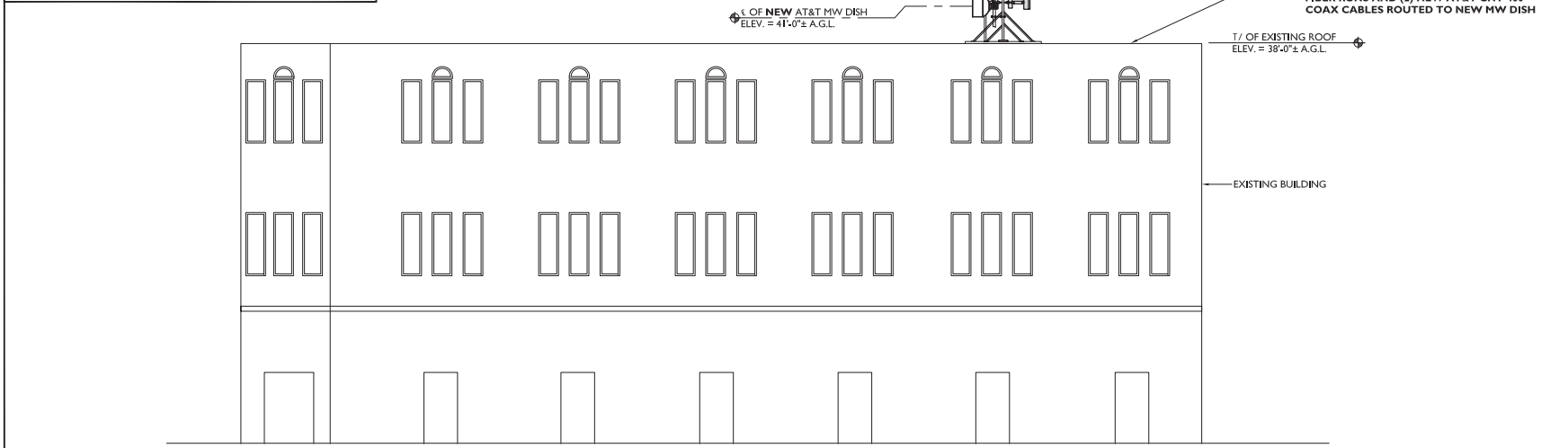
SCALE 1" = 10'-0" |



EXISTING SITE ELEVATION

SCALE: 3/32" = 1'-0" |

- NOTES:**
- CALCULATIONS FOR THE STRUCTURE WERE PREPARED BY OTHERS AND THOSE CALCULATIONS CERTIFY THE CAPACITY OF THE STRUCTURE TO SUPPORT THE NEW EQUIPMENT
 - CABLES NOT SHOWN FOR CLARITY



NEW SITE ELEVATION

SCALE: 3/32" = 1'-0" | 2



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SITE NAME
HAILEY

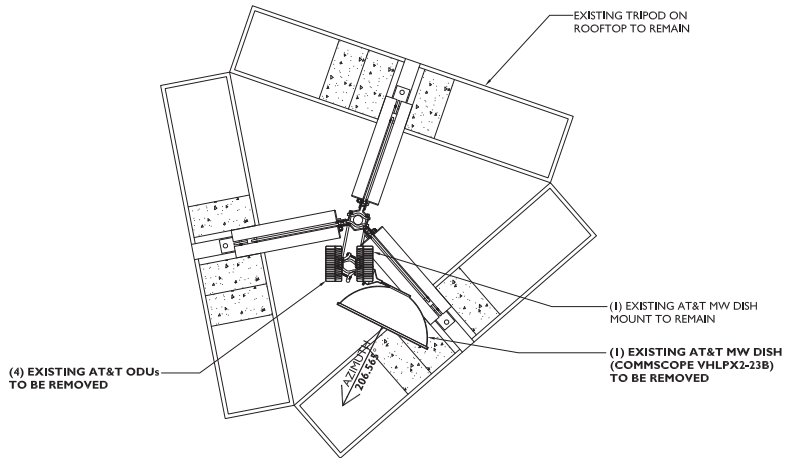
USID/SITE NUMBER:
USID 99737
ID4214
IWM PROJECT NUMBER:
WSLUTH0064286

SITE ADDRESS
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME
SITE ELEVATIONS

SHEET NUMBER
C-2

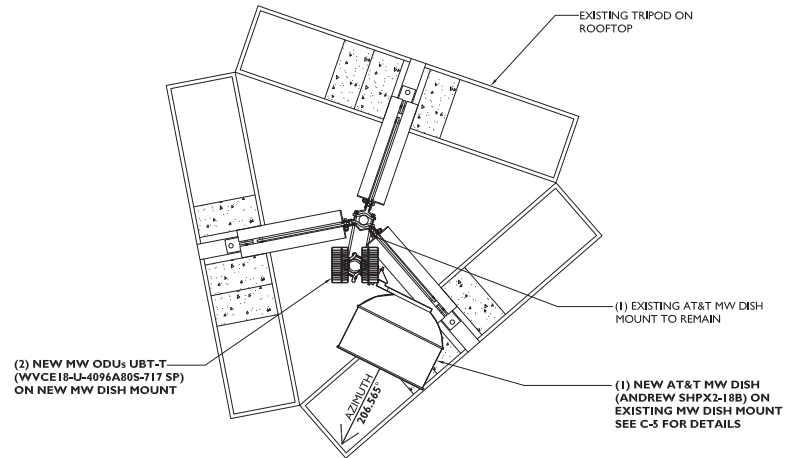
NOTE:
EXISTING ANTENNAS AND RRH UNITS
MOUNTED ON TRIPOD MOUNT NOT
SHOWN FOR CLARITY



ELEV. = 41'-0" AGL



NOTE:
EXISTING ANTENNAS AND RRH UNITS
MOUNTED ON TRIPOD MOUNT NOT
SHOWN FOR CLARITY



ELEV. = 41'-0" AGL



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OVERLAND PARK, KS 66204



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SITE NAME

HAILEY

USID/SITE NUMBER:

USID 99737

ID4214

IWM PROJECT NUMBER:

WSLUTH0064286

SITE ADDRESS

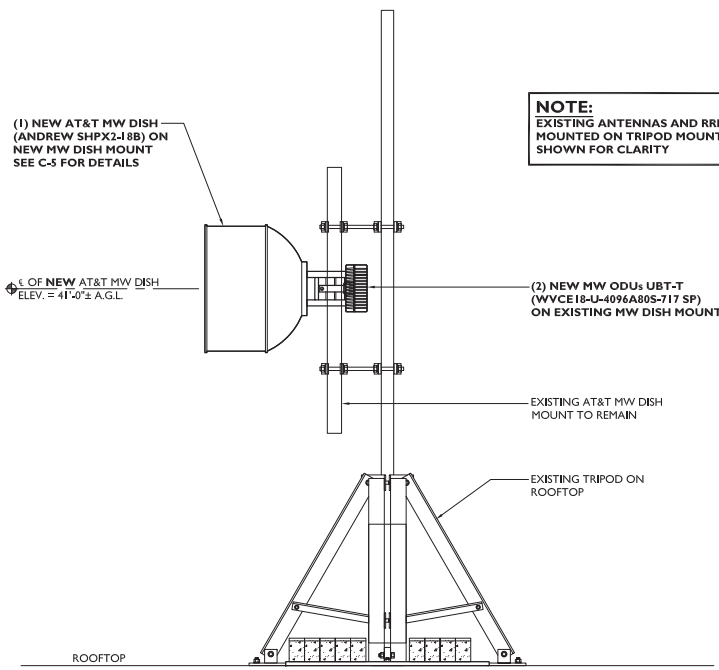
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME

MW DISH LAYOUTS

SHEET NUMBER

C-3



NOTE:
EXISTING ANTENNAS AND RRH UNITS
MOUNTED ON TRIPOD MOUNT NOT
SHOWN FOR CLARITY



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St. Charles, MO 63304



DESIGN DEVELOP CONSTRUCT
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SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-3400
COMM: C-232
www.fullerton-us.com

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0	11/03/25	FINAL	EC

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SITE NAME
HAILEY

USID/SITE NUMBER:
USID 99737
ID4214
IWM PROJECT NUMBER:
WSLUTH0064286

SITE ADDRESS
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME
MOUNTING DETAIL

SHEET NUMBER
C-4

SHPX2-18/B

Base Product



0.6 m | 2 ft Sentinel® High Performance Antenna, dual-polarized, 17.700–19.700 GHz

Product Classification

Product Type Microwave antenna
Product Brand Sentinel®

General Specifications

Antenna Type SHPX - Sentinel® High Performance Antenna, dual-polarized

Polarization Dual

Side Struts, Included 0

Side Struts, Optional 0

Dimensions

Diameter, nominal 0.6 m | 2 ft

Electrical Specifications

Operating Frequency Band 17.700 – 19.700 GHz

Gain, Low Band 38.4 dBi

Gain, Mid Band 38.9 dBi

Gain, Top Band 39.1 dBi

Boresite Cross Polarization Discrimination (XPD) 30 dB

Front-to-Back Ratio 70 dB

Beamwidth, Horizontal 2.1 °

Beamwidth, Vertical 2.1 °

Return Loss 17.7 dB

VSWR 1.3

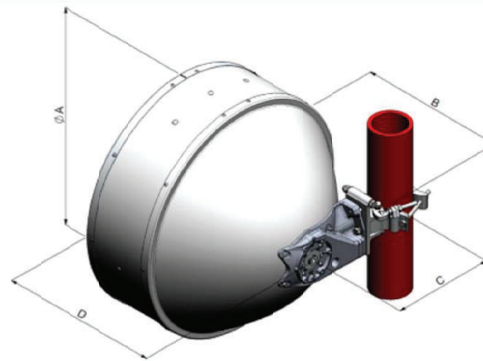
Page 1 of 6

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SHPX2-18/B

Antenna Dimensions and Mounting Information



Dimension in Inches(mm)				
Antenna size, ft(m)	A	B	C	D
2(0.6)	26.1(664)	17.4(441)	12.1(307)	18.8(478)

Wind Forces at Wind Velocity Survival Rating

Axial Force (FA)	1290 N 290.004 lbf
Angle c for MT Max	0 °
Side Force (FS)	639 N 143.653 lbf
Twisting Moment (MT)	395 N-m 3,496.045 in lb
Zcg without ice	187 mm 7.362 in
Zcg with 1/2 in (12 mm) Radial Ice	185 mm 7.283 in
Weight with 1/2 in (12 mm) Radial Ice	34 kg 74.957 lb

Page 3 of 6

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C/O # C-2532
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SITE NAME

HAILEY

USID/SITE NUMBER:

USID 99737
ID4214
IWM PROJECT NUMBER:
WSLUTH0064286

SITE ADDRESS

400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME

EQUIPMENT
SPECIFICATIONS

SHEET NUMBER

C-5



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SITE NAME
HAILEY

USID/SITE NUMBER:
USID 99737
ID4214
IWM PROJECT NUMBER:
WSLUTH0064286

SITE ADDRESS
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME
**EQUIPMENT
SCHEDULE AND
GROUNDING DIAGRAM**

SHEET NUMBER
C-6

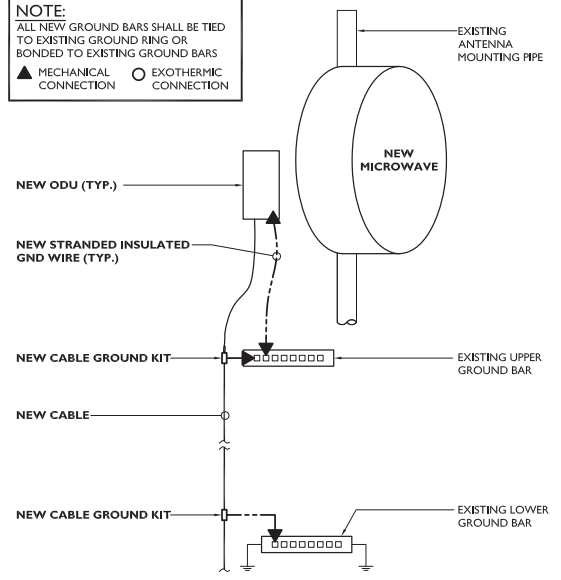
MW DISH #	MW DISH MODEL NUMBER	AZIMUTH (DEG)	RAD CENTER (AGL FT)	ODU QUANTITY	CABLE QUANTITY AND MODEL NUMBER	CABLE LENGTH
I	(N) ANDREW SHPX2-18B	206.565°	41'	(2) (N) UBT-T (WVCE18-U-4096A805-717 5P)	(2) (N) CNT-400 MW COAX (2) (N) 8MM ROSENBERGER FIBER	90±

‡ (E) - EXISTING (N) - NEW (R) - RELOCATED

EQUIPMENT SCHEDULE

SCALE: N.T.S. | 1

NOTE:
ALL NEW GROUND BARS SHALL BE TIED TO EXISTING GROUND RING OR BONDED TO EXISTING GROUND BARS
▲ MECHANICAL CONNECTION ○ EXOTHERMIC CONNECTION



GROUNDING DIAGRAM

SCALE: N.T.S. | 2

GENERAL NOTES:

- A. **PURPOSE AND INTENT:**
 - 1. THE DRAWING AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED, OR SPECIFIED IN BOTH. SHOULD THERE BE ANY DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
 - 2. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
- B. **CONFLICTS:**
 - 1. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO AT&T FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
 - 2. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.
- C. **CLEANING:** KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES. AT THE COMPLETION OF THE WORK, REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACTOR TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.
- D. **CODES:** CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE PROJECT. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.
- E. **LICENSING:** CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE TRADES SHALL BE LICENSED. RESEARCH AND COMPLY WITH THE LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.
- F. **OSHA:** FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS AND STATE LAWS BASED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE, BUT ARE NOT LIMITED TO, REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATIONS AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.
- G. **PHOTOS:** PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATION, GROUNDING, AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.
- H. **BUILDING PERMITS:** CONTRACTOR WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT. CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE. COMPLY WITH SPECIFIC PROJECT RELATED REQUESTS AND SUGGESTION MADE BY BUILDING INSPECTOR, AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENTS. AT&T WILL REIMBURSE THE CONTRACTOR FOR FEES, FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS, AND INSPECTION. (INCLUDED IN THE BASE PROPOSAL)
- I. **ZONING REGULATIONS AND CONDITIONAL USE PERMITS:** CONTRACTOR WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION, SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
- J. **FAA PERMIT AND TOWER LIGHTING:** REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL.
- K. **TOWER SECURITY:** IF REQUIRED, TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.
- L. **SITE CONTROL:**
 - 1. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO AT&T.
 - 2. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
 - 3. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

GENERAL NOTES

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. CONTRACTOR SHALL REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIALS, LITTER AND ALL FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
- 3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATIONS OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXCAVATION ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST CALL LOCAL UTILITY LOCATOR COMPANY.
- 4. THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- 5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT
- 6. THE CONTRACTOR SHALL RESTORE ALL DAMAGED, PUBLIC OR PRIVATE, PROPERTY TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE
- 7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- 8. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION, ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE REPLACED.
- 9. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS FOR CONSTRUCTION.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- 11. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
- 12. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
- 13. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OR OWNER'S REPRESENTATIVE ON THE DRAWINGS OR GEOTECHNICAL REPORT RECOMMENDATIONS
- 14. CONTRACTOR TO GRADE ALL AREAS OF THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OR EQUIPMENT PAD AND THE TOWER.
- 15. IF NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REGRADING ROADWAY AND ANY DISTURBED AREAS FOLLOWING INSTALLATION OF UTILITIES.
- 16. NO COMMERCIAL MESSAGES TO BE DISPLAYED ON TOWER
- 17. WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THIS DEVELOPMENT
- 18. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS UNLESS NOTED.



7801 FARLEY ST.
OVERLAND PARK, KS 66204



5055 Hwy N, Suite 200
St. Charles, MO 63304



1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
CO# 01-C-232
www.fullerton-us.com

REV	DATE	DESCRIPTION	BY
A	10/14/25	90% REVIEW	MD
0	11/03/25	FINAL	EC

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



SITE NAME
HAILEY

USID/SITE NUMBER:
USID 99737
ID4214
IWM PROJECT NUMBER:
WSUTH0064286

SITE ADDRESS
400 SOUTH MAIN STREET
HAILEY, ID, 83333

SHEET NAME
GENERAL NOTES

SHEET NUMBER
GN-1

WSUTH0064286



Date: November 3, 2025

Angela Tarter
Network Real Estate, LLC
1676 Bryan Rd., Suite 100-101
Dardenne Prairie, MO 63368
Angela.tarter@networkre.net

Shawn D. Cook, P.E.
Accelerated Tower Engineering LLC
4710 Portofino Drive
Longmont, CO 80503
(479) 530-8627
shawn.cook@atowereng.com

Subject: Roof Top Structural Analysis Report
Carrier Designation: Unknown
Carrier Site Number: 99737
Carrier Site Name: HAILEY (10129884)

Engineering Firm Designation: ATE Project Number: 041320250002

Site Data: 400 S Main St, Hailey, ID 83333, Blaine County
Latitude 43°31'.0", Longitude -114°18'45.6"
38.0 Foot Roof Top Site

Dear Angela Tarter,

Accelerated Tower Engineering, LLC is pleased to submit this "**Roof Top Structural Analysis Report**" for the structural integrity of the existing roof top structure. The purpose of the analysis is to determine the adequacy of the existing roof top structure with the addition of proposed equipment as specified in the email correspondence.

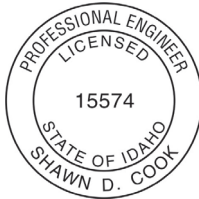
Analysis Results:

Existing Antenna Frame Stress Level with Existing + Proposed Equipment: 63.8% PASS
Existing Roof Top Stress Level with Existing + Proposed Equipment: 93.2% PASS

We at Accelerated Tower Engineering, LLC appreciate the opportunity of providing our continuing professional services to you. If you have any questions or need further assistance on this or any other projects, please give us a call.

Respectfully submitted,

Shawn D. Cook, P.E.
Structural Engineer
ID PE#: P-15574



1) ANALYSIS CRITERIA

Table 1 – Analysis Parameters

Parameter	Remarks
International Building Code	2018
TIA-222 Revision	TIA-222-H
Risk Category	II
Basic Wind Speed	115 mph
Exposure Category	C
Topographic Factor at Mount	1.00
Rooftop Wind Speed-Up Factor	1.00
Ground Elevation Factor	0.82
Wind Speed with Ice	40 mph
Ice Thickness	0.00 in
Seismic S_s	0.462
Seismic S_1	0.150

Table 2 – Final Configuration Loading

Mount Elevation (ft)	Antenna Centerline (ft)	Quantity	Manufacturer	Model	Notes
42.0	48.5	3	Ericsson	AIR 6472 B77G B77M	Existing
	46.0	3	Commscope	NNH4-65C-R6-UPM	
	41.0	1	Andrew	SHPX2-18/B	Proposed
	39.0	2	Nokia	UBT-T	

2) ANALYSIS PROCEDURE

Table 3 – Documents Provided

Document	Remarks	Source
Previous Mount Analysis	Trileaf (65319), dated 11/7/2019	On-File
Previous Analysis	MasTec (10031-S1), dated 6/27/2017	On-File
Photographs	Site Visit Photographs	On-File
Previous Mount Analysis	Accelerated Tower Engineering, dated 6/12/2025	On-File
Appurtenance Loading	Email Correspondence	Network

2.1) Analysis Method

RISA-3D, a commercially available analysis software package, was used to create a three-dimensional model of the mount and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendices.

2.2) Assumptions

- 1) The roof top was built, installed, and maintained in accordance with the manufactures' specifications and recommendations.
- 2) Material grades were not provided and were assumed to be in accordance with Table 2-3 "Applicable ASTM Specifications for Various Structural Shapes" per the AISC "Steel Construction Manual."
- 3) All bolted and welded connections are assumed to develop, at a minimum, a capacity equal to the members connected unless determined and explicitly stated in this report.

- 4) All equipment effective projected areas derived from computational fluid dynamics, provided by the manufacturer, were assumed to be correct and accurate.
- 5) All equipment and mount will be placed at the centerlines listed in the final loading configuration table above and placed in the mounting position listed in the output below.
- 6) The previous modifications and ballast requirements from the referenced Accelerated Tower Engineering report were assumed to have been installed per the drawings.

This analysis may be affected if any assumptions are not valid or have been made in error. Accelerated Tower Engineering, LLC should be notified immediately to determine the effect on the structural integrity of the mount.

3) RECOMMENDATIONS

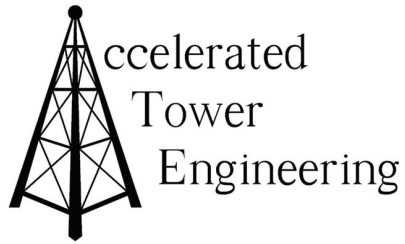
The roof top has sufficient capacity to carry the final loading configuration. No modifications are required at this time.

Table 4.1 – Antenna/RRU Connection Component Usages

Section Set	Member Designation	Code Check
Base Tray	L9	63.8%
Vertical	V1	56.7%
Diagonal	D3	48.5%
Horizontal	H1	8.5%
Mount Pipe(1)	MP3	30.0%
Mount Pipe(2)	MP4	31.2%
Threaded Rod	TR12	35.8%
Stabilizer	STAB	63.7%
Ballast Check	NA	Adequate

Table 4.2 – Building Component Usages

Component	Unity Check
Joist	93.2%



Appurtenance Wind Loading TIA-222-H

Project Data	
ATE #	041320250002
Site Name	HAILEY
Site Number	99737

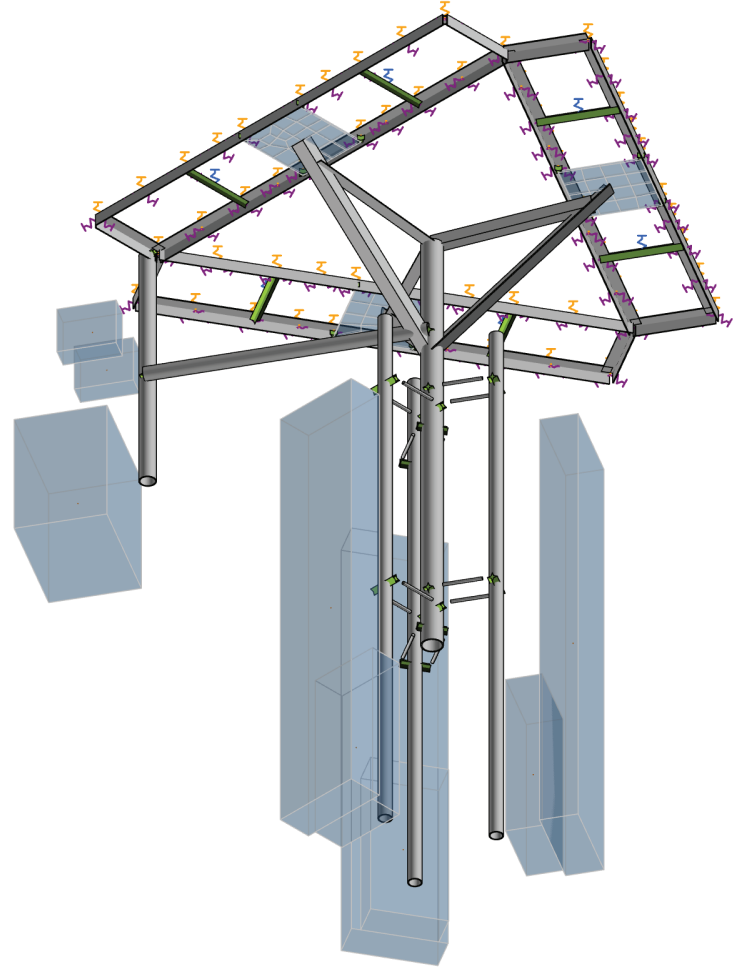
Site Information	
TIA Revision	H
Structure Class	II
Exposure Category	C
Basic Wind Speed (mph)	115
Basic Wind Speed with Ice (mph)	40
Density of Ice (pcf), δ_{ice}	56
Design Ice Thickness (in), t_i	0.00
Total Height of Structure (ft), h	38.0
Mount Centerline (ft), h_m	41.8
Wind Direction Probability Factor, K_d	0.95
Gust Response Factor, G_n	1.00
Appurtenance Shielding Factor, K_a	0.90
Ground Elevation Factor, K_e	0.82
Use CFD values for EPAs where available	TRUE

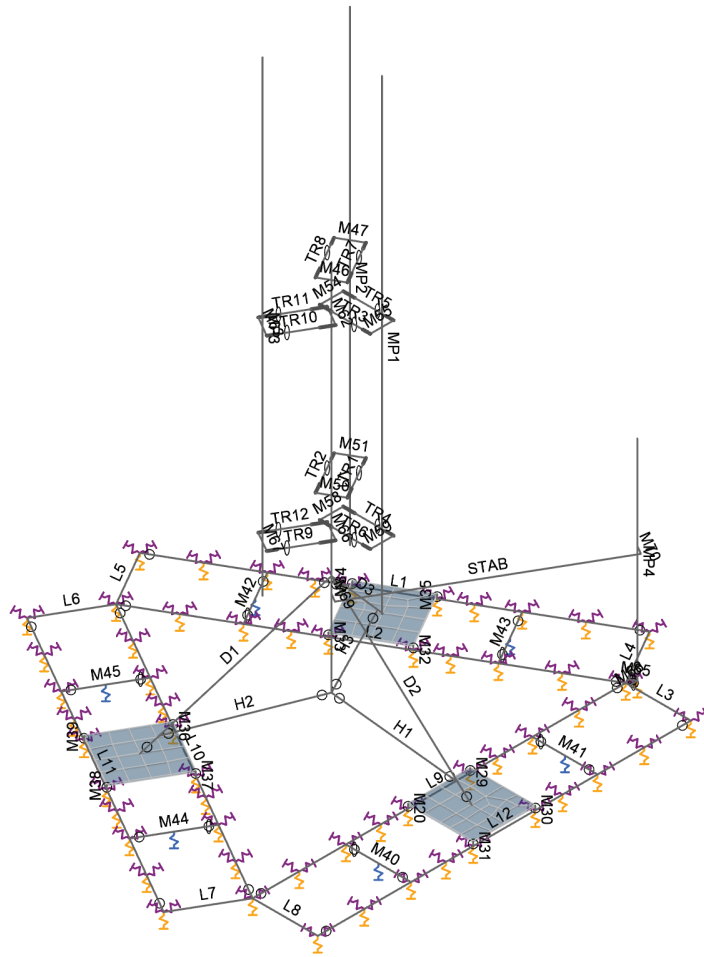
Seismic Information	
Short-Period Response Parameter, S_s	0.462
1Sec-Period Response Parameter, S_1	0.150
Soil Category	D
Short-Period Design Response Parameter, SDS	0.441
1Sec-Period Design Response Parameter, SD_1	0.230
Response Modification Coefficient, R	2.000
Seismic Response Coefficient, C_s	0.220
Earthquake Amplification Factor, A_s	3.000
Vertical Seismic Load Factor	0.264
Horizontal Seismic Load Factor	0.661


Mount Pipe Loading

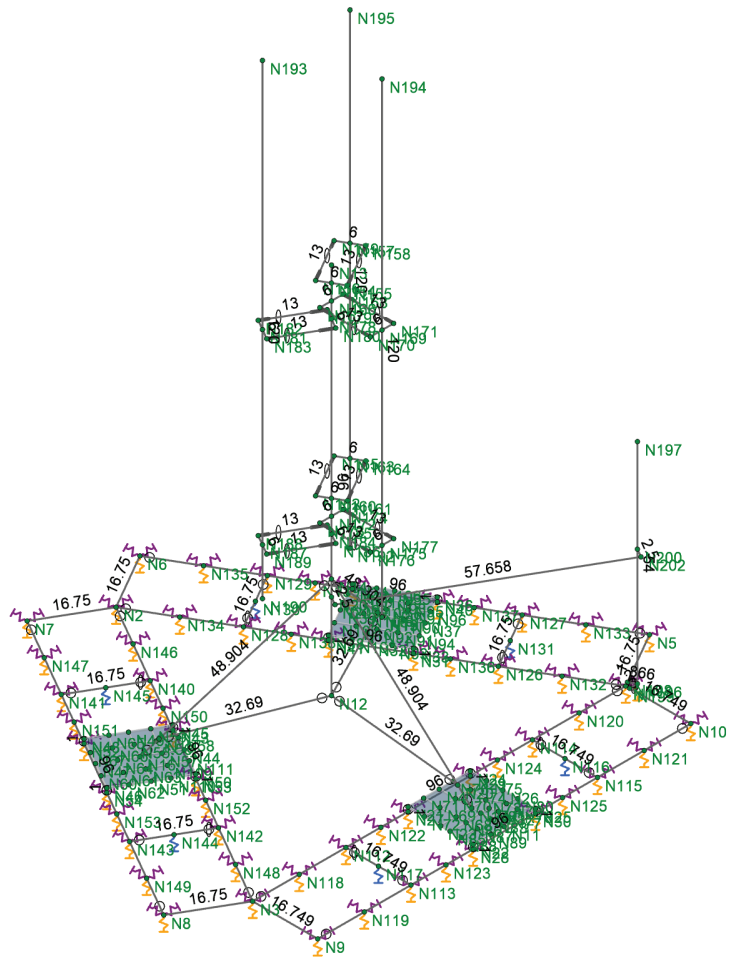
Mount Pipe	Mount Location	Vertical Offset (ft)	Length (in)	Diameter (in)	Weight (lbs)	Velocity Pressure Coefficient	Velocity Pressure (psf)	Front Force Coefficient	Front Design Wind Force (plf)	Side Force Coefficient	Side Design Wind Force (plf)	Ice Load (plf)
Pipe 2½ Std. x 120	1	3.0	120.0	2.875	58.0	1.07	28.3	1.00	6.1	1.20	7.3	
Pipe 2½ Std. x 120	2	3.0	120.0	2.875	58.0	1.07	28.3	1.00	6.1	1.20	7.3	
Pipe 2½ Std. x 120	3	3.0	120.0	2.875	58.0	1.07	28.3	1.00	6.1	1.20	7.3	
Pipe 3 Std. x 54	4	-2.4	54.0	3.500	34.1	1.04	27.6	0.99	7.1	0.99	7.1	

Appurtenance											
Appurtenance	Appurtenance Type	Mount Location	Quantity	Vertical Offset (ft)	Horizontal Offset (in)	Length (in)	Width (in)	Depth (in)	Weight (lbs)	Allow Shielding (Front)	%
COMMSCOPE: NNH4-65C-R6-UPM	Antenna	1	1	4.4	15.3	96.0	19.6	7.8	98.0	No	
ERICSSON: AIR 6472 B77G B77M	Antenna	1	1	6.9	7.7	36.3	15.8	7.4	86.9	Yes	
COMMSCOPE: NNH4-65C-R6-UPM	Antenna	2	1	4.4	15.3	96.0	19.6	7.8	98.0	No	
ERICSSON: AIR 6472 B77G B77M	Antenna	2	1	6.9	7.7	36.3	15.8	7.4	86.9	Yes	
COMMSCOPE: NNH4-65C-R6-UPM	Antenna	3	1	4.4	15.3	96.0	19.6	7.8	98.0	No	
ERICSSON: AIR 6472 B77G B77M	Antenna	3	1	6.9	7.7	36.3	15.8	7.4	86.9	Yes	





	Accelerated Tower Engine...	Tripod Ballast Frame	SK-2
	Shawn Cook, P.E.		Oct 30, 2025 at 09:59 AM
			(ANT) 99737 Mount Analysis....



Member Length (in) Displayed



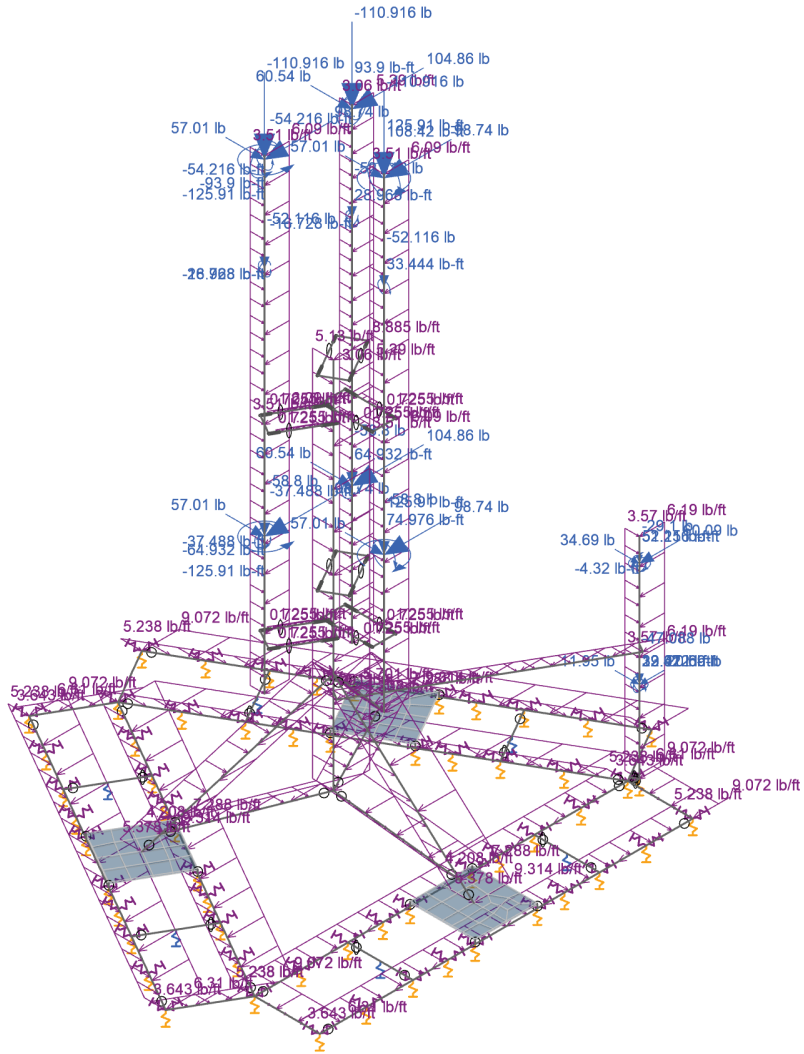
Accelerated Tower Engine...
Shawn Cook, P.E.

Tripod Ballast Frame

SK-4

Oct 30, 2025 at 09:59 AM

(ANT) 99737 Mount Analysis....



Loads: LC 10, 1.2D + 1.0W (240 deg)



Accelerated Tower Engine...
Shawn Cook, P.E.

Tripod Ballast Frame

SK-5

Oct 30, 2025 at 10:01 AM

(ANT) 99737 Mount Analysis....



Hot Rolled Steel Properties

Label	E [ksi]	G [ksi]	Nu	Therm. Coeff. [1e ⁻⁶ F ⁻¹]	Density [k/ft ³]	Yield [ksi]	Ry	Fu [ksi]	Rt
1 A36 Gr.36	29000	11154	0.3	0.65	0.49	36	1.5	58	1.2
2 A53 Gr.B	29000	11154	0.3	0.65	0.49	35	1.6	60	1.2
3 SAE J429-5	29000	11154	0.3	0.65	0.49	92	1.4	120	1.3

Hot Rolled Steel Section Sets

Label	Shape	Type	Design List	Material	Design Rule	Area [in ²]	Iyy [in ⁴]	Izz [in ⁴]	J [in ⁸]
1 Base Tray	L2.5X2.5X3	None	None	A36 Gr.36	Typical	0.901	0.535	0.535	0.011
2 Vertical	PIPE 4.0(NOMINAL)	None	None	A53 Gr.B	Typical	3.174	7.233	7.233	14.465
3 Diagonal	L3X3X4	None	None	A36 Gr.36	Typical	1.44	1.23	1.23	0.031
4 Horizontal	L2.5X2.5X3	None	None	A36 Gr.36	Typical	0.901	0.535	0.535	0.011
5 Mount Pipe(1)	PIPE 2.5(NOMINAL)	None	None	A53 Gr.B	Typical	1.704	1.53	1.53	3.059
6 Mount Pipe(2)	PIPE 3.0(NOMINAL)	None	None	A53 Gr.B	Typical	2.228	3.017	3.017	6.034
7 Threaded Rod	SR5/8	None	None	SAE J429-5	Typical	0.307	0.007	0.007	0.015
8 Stabilizer	PIPE 2.5(NOMINAL)	None	None	A53 Gr.B	Typical	1.704	1.53	1.53	3.059

Material Take-Off

Material	Size	Pieces	Length[in]	Weight[K]
1 General Members				
2 RIGID		34	193.4	0
3 Total General		34	193.4	0
4				
5 Hot Rolled Steel				
6 A36 Gr.36	L3X3X4	3	146.7	0.06
7 A36 Gr.36	L2.5X2.5X3	15	774.6	0.198
8 A53 Gr.B	PIPE 2.5(NOMINAL)	4	417.7	0.202
9 A53 Gr.B	PIPE 3.0(NOMINAL)	1	54	0.034
10 A53 Gr.B	PIPE 4.0(NOMINAL)	1	96	0.086
11 SAE J429-5	SR5/8	12	96	0.008
12 Total HR Steel		36	1584.9	0.588
13				
14 Plate Elements	Thickness (in)		Volume (yds^3)	
15 gen Steel	0.4	57	0	0.085
16 Total Plates		57	0	0.085

Hot Rolled Steel Design Parameters

Label	Shape	Length [in]	Lb y-y [in]	Lb z-z [in]	Lcomp top [in]	Channel Conn.	a [in]	Function
1 V1	Vertical	96	70	70	Lbyy	N/A	N/A	Lateral
2 L9	Base Tray	96	40	40		N/A	N/A	Lateral
3 L12	Base Tray	96	40	40		N/A	N/A	Lateral
4 L8	Base Tray	16.749			Lbyy	N/A	N/A	Lateral
5 L3	Base Tray	16.749			Lbyy	N/A	N/A	Lateral
6 L2	Base Tray	96	40	40		N/A	N/A	Lateral
7 L1	Base Tray	96	40	40		N/A	N/A	Lateral
8 L4	Base Tray	16.75			Lbyy	N/A	N/A	Lateral
9 L5	Base Tray	16.75			Lbyy	N/A	N/A	Lateral
10 L6	Base Tray	16.75			Lbyy	N/A	N/A	Lateral
11 L10	Base Tray	96	40	40		N/A	N/A	Lateral
12 L11	Base Tray	96	40	40		N/A	N/A	Lateral
13 L7	Base Tray	16.75			Lbyy	N/A	N/A	Lateral
14 D3	Diagonal	48.904			Lbyy	N/A	N/A	Lateral
15 D1	Diagonal	48.904			Lbyy	N/A	N/A	Lateral



Hot Rolled Steel Design Parameters (Continued)

Label	Shape	Length [in]	Lb y-y [in]	Lb z-z [in]	Lcomp top [in]	Channel Conn.	a [in]	Function
16	D2	Diagonal	48.904			Lbvy	N/A	Lateral
17	H2	Horizontal	32.69			Lbvy	N/A	Lateral
18	H3	Horizontal	32.69			Lbvy	N/A	Lateral
19	H1	Horizontal	32.69			Lbvy	N/A	Lateral
20	TR7	Threaded Rod	13			Lbvy	N/A	Lateral
21	TR8	Threaded Rod	13			Lbvy	N/A	Lateral
22	TR1	Threaded Rod	13			Lbvy	N/A	Lateral
23	TR2	Threaded Rod	13			Lbvy	N/A	Lateral
24	TR3	Threaded Rod	13			Lbvy	N/A	Lateral
25	TR5	Threaded Rod	13			Lbvy	N/A	Lateral
26	TR6	Threaded Rod	13			Lbvy	N/A	Lateral
27	TR4	Threaded Rod	13			Lbvy	N/A	Lateral
28	TR11	Threaded Rod	13			Lbvy	N/A	Lateral
29	TR10	Threaded Rod	13			Lbvy	N/A	Lateral
30	TR12	Threaded Rod	13			Lbvy	N/A	Lateral
31	TR9	Threaded Rod	13			Lbvy	N/A	Lateral
32	MP1	Mount Pipe(1)	120	Segment	Segment	Lbvy	N/A	Lateral
33	MP2	Mount Pipe(1)	120	Segment	Segment	Lbvy	N/A	Lateral
34	MP3	Mount Pipe(1)	120	Segment	Segment	Lbvy	N/A	Lateral
35	MP4	Mount Pipe(2)	54			Lbvy	N/A	Lateral
36	STAB	Stabilizer	57.658			Lbvy	N/A	Lateral

Node Coordinates

Label	X [in]	Y [in]	Z [in]	Detach From Diaphragm
1	N1	27.713	0	-48
2	N2	-55.426	0	0
3	N3	27.713	0	48
4	N4	27.713	1	0
5	N5	19.338	0	-62.506
6	N6	-63.8	0	-14.506
7	N7	-63.8	0	14.506
8	N8	19.338	0	62.506
9	N9	44.462	0	48
10	N10	44.462	0	-48
11	N11	44.462	1	0
12	N12	0	8	0
13	N13	0	104	0
14	N14	0	34.004	0
15	N15	-18.044	1	-31.253
16	N16	-18.044	1	31.253
17	N17	36.088	1	0
18	N18	-16.239825	4.299988	-28.12809
19	N19	-16.239907	4.299838	28.128232
20	N20	32.479728	4.299917	0
21	N21	27.713	1	8
22	N22	44.462	1	8
23	N23	36.088	1	8
24	N24	27.713	1	-8
25	N25	44.462	1	-8
26	N26	36.088	1	-8
27	N27	27.713	0	8
28	N28	44.462	0	8
29	N29	27.713	0	-8
30	N30	44.462	0	-8
31	N31	-6.927969	0	-28.000162



Node Coordinates (Continued)

	Label	X [in]	Y [in]	Z [in]	Detach From Diaphragm
32	N32	-13.8565	1	-24.000162	
33	N33	-6.928297	1	-28.000162	
34	N34	-29.159203	1	-34.505222	
35	N35	-22.231	1	-38.505222	
36	N36	-15.302797	1	-42.505222	
37	N37	-11.115797	1	-35.253125	
38	N38	-20.784703	1	-20.000162	
39	N39	-24.972203	1	-27.253125	
40	N40	-15.304182	0	-42.505222	
41	N41	-20.784469	0	-20.000162	
42	N42	-29.160515	0	-34.505222	
43	N43	-20.784469	0	20.000162	
44	N44	-13.8565	1	24.000162	
45	N45	-20.784703	1	20.000162	
46	N46	-15.302797	1	42.505222	
47	N47	-22.231	1	38.505222	
48	N48	-29.159203	1	34.505222	
49	N49	-24.972203	1	27.253125	
50	N50	-6.928297	1	28.000162	
51	N51	-11.115797	1	35.253125	
52	N52	-29.160515	0	34.505222	
53	N53	-6.927969	0	28.000162	
54	N54	-15.304182	0	42.505222	
55	N55	-21.508102	1	29.253062	
56	N56	-19.414352	1	25.626612	
57	N57	-15.950223	1	27.626597	
58	N58	-17.320602	1	22.000162	
59	N59	-22.878453	1	23.626643	
60	N60	-18.766898	1	40.505222	
61	N61	-16.673398	1	36.879142	
62	N62	-13.209297	1	38.879173	
63	N63	-14.579898	1	33.253062	
64	N64	-20.137473	1	34.879126	
65	N65	-26.821594	1	30.456364	
66	N66	-23.526079	1	32.852277	
67	N67	-25.335026	1	36.713111	
68	N68	36.088	1	4	
69	N69	31.9005	1	4	
70	N70	31.9005	1	0	
71	N71	27.713	1	4	
72	N72	31.9005	1	8	
73	N73	36.088	1	-3.584343	
74	N74	31.9005	1	-3.896086	
75	N75	31.9005	1	-8	
76	N76	27.713	1	-3.584343	
77	N77	42.136469	1	-2.693809	
78	N78	42.168225	1	-5.588661	
79	N79	39.58125	1	-5.432797	
80	N80	39.916669	1	-8	
81	N81	38.396403	1	-2.150617	
82	N82	40.301423	1	-2.632597	
83	N83	41.168294	1	0	
84	N84	38.383196	1	0	
85	N85	38.502276	1	8	
86	N86	38.639144	1	3.990997	



Node Coordinates (Continued)

	Label	X [in]	Y [in]	Z [in]	Detach From Diaphragm
87	N87	41.430755	1	3.926529	
88	N88	41.367132	1	8	
89	N89	44.462	1	3.421237	
90	N90	-14.579898	1	-33.253062	
91	N91	-12.486148	1	-29.626612	
92	N92	-15.95025	1	-27.626581	
93	N93	-10.392398	1	-26.000162	
94	N94	-9.022047	1	-31.626643	
95	N95	-17.758749	1	-37.397227	
96	N96	-12.965196	1	-38.456378	
97	N97	-16.202395	1	-35.892539	
98	N98	-20.629747	1	-35.731722	
99	N99	-19.221358	1	-33.29228	
100	N100	-21.148119	1	-29.460892	
101	N101	-19.324356	1	-25.67857	
102	N102	-22.878453	1	-23.626643	
103	N103	-16.960619	1	-22.207998	
104	N104	-26.232944	1	-29.436792	
105	N105	-22.756662	1	-31.539795	
106	N106	-25.177221	1	-36.80422	
107	N107	-24.135252	1	-33.965267	
108	N108	-27.669674	1	-31.925281	
109	N109	-12.561663	1	29.653489	
110	N110	-9.266179	1	32.049494	
111	N111	-10.752381	1	25.792326	
112	N112	27.713	0	24	
113	N113	44.462	0	24	
114	N114	27.713	0	-24	
115	N115	44.462	0	-24	
116	N116	36.0875	0	-24	
117	N117	36.0875	0	24	
118	N118	27.713	0	36	
119	N119	44.462	0	36	
120	N120	27.713	0	-36	
121	N121	44.462	0	-36	
122	N122	27.713	0	15	
123	N123	44.462	0	15	
124	N124	27.713	0	-15	
125	N125	44.462	0	-15	
126	N126	6.928215	0	-35.99998	
127	N127	-1.446755	0	-50.505853	
128	N128	-34.641075	0	-12.000101	
129	N129	-43.015919	0	-26.505758	
130	N130	-38.82836	0	-19.252692	
131	N131	2.74086	0	-43.252692	
132	N132	17.320415	0	-42.000162	
133	N133	8.945915	0	-56.505222	
134	N134	-45.033415	0	-6.000162	
135	N135	-53.407915	0	-20.505222	
136	N136	-0.866119	0	-31.500162	
137	N137	-9.240619	0	-46.005222	
138	N138	-26.846881	0	-16.500162	
139	N139	-35.221381	0	-31.005222	
140	N140	-34.641075	0	12.000101	
141	N141	-43.015919	0	26.505758	



Node Coordinates (Continued)

	Label	X [in]	Y [in]	Z [in]	Detach From Diaphragm
142	N142	6.928215	0	35.99998	
143	N143	-1.446755	0	50.505853	
144	N144	2.74086	0	43.252692	
145	N145	-38.82836	0	19.252692	
146	N146	-45.033415	0	6.000162	
147	N147	-53.407915	0	20.505222	
148	N148	17.320415	0	42.000162	
149	N149	8.945915	0	56.505222	
150	N150	-26.846881	0	16.500162	
151	N151	-35.221381	0	31.005222	
152	N152	-0.866119	0	31.500162	
153	N153	-9.240619	0	46.005222	
154	N154	0	100	0	
155	N155	2.598076	100	-1.5	
156	N156	-2.598076	100	1.5	
157	N157	-6.5	100	-11.25833	
158	N158	-3.901924	100	-12.75833	
159	N159	-9.098076	100	-9.75833	
160	N160	0	52	0	
161	N161	2.598076	52	-1.5	
162	N162	-2.598076	52	1.5	
163	N163	-6.5	52	-11.25833	
164	N164	-3.901924	52	-12.75833	
165	N165	-9.098076	52	-9.75833	
166	N166	0	96	0	
167	N167	0	96	3	
168	N168	0	96	-3	
169	N169	13	96	0	
170	N170	13	96	3	
171	N171	13	96	-3	
172	N172	0	48	0	
173	N173	0	48	3	
174	N174	0	48	-3	
175	N175	13	48	0	
176	N176	13	48	3	
177	N177	13	48	-3	
178	N178	0	92	0	
179	N179	-2.598076	92	-1.5	
180	N180	2.598076	92	1.5	
181	N181	-6.5	92	11.25833	
182	N182	-9.098076	92	9.75833	
183	N183	-3.901924	92	12.75833	
184	N184	0	44	0	
185	N185	-2.598076	44	-1.5	
186	N186	2.598076	44	1.5	
187	N187	-6.5	44	11.25833	
188	N188	-9.098076	44	9.75833	
189	N189	-3.901924	44	12.75833	
190	N190	-6.5	32	11.25833	
191	N191	13	32	0	
192	N192	-6.5	32	-11.25833	
193	N193	-6.5	152	11.25833	
194	N194	13	152	0	
195	N195	-6.5	152	-11.25833	
196	N196	28.713	0	-50	



Node Coordinates (Continued)

	Label	X [in]	Y [in]	Z [in]	Detach From Diaphragm
197	N197	28.713	54	-50	
198	N198	27.096975	0	-49.066992	
199	N199	28.713	0	-48	
200	N200	28.713	30	-50	
201	N201	0	30	0	
202	N202	30.878064	30	-48.75	
203	N203	2.165064	30	1.25	

Node Boundary Conditions

	Node Label	X [k/in]	Y [k/in]	Z [k/in]
1	N8	S0.25	CS5	S0.25
2	N9	S0.25	CS5	S0.25
3	N43	S0.25	CS5	S0.25
4	N30	S0.25	CS5	S0.25
5	N53	S0.25	CS5	S0.25
6	N52	S0.25	CS5	S0.25
7	N1	S0.25	CS5	S0.25
8	N2	S0.25	CS5	S0.25
9	N3	S0.25	CS5	S0.25
10	N29	S0.25	CS5	S0.25
11	N5	S0.25	CS5	S0.25
12	N6	S0.25	CS5	S0.25
13	N7	S0.25	CS5	S0.25
14	N10	S0.25	CS5	S0.25
15	N28	S0.25	CS5	S0.25
16	N27	S0.25	CS5	S0.25
17	N31	S0.25	CS5	S0.25
18	N40	S0.25	CS5	S0.25
19	N41	S0.25	CS5	S0.25
20	N42	S0.25	CS5	S0.25
21	N54	S0.25	CS5	S0.25
22	N116		TS1	
23	N117		TS1	
24	N112	S0.25	CS5	S0.25
25	N113	S0.25	CS5	S0.25
26	N114	S0.25	CS5	S0.25
27	N115	S0.25	CS5	S0.25
28	N118	S0.25	CS5	S0.25
29	N119	S0.25	CS5	S0.25
30	N120	S0.25	CS5	S0.25
31	N121	S0.25	CS5	S0.25
32	N122	S0.25	CS5	S0.25
33	N123	S0.25	CS5	S0.25
34	N124	S0.25	CS5	S0.25
35	N125	S0.25	CS5	S0.25
36	N126	S0.25	CS5	S0.25
37	N127	S0.25	CS5	S0.25
38	N128	S0.25	CS5	S0.25
39	N129	S0.25	CS5	S0.25
40	N130		TS1	
41	N131		TS1	
42	N132	S0.25	CS5	S0.25
43	N133	S0.25	CS5	S0.25
44	N134	S0.25	CS5	S0.25
45	N135	S0.25	CS5	S0.25



Node Boundary Conditions (Continued)

	Node Label	X [k/in]	Y [k/in]	Z [k/in]
46	N136	S0.25	CS5	S0.25
47	N137	S0.25	CS5	S0.25
48	N138	S0.25	CS5	S0.25
49	N139	S0.25	CS5	S0.25
50	N140	S0.25	CS5	S0.25
51	N141	S0.25	CS5	S0.25
52	N142	S0.25	CS5	S0.25
53	N143	S0.25	CS5	S0.25
54	N144		TS1	
55	N145		TS1	
56	N146	S0.25	CS5	S0.25
57	N147	S0.25	CS5	S0.25
58	N148	S0.25	CS5	S0.25
59	N149	S0.25	CS5	S0.25
60	N150	S0.25	CS5	S0.25
61	N151	S0.25	CS5	S0.25
62	N152	S0.25	CS5	S0.25
63	N153	S0.25	CS5	S0.25
64	N196		CS5	

Basic Load Cases

	BLC Description	Category	X Gravity	Y Gravity	Z Gravity	Point	Distributed
1	Dead Load	None		-1		41	
2	Wind Load (0 deg)	None				16	34
3	Wind Load (30 deg)	None				24	76
4	Wind Load (60 deg)	None				25	68
5	Wind Load (90 deg)	None				18	68
6	Wind Load (120 deg)	None				25	66
7	Wind Load (150 deg)	None				27	76
8	Wind Load (180 deg)	None				16	60
9	Wind Load (210 deg)	None				24	76
10	Wind Load (240 deg)	None				25	68
11	Wind Load (270 deg)	None				18	68
12	Wind Load (300 deg)	None				25	66
13	Wind Load (330 deg)	None				27	76
14	Vert. Seismic Load	None		-0.264		41	
15	Horz. Seismic Load (0 deg)	None	-0.661			26	
16	Horz. Seismic Load (30 deg)	None	-0.572		-0.33	45	
17	Horz. Seismic Load (60 deg)	None	-0.33		-0.572	41	
18	Horz. Seismic Load (90 deg)	None			-0.661	30	
19	Horz. Seismic Load (120 deg)	None	0.33		-0.572	41	
20	Horz. Seismic Load (150 deg)	None	0.572		-0.33	45	
21	Horz. Seismic Load (180 deg)	None	0.661			26	
22	Horz. Seismic Load (210 deg)	None	0.572		0.33	45	
23	Horz. Seismic Load (240 deg)	None	0.33		0.572	41	
24	Horz. Seismic Load (270 deg)	None			0.661	30	
25	Horz. Seismic Load (300 deg)	None	-0.33		0.572	41	
26	Horz. Seismic Load (330 deg)	None	-0.572		0.33	45	

Load Combinations

	Description	Solve	P-Delta	BLC	Factor	BLC	Factor	BLC	Factor
1	1.4D	Yes	Y	1	1.4				
2	1.2D + 1.0W (0 deg)	Yes	Y	1	1.2	2	1		



Load Combinations (Continued)

	Description	Solve	P-Delta	BLC	Factor	BLC	Factor	BLC	Factor
3	1.2D + 1.0W (30 deg)	Yes	Y	1	1.2	3	1		
4	1.2D + 1.0W (60 deg)	Yes	Y	1	1.2	4	1		
5	1.2D + 1.0W (90 deg)	Yes	Y	1	1.2	5	1		
6	1.2D + 1.0W (120 deg)	Yes	Y	1	1.2	6	1		
7	1.2D + 1.0W (150 deg)	Yes	Y	1	1.2	7	1		
8	1.2D + 1.0W (180 deg)	Yes	Y	1	1.2	8	1		
9	1.2D + 1.0W (210 deg)	Yes	Y	1	1.2	9	1		
10	1.2D + 1.0W (240 deg)	Yes	Y	1	1.2	10	1		
11	1.2D + 1.0W (270 deg)	Yes	Y	1	1.2	11	1		
12	1.2D + 1.0W (300 deg)	Yes	Y	1	1.2	12	1		
13	1.2D + 1.0W (330 deg)	Yes	Y	1	1.2	13	1		
14	1.2D + 1.0Ev + 1.0Eh (0 deg)	Yes	Y	1	1.2	14	1	15	1
15	1.2D + 1.0Ev + 1.0Eh (30 deg)	Yes	Y	1	1.2	14	1	16	1
16	1.2D + 1.0Ev + 1.0Eh (60 deg)	Yes	Y	1	1.2	14	1	17	1
17	1.2D + 1.0Ev + 1.0Eh (90 deg)	Yes	Y	1	1.2	14	1	18	1
18	1.2D + 1.0Ev + 1.0Eh (120 deg)	Yes	Y	1	1.2	14	1	19	1
19	1.2D + 1.0Ev + 1.0Eh (150 deg)	Yes	Y	1	1.2	14	1	20	1
20	1.2D + 1.0Ev + 1.0Eh (180 deg)	Yes	Y	1	1.2	14	1	21	1
21	1.2D + 1.0Ev + 1.0Eh (210 deg)	Yes	Y	1	1.2	14	1	22	1
22	1.2D + 1.0Ev + 1.0Eh (240 deg)	Yes	Y	1	1.2	14	1	23	1
23	1.2D + 1.0Ev + 1.0Eh (270 deg)	Yes	Y	1	1.2	14	1	24	1
24	1.2D + 1.0Ev + 1.0Eh (300 deg)	Yes	Y	1	1.2	14	1	25	1
25	1.2D + 1.0Ev + 1.0Eh (330 deg)	Yes	Y	1	1.2	14	1	26	1

Envelope Node Reactions

Node Label		LC	X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC
1	N8	max	16.262	2	12.32	20	26.561	6	0	25	0	25	0	25
2		min	-19.765	7	0	1	-23.043	10	0	1	0	1	0	1
3	N9	max	17.483	2	7.229	17	23.446	6	0	25	0	25	0	25
4		min	-19.733	7	0	1	-21.439	10	0	1	0	1	0	1
5	N43	max	32.307	13	273.027	12	30.751	6	0	25	0	25	0	25
6		min	-29.35	8	0	4	-52.656	12	0	1	0	1	0	1
7	N30	max	60.443	2	390.142	8	23.515	6	0	25	0	25	0	25
8		min	-75.997	8	0	2	-21.258	10	0	1	0	1	0	1
9	N53	max	32.171	13	275.202	12	30.625	6	0	25	0	25	0	25
10		min	-28.134	8	0	4	-52.405	12	0	1	0	1	0	1
11	N52	max	36.213	13	382.128	12	34.929	6	0	25	0	25	0	25
12		min	-29.441	8	0	4	-61.345	12	0	1	0	1	0	1
13	N1	max	25.807	3	346.72	6	26.834	6	0	25	0	25	0	25
14		min	-24.682	8	0	2	-24.209	10	0	1	0	1	0	1
15	N2	max	21.599	2	18.543	13	27.246	5	0	25	0	25	0	25
16		min	-21.331	8	0	1	-22.569	11	0	1	0	1	0	1
17	N3	max	17.492	2	27.995	4	26.479	6	0	25	0	25	0	25
18		min	-19.738	7	0	1	-24.164	10	0	1	0	1	0	1
19	N29	max	54.346	2	268.403	8	26.664	6	0	25	0	25	0	25
20		min	-65.807	8	0	2	-24.108	10	0	1	0	1	0	1
21	N5	max	25.88	3	21.15	17	25.873	6	0	25	0	25	0	25
22		min	-25.874	9	0	2	-23.563	10	0	1	0	1	0	1
23	N6	max	20.153	2	9.047	7	27.197	5	0	25	0	25	0	25
24		min	-22.073	8	0	1	-22.891	11	0	1	0	1	0	1
25	N7	max	20.332	2	12.604	20	27.451	5	0	25	0	25	0	25
26		min	-19.953	8	0	1	-22.431	11	0	1	0	1	0	1
27	N10	max	25.794	3	7.361	19	23.507	6	0	25	0	25	0	25
28		min	-24.675	8	0	1	-21.292	10	0	1	0	1	0	1
29	N28	max	57.579	2	379.983	8	23.449	6	0	25	0	25	0	25

Envelope Node Reactions (Continued)

Node Label		X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC	
30		min	-74.753	8	0	2	-21.431	10	0	1	0	1	0	1
31	N27	max	51.446	2	308.778	9	26.559	6	0	25	0	25	0	25
32		min	-64.541	8	0	2	-24.229	10	0	1	0	1	0	1
33	N31	max	45.392	3	253.59	3	62.444	4	0	25	0	25	0	25
34		min	-31.418	8	0	7	-49.867	11	0	1	0	1	0	1
35	N40	max	50.357	3	418.029	4	70.94	4	0	25	0	25	0	25
36		min	-36.19	9	0	7	-54.846	11	0	1	0	1	0	1
37	N41	max	45.189	3	280.425	3	61.28	4	0	25	0	25	0	25
38		min	-32.041	8	0	7	-48.871	11	0	1	0	1	0	1
39	N42	max	50.323	3	409.208	4	69.779	4	0	25	0	25	0	25
40		min	-35.478	9	0	7	-53.771	11	0	1	0	1	0	1
41	N54	max	36.035	13	380.37	12	34.788	6	0	25	0	25	0	25
42		min	-28.196	8	0	4	-61.048	12	0	1	0	1	0	1
43	N116	max	0	25	0	22	0	25	0	25	0	25	0	25
44		min	0	1	-693.271	2	0	1	0	1	0	1	0	1
45	N117	max	0	25	0	24	0	25	0	25	0	25	0	25
46		min	0	1	-573.77	2	0	1	0	1	0	1	0	1
47	N112	max	41.378	2	116.42	9	26.523	6	0	25	0	25	0	25
48		min	-53.16	8	0	2	-24.199	10	0	1	0	1	0	1
49	N113	max	41.378	2	31.119	11	23.444	6	0	25	0	25	0	25
50		min	-53.16	8	0	2	-21.431	10	0	1	0	1	0	1
51	N114	max	47.495	2	118.907	8	26.728	6	0	25	0	25	0	25
52		min	-56.479	8	0	2	-24.145	10	0	1	0	1	0	1
53	N115	max	47.495	2	90.434	8	23.509	6	0	25	0	25	0	25
54		min	-56.479	8	0	2	-21.269	10	0	1	0	1	0	1
55	N118	max	30.213	2	39.971	11	26.5	6	0	25	0	25	0	25
56		min	-37.154	8	0	2	-24.181	10	0	1	0	1	0	1
57	N119	max	28.862	2	8.13	24	23.444	6	0	25	0	25	0	25
58		min	-35.225	8	0	2	-21.434	10	0	1	0	1	0	1
59	N120	max	37.424	2	155.973	7	26.78	6	0	25	0	25	0	25
60		min	-42.347	8	0	2	-24.176	10	0	1	0	1	0	1
61	N121	max	36.071	2	17.918	19	23.507	6	0	25	0	25	0	25
62		min	-40.229	8	0	2	-21.279	10	0	1	0	1	0	1
63	N122	max	47.733	2	224.615	9	26.542	6	0	25	0	25	0	25
64		min	-61.01	8	0	2	-24.215	10	0	1	0	1	0	1
65	N123	max	51.236	2	236.301	8	23.446	6	0	25	0	25	0	25
66		min	-66.411	8	0	2	-21.43	10	0	1	0	1	0	1
67	N124	max	52.422	2	198.389	8	26.691	6	0	25	0	25	0	25
68		min	-63.181	8	0	2	-24.123	10	0	1	0	1	0	1
69	N125	max	55.892	2	262.83	8	23.512	6	0	25	0	25	0	25
70		min	-68.569	8	0	2	-21.262	10	0	1	0	1	0	1
71	N126	max	40.238	3	111.167	4	52.348	4	0	25	0	25	0	25
72		min	-29.423	8	0	2	-41.914	11	0	1	0	1	0	1
73	N127	max	40.341	3	89.865	5	52.012	4	0	25	0	25	0	25
74		min	-31.7	9	0	7	-42.249	11	0	1	0	1	0	1
75	N128	max	38.52	3	106.905	3	49.43	4	0	25	0	25	0	25
76		min	-29.641	8	0	7	-41.236	11	0	1	0	1	0	1
77	N129	max	38.735	3	35.295	13	49.061	4	0	25	0	25	0	25
78		min	-30.372	8	0	7	-41.57	11	0	1	0	1	0	1
79	N130	max	0	25	0	25	0	25	0	25	0	25	0	25
80		min	0	1	-538.939	10	0	1	0	1	0	1	0	1
81	N131	max	0	25	0	18	0	25	0	25	0	25	0	25
82		min	0	1	-692.664	10	0	1	0	1	0	1	0	1
83	N132	max	33.512	3	150.877	6	38.106	4	0	25	0	25	0	25
84		min	-27.208	8	0	2	-33.179	10	0	1	0	1	0	1



Envelope Node Reactions (Continued)

Node Label		X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC	
85	N133	max	32.747	3	23.11	17	35.898	4	0	25	0	25	0	25
86		min	-28.443	9	0	2	-31.343	10	0	1	0	1	0	1
87	N134	max	29.795	2	43.073	13	37.659	5	0	25	0	25	0	25
88		min	-25.917	8	0	7	-32.499	11	0	1	0	1	0	1
89	N135	max	28.303	3	7.93	24	36.58	5	0	25	0	25	0	25
90		min	-26.175	8	0	2	-31.833	11	0	1	0	1	0	1
91	N136	max	43.782	3	176.606	4	59.43	4	0	25	0	25	0	25
92		min	-30.665	8	0	2	-47.378	11	0	1	0	1	0	1
93	N137	max	46.445	3	278.531	4	63.772	4	0	25	0	25	0	25
94		min	-34.497	9	0	7	-50.371	11	0	1	0	1	0	1
95	N138	max	43.165	3	204.511	3	57.499	4	0	25	0	25	0	25
96		min	-31.368	8	0	7	-46.153	11	0	1	0	1	0	1
97	N139	max	45.977	3	253.632	4	61.83	4	0	25	0	25	0	25
98		min	-33.329	8	0	7	-49.083	11	0	1	0	1	0	1
99	N140	max	28.035	13	105.592	12	30.015	6	0	25	0	25	0	25
100		min	-27.5	8	0	4	-45.069	12	0	1	0	1	0	1
101	N141	max	28.053	13	35.836	24	30.122	6	0	25	0	25	0	25
102		min	-26.14	8	0	4	-45.246	12	0	1	0	1	0	1
103	N142	max	28.292	13	100.752	12	29.652	6	0	25	0	25	0	25
104		min	-24.885	8	0	4	-44.429	12	0	1	0	1	0	1
105	N143	max	28.312	13	36.146	23	29.749	6	0	25	0	25	0	25
106		min	-23.66	7	0	4	-44.604	12	0	1	0	1	0	1
107	N144	max	0	25	0	25	0	25	0	25	0	25	0	25
108		min	0	1	-462.89	6	0	1	0	1	0	1	0	1
109	N145	max	0	25	0	25	0	25	0	25	0	25	0	25
110		min	0	1	-462.76	6	0	1	0	1	0	1	0	1
111	N146	max	23.777	2	36.907	12	28.668	6	0	25	0	25	0	25
112		min	-24.682	8	0	4	-33.355	12	0	1	0	1	0	1
113	N147	max	22.089	2	8.183	9	27.872	6	0	25	0	25	0	25
114		min	-22.985	8	0	2	-31.915	12	0	1	0	1	0	1
115	N148	max	22.697	13	31.877	11	28.189	6	0	25	0	25	0	25
116		min	-21.81	7	0	4	-32.794	12	0	1	0	1	0	1
117	N149	max	22.021	13	8.012	21	27.381	6	0	25	0	25	0	25
118		min	-21.381	7	0	2	-31.456	12	0	1	0	1	0	1
119	N150	max	31.044	13	198.373	12	30.528	6	0	25	0	25	0	25
120		min	-28.868	8	0	4	-50.515	12	0	1	0	1	0	1
121	N151	max	33.116	13	240.896	12	32.96	6	0	25	0	25	0	25
122		min	-28.339	8	0	4	-55.182	12	0	1	0	1	0	1
123	N152	max	31.016	13	199.981	12	30.282	6	0	25	0	25	0	25
124		min	-26.898	8	0	4	-50.035	12	0	1	0	1	0	1
125	N153	max	33.048	13	239.075	12	32.698	6	0	25	0	25	0	25
126		min	-26.349	8	0	4	-54.647	12	0	1	0	1	0	1
127	N196	max	0	25	452.068	6	0	25	0	25	0	25	0	25
128		min	0	1	0	2	0	1	0	1	0	1	0	1
129	Totals:	max	1889.814	2	1892.14	15	1796.092	5						
130		min	-2008.029	8	1550.255	10	-1795.846	11						

Envelope AISC 15TH (360-16): LRFD Member Steel Code Checks

Member	Shape	Code	CheckLoc	LC	Shear	CheckLoc	Dir	LC	phi*	Pnc	phi*	Pnt	phi*	Mn	y-y	phi*	Mn	z-z	[lb-ft]	Cb	Eqn
1	L9	L2.5X2.5X3	0.638	56	10	0.067	56	y	13	20314.8	29192.4	872.574	1520.975	1.485	H2-1						
2	STAB PIPE	2.5(NOMINAL)	0.637	0	6	0.158	0	3	44408.564	53677.575	3811.826	3811.826	1	H1-1b							
3	L2	L2.5X2.5X3	0.601	53.334	10	0.062	37.334	y	8	20314.8	29192.4	872.574	1525.843	1.5	H2-1						
4	L12	L2.5X2.5X3	0.589	40	2	0.072	40	y	13	20314.8	29192.4	872.574	1525.846	1.5	H2-1						
5	V1	PIPE 4.0(NOMINAL)	0.567	69.333	8	0.127	72	3	89562.291	99982.512	11317.63	11317.63	1	H1-1b							
6	L1	L2.5X2.5X3	0.51	40	10	0.057	56	y	11	20314.8	29192.4	872.574	1525.848	1.5	H2-1						

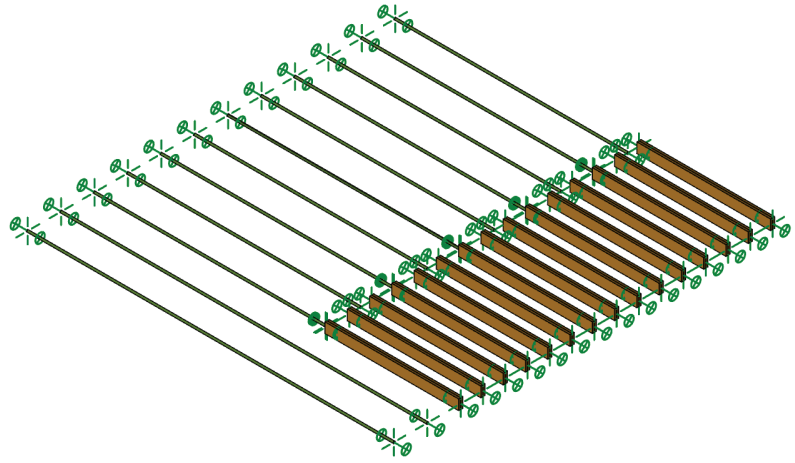



Company : Accelerated Tower Engineering L...
 Designer : Shawn Cook, P.E.
 Job Number :
 Model Name : Tripod Ballast Frame

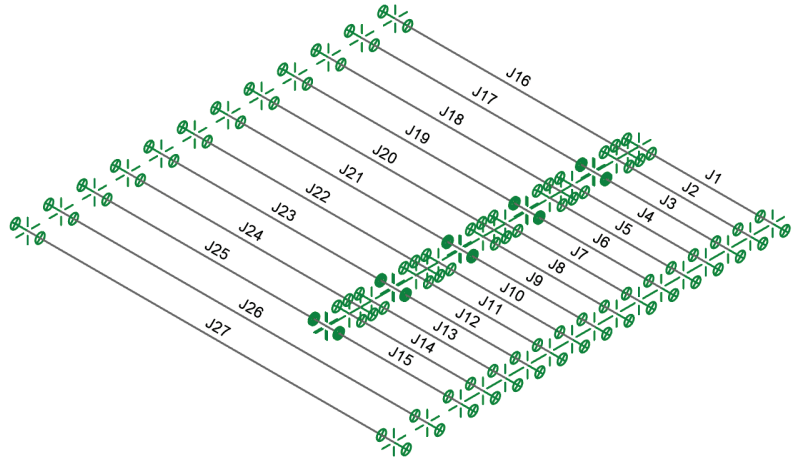
10/30/2025
 10:02:00 AM
 Checked By : BU


Envelope AISC 15TH (360-16): LRFD Member Steel Code Checks (Continued)

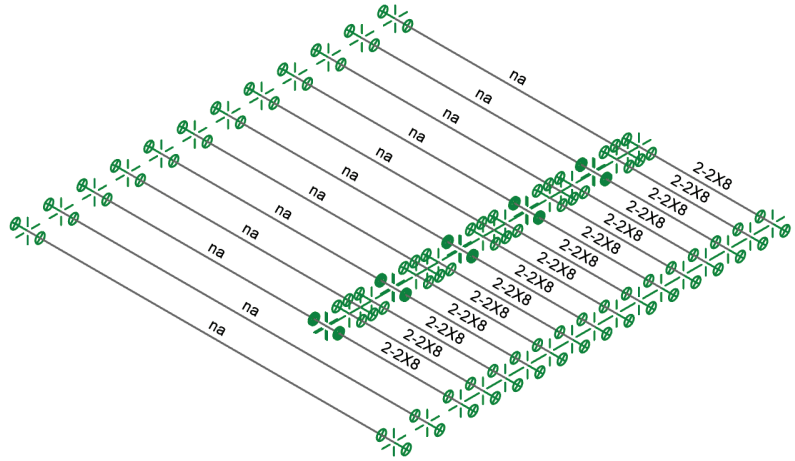
Member	Shape	Code	CheckLoc	LC	Shear	CheckLoc	Dir	Cphi	Pnc	[lb]	phi	Pnt	[lb]	phi	Mn	y-y	[lb-ft]	phi	Mn	z-z	[lb-ft]	Cb	Eqn
7	D3	L3X3X4	0.485	5.434	4	0.152	4.075	z	3	32294.663	46656	1688.138	3500.558	1.194	H2-1								
8	D2	L3X3X4	0.43	5.434	8	0.11	4.075	z	9	32294.624	46656	1688.138	3641.39	1.5	H2-1								
9	D1	L3X3X4	0.43	5.434	12	0.089	4.075	z	11	32294.663	46656	1688.138	3641.391	1.5	H2-1								
10	L11	L2.5X2.5X3	0.427	40	6	0.034	37.333	z	8	20314.8	29192.4	872.574	1525.848	1.5	H2-1								
11	TR12	SR5/8	0.358	8	12	0.022	8		13	17853.006	25402.709	264.607	264.607	1	H1-1b								
12	TR9	SR5/8	0.357	8	11	0.022	8		11	17853.006	25402.709	264.607	264.607	1	H1-1b								
13	L10	L2.5X2.5X3	0.35	40	6	0.036	61.334	z	12	20314.8	29192.4	872.574	1525.843	1.5	H2-1								
14	TR6	SR5/8	0.331	8	9	0.021	8		9	17853.006	25402.709	264.607	264.607	1	H1-1b								
15	TR4	SR5/8	0.33	8	8	0.02	8		8	17853.006	25402.709	264.607	264.607	1	H1-1b								
16	TR11	SR5/8	0.33	8	5	0.021	8		5	17853.006	25402.709	264.607	264.607	1	H1-1b								
17	TR10	SR5/8	0.329	8	7	0.021	8		7	17853.006	25402.709	264.607	264.607	1	H1-1b								
18	MP4	PIPE 3.0(NOMINAL)	0.312	24	6	0.057	24		7	62869.999	70196.805	6123.718	6123.718	1	H1-1b								
19	TR2	SR5/8	0.305	8	3	0.019	8		3	17853.006	25402.709	264.607	264.607	1	H1-1b								
20	TR5	SR5/8	0.304	8	3	0.02	8		3	17853.006	25402.709	264.607	264.607	1	H1-1b								
21	TR1	SR5/8	0.303	8	4	0.019	8		4	17853.006	25402.709	264.607	264.607	1	H1-1b								
22	TR3	SR5/8	0.302	8	13	0.02	8		13	17853.006	25402.709	264.607	264.607	1	H1-1b								
23	MP3	PIPE 2.5(NOMINAL)	0.3	60	12	0.055	60		10	43716.228	53677.575	3811.826	3811.826	1	H1-1b								
24	TR7	SR5/8	0.278	8	9	0.018	8		9	17853.006	25402.709	264.607	264.607	1	H1-1b								
25	TR8	SR5/8	0.277	0	11	0.018	8		11	17853.006	25402.709	264.607	264.607	1	H1-1b								
26	MP1	PIPE 2.5(NOMINAL)	0.267	53.333	8	0.051	86.667		7	44888.3	53677.575	3811.826	3811.826	1	H1-1b								
27	MP2	PIPE 2.5(NOMINAL)	0.251	50	4	0.05	86.667		3	46007.77	53677.575	3811.826	3811.826	1	H1-1b								
28	L4	L2.5X2.5X3	0.171	15.354	2	0.135	16.75	z	2	27204.75	29192.4	872.574	1971.83	1.5	H2-1								
29	L3	L2.5X2.5X3	0.166	0.931	9	0.135	0	z	9	27204.881	29192.4	872.574	1971.83	1.5	H2-1								
30	H1	L2.5X2.5X3	0.085	17.253	9	0.011	32.69	z	9	22914.255	29192.4	872.574	1854.782	1.136	H2-1								
31	H2	L2.5X2.5X3	0.083	17.253	12	0.007	32.69	z	2	22914.255	29192.4	872.574	1854.782	1.136	H2-1								
32	H3	L2.5X2.5X3	0.081	17.253	3	0.033	32.69	z	2	22914.317	29192.4	872.574	1854.784	1.136	H2-1								
33	L8	L2.5X2.5X3	0.079	16.749	10	0.006	0	z	10	27204.881	29192.4	872.574	1971.83	1.5	H2-1								
34	L7	L2.5X2.5X3	0.077	16.75	10	0.006	0	z	10	27204.75	29192.4	872.574	1971.83	1.5	H2-1								
35	L5	L2.5X2.5X3	0.049	0	2	0.004	16.75	z	2	27204.812	29192.4	872.574	1971.83	1.5	H2-1								
36	L6	L2.5X2.5X3	0.048	16.75	2	0.004	0	z	2	27204.812	29192.4	872.574	1971.83	1.5	H2-1								




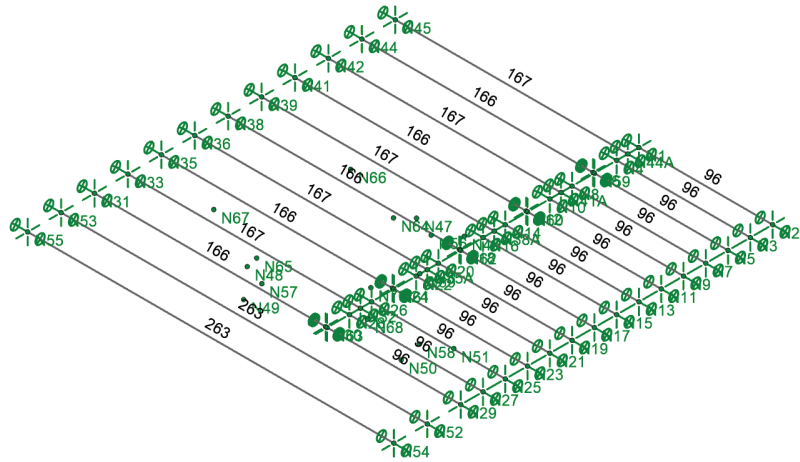
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	Shawn Cook, P.E.		Jun 09, 2025 at 10:35 AM
			(ROOF) 99737 Structure Ana...




	Accelerated Tower Engine...	Roof Framing	SK-2
	Shawn Cook, P.E.		Jun 09, 2025 at 10:35 AM
			(ROOF) 99737 Structure Ana...

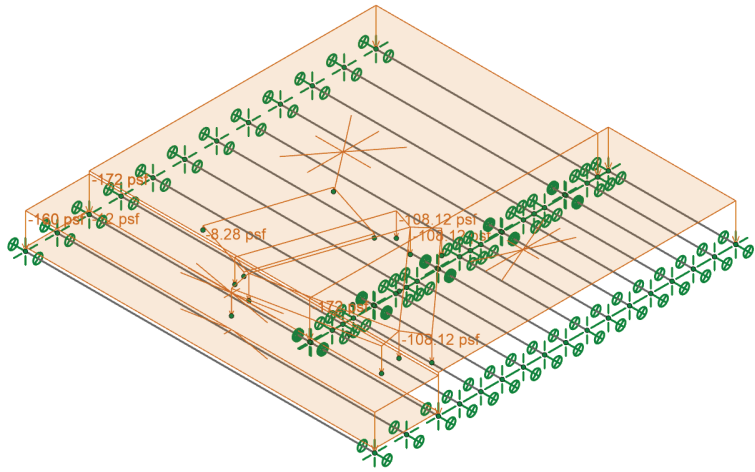


	Accelerated Tower Engine...	Roof Framing	SK-3
	Shawn Cook, P.E.		Jun 09, 2025 at 10:35 AM
			(ROOF) 99737 Structure Ana...



Member Length (in) Displayed

	Accelerated Tower Engine...	Roof Framing	SK-4
	Shawn Cook, P.E.		Jun 09, 2025 at 10:36 AM (ROOF) 99737 Structure Ana...



Loads: LC 2, 1.2D + 1.6S



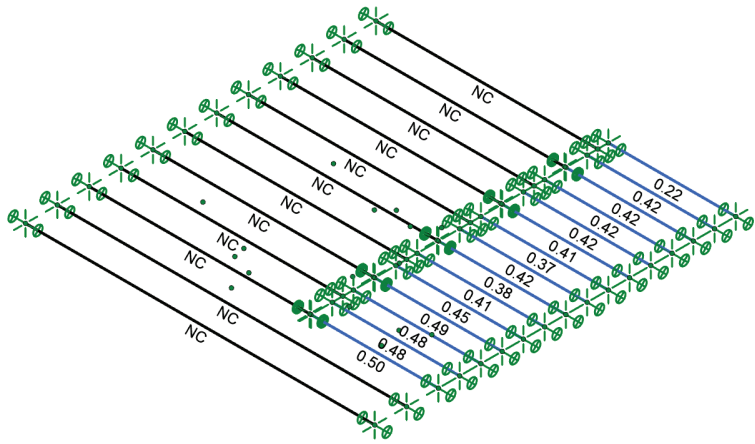
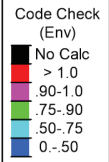
Accelerated Tower Engin...
Shawn Cook, P.E.

Roof Framing

SK-5

Oct 30, 2025 at 10:08 AM

(ROOF) 99737 Structure A...



Member Code Checks Displayed (Enveloped)

	Accelerated Tower Engin...	Roof Framing	SK-6
	Shawn Cook, P.E.		Oct 30, 2025 at 10:09 AM
			(ROOF) 99737 Structure A...



Wood Properties

Label	Type	Database	Species	Grade	Cm	Ci	Emod	Nu	Therm. Coeff. [1e ⁶ F ⁻¹]	Density [k/ft ³]
1	DF	Solid Sawn	Visually Graded	Douglas Fir-Larch	No.2		1	0.3	0.3	0.035

Wood Design Parameters

Label	Shape	Length [in]	le2 [in]	le-bend top [in]	Cr	y sway	z sway
1	J1	WOOD1A	96	16	Lbyy	Yes	
2	J2	WOOD1A	96	16	Lbyy	Yes	
3	J3	WOOD1A	96	16	Lbyy	Yes	
4	J4	WOOD1A	96	16	Lbyy	Yes	
5	J5	WOOD1A	96	16	Lbyy	Yes	
6	J6	WOOD1A	96	16	Lbyy	Yes	
7	J7	WOOD1A	96	16	Lbyy	Yes	
8	J8	WOOD1A	96	16	Lbyy	Yes	
9	J9	WOOD1A	96	16	Lbyy	Yes	
10	J10	WOOD1A	96	16	Lbyy	Yes	
11	J11	WOOD1A	96	16	Lbyy	Yes	
12	J12	WOOD1A	96	16	Lbyy	Yes	
13	J13	WOOD1A	96	16	Lbyy	Yes	
14	J14	WOOD1A	96	16	Lbyy	Yes	
15	J15	WOOD1A	96	16	Lbyy	Yes	

Wood Section Sets

Label	Shape	Type	Design List	Material	Design Rule	Area [in ²]	Iyy [in ⁴]	Izz [in ⁴]	J [in ⁶]	
1	WOOD1A	2-2X8	Beam	Rectangular	DF	Typical	21.75	16.312	95.27	48.282
2	WOOD2	4X16	Beam	Rectangular	DF	Typical	53.375	54.487	1034.419	186.442

Material Take-Off

	Material	Size	Pieces	Length[in]	Weight[K]
1	General Members				
2	RIGID		12	2191	0
3	Total General		12	2191	0
4	Wood				
5	DF	2-2X8	15	1440	0.634
6	Total Wood		15	1440	0.634

Node Boundary Conditions

Node Label	X [k/in]	Y [k/in]	Z [k/in]	X Rot [k-ft/rad]
1	N31	Reaction	Reaction	Reaction
2	N55	Reaction	Reaction	Reaction
3	N36	Reaction	Reaction	Reaction
4	N33	Reaction	Reaction	Reaction
5	N38	Reaction	Reaction	Reaction
6	N53	Reaction	Reaction	Reaction
7	N39	Reaction	Reaction	Reaction
8	N41	Reaction	Reaction	Reaction
9	N45	Reaction	Reaction	Reaction
10	N35	Reaction	Reaction	Reaction
11	N42	Reaction	Reaction	Reaction
12	N44	Reaction	Reaction	Reaction



Node Boundary Conditions (Continued)

	Node Label	X [k/in]	Y [k/in]	Z [k/in]	X Rot [k-ft/rad]
13	N2		Reaction	Reaction	Reaction
14	N3		Reaction	Reaction	Reaction
15	N5		Reaction	Reaction	Reaction
16	N7		Reaction	Reaction	Reaction
17	N9		Reaction	Reaction	Reaction
18	N11		Reaction	Reaction	Reaction
19	N13		Reaction	Reaction	Reaction
20	N15		Reaction	Reaction	Reaction
21	N17		Reaction	Reaction	Reaction
22	N19		Reaction	Reaction	Reaction
23	N21		Reaction	Reaction	Reaction
24	N23		Reaction	Reaction	Reaction
25	N25		Reaction	Reaction	Reaction
26	N27		Reaction	Reaction	Reaction
27	N29		Reaction	Reaction	Reaction
28	N52	Reaction	Reaction	Reaction	Reaction
29	N54	Reaction	Reaction	Reaction	Reaction
30	N4	Reaction	Reaction	Reaction	Reaction
31	N6	Reaction	Reaction	Reaction	Reaction
32	N8	Reaction	Reaction	Reaction	Reaction
33	N10	Reaction	Reaction	Reaction	Reaction
34	N12	Reaction	Reaction	Reaction	Reaction
35	N14	Reaction	Reaction	Reaction	Reaction
36	N16	Reaction	Reaction	Reaction	Reaction
37	N18	Reaction	Reaction	Reaction	Reaction
38	N20	Reaction	Reaction	Reaction	Reaction
39	N22	Reaction	Reaction	Reaction	Reaction
40	N24	Reaction	Reaction	Reaction	Reaction
41	N26	Reaction	Reaction	Reaction	Reaction
42	N28	Reaction	Reaction	Reaction	Reaction
43	N30	Reaction	Reaction	Reaction	Reaction
44	N32	Reaction	Reaction	Reaction	Reaction
45	N35A	Reaction	Reaction	Reaction	Reaction
46	N38A	Reaction	Reaction	Reaction	Reaction
47	N41A	Reaction	Reaction	Reaction	Reaction
48	N44A	Reaction	Reaction	Reaction	Reaction
49	N1	Reaction	Reaction	Reaction	Reaction
50	N59	Reaction	Reaction	Reaction	Reaction
51	N60	Reaction	Reaction	Reaction	Reaction
52	N61	Reaction	Reaction	Reaction	Reaction
53	N62	Reaction	Reaction	Reaction	Reaction
54	N63	Reaction	Reaction	Reaction	Reaction

Basic Load Cases

	BLC Description	Category	Y Gravity	Distributed	Area(Member)
1	Dead Load	None	-1		7
2	Live	None			6
3	Snow	None			3
4	BLC 1 Transient Area Loads	None		225	
6	BLC 3 Transient Area Loads	None		154	



Load Combinations

	Description	Solve	P-Delta	BLC	Factor	BLC	Factor
1	1.4D	Yes	Y	1	1.4		
2	1.2D + 1.6S	Yes	Y	1	1.2	3	1.6

Envelope Node Reactions

Node Label	X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC
1	N31	max	0	2	2481.661	2	0	2	0	2	0	2
2		min	0	1	344.938	1	0	1	0	1	0	1
3	N55	max	0	2	1871.373	2	0	2	0	2	0	2
4		min	0	1	153.417	1	0	1	0	1	0	1
5	N36	max	0	2	2494.671	2	0	2	0	2	0	2
6		min	0	1	311.947	1	0	1	0	1	0	1
7	N33	max	0	2	2494.759	2	0	2	0	2	0	2
8		min	0	1	311.676	1	0	1	0	1	0	1
9	N38	max	0	2	2373.406	2	0	2	0	2	0	2
10		min	0	1	260.512	1	0	1	0	1	0	1
11	N53	max	0	2	3882.462	2	0	2	0	2	0	2
12		min	0	1	312.145	1	0	1	0	1	0	1
13	N39	max	0	2	2411.042	2	0	2	0	2	0	2
14		min	0	1	196.248	1	0	1	0	1	0	1
15	N41	max	0	2	2309.93	2	0	2	0	2	0	2
16		min	0	1	188.018	1	0	1	0	1	0	1
17	N45	max	0	2	1204.858	2	0	2	0	2	0	2
18		min	0	1	98.07	1	0	1	0	1	0	1
19	N35	max	0	2	2496.055	2	0	2	0	2	0	2
20		min	0	1	326.75	1	0	1	0	1	0	1
21	N42	max	0	2	2428.533	2	0	2	0	2	0	2
22		min	0	1	197.671	1	0	1	0	1	0	1
23	N44	max	0	2	2286.369	2	0	2	0	2	0	2
24		min	0	1	186.1	1	0	1	0	1	0	1
25	N2	max	0	2	484.142	2	0	2	0	2	0	2
26		min	0	1	66.946	1	0	1	0	1	0	1
27	N3	max	0	2	946.946	2	0	2	0	2	0	2
28		min	0	1	104.616	1	0	1	0	1	0	1
29	N5	max	0	2	944.368	2	0	2	0	2	0	2
30		min	0	1	104.406	1	0	1	0	1	0	1
31	N7	max	0	2	948.488	2	0	2	0	2	0	2
32		min	0	1	104.741	1	0	1	0	1	0	1
33	N9	max	0	2	949.007	2	0	2	0	2	0	2
34		min	0	1	104.784	1	0	1	0	1	0	1
35	N11	max	0	2	970.34	2	0	2	0	2	0	2
36		min	0	1	106.52	1	0	1	0	1	0	1
37	N13	max	0	2	919.569	2	0	2	0	2	0	2
38		min	0	1	102.387	1	0	1	0	1	0	1
39	N15	max	0	2	1001.235	2	0	2	0	2	0	2
40		min	0	1	109.035	1	0	1	0	1	0	1
41	N17	max	0	2	911.692	2	0	2	0	2	0	2
42		min	0	1	102.802	1	0	1	0	1	0	1
43	N19	max	0	2	961.155	2	0	2	0	2	0	2
44		min	0	1	123.717	1	0	1	0	1	0	1
45	N21	max	0	2	997.208	2	0	2	0	2	0	2
46		min	0	1	167.983	1	0	1	0	1	0	1
47	N23	max	0	2	1038.855	2	0	2	0	2	0	2
48		min	0	1	216.329	1	0	1	0	1	0	1
49	N25	max	0	2	1057.386	2	0	2	0	2	0	2



Envelope Node Reactions (Continued)

Node Label		X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC	
50		min	0	1	222.087	1	0	1	0	1	0	1	0	1
51	N27	max	0	2	1051.214	2	0	2	0	2	0	2	0	2
52		min	0	1	217.887	1	0	1	0	1	0	1	0	1
53	N29	max	0	2	1198.655	2	0	2	0	2	0	2	0	2
54		min	0	1	171.147	1	0	1	0	1	0	1	0	1
55	N52	max	0	2	3884.213	2	0	2	0	2	0	2	0	2
56		min	0	1	314.409	1	0	1	0	1	0	1	0	1
57	N54	max	0	2	1829.366	2	0	2	0	2	0	2	0	2
58		min	0	1	153.417	1	0	1	0	1	0	1	0	1
59	N4	max	0	2	1047.345	2	0	2	0	2	0	2	0	2
60		min	0	1	112.788	1	0	1	0	1	0	1	0	1
61	N6	max	0	2	2256.732	2	0	2	0	2	0	2	0	2
62		min	0	1	183.687	1	0	1	0	1	0	1	0	1
63	N8	max	0	2	1053.303	2	0	2	0	2	0	2	0	2
64		min	0	1	113.273	1	0	1	0	1	0	1	0	1
65	N10	max	0	2	1047.421	2	0	2	0	2	0	2	0	2
66		min	0	1	112.794	1	0	1	0	1	0	1	0	1
67	N12	max	0	2	2251.055	2	0	2	0	2	0	2	0	2
68		min	0	1	183.225	1	0	1	0	1	0	1	0	1
69	N14	max	0	2	991.361	2	0	2	0	2	0	2	0	2
70		min	0	1	108.231	1	0	1	0	1	0	1	0	1
71	N16	max	0	2	1043.713	2	0	2	0	2	0	2	0	2
72		min	0	1	112.492	1	0	1	0	1	0	1	0	1
73	N18	max	0	2	2751.158	2	0	2	0	2	0	2	0	2
74		min	0	1	613.157	1	0	1	0	1	0	1	0	1
75	N20	max	0	2	1123.836	2	0	2	0	2	0	2	0	2
76		min	0	1	357.48	1	0	1	0	1	0	1	0	1
77	N22	max	0	2	1152.582	2	0	2	0	2	0	2	0	2
78		min	0	1	361.243	1	0	1	0	1	0	1	0	1
79	N24	max	0	2	2660.349	2	0	2	0	2	0	2	0	2
80		min	0	1	516.564	1	0	1	0	1	0	1	0	1
81	N26	max	0	2	1010.796	2	0	2	0	2	0	2	0	2
82		min	0	1	236.781	1	0	1	0	1	0	1	0	1
83	N28	max	0	2	1212.414	2	0	2	0	2	0	2	0	2
84		min	0	1	440.053	1	0	1	0	1	0	1	0	1
85	N30	max	0	2	2912.162	2	0	2	0	2	0	2	0	2
86		min	0	1	862.986	1	0	1	0	1	0	1	0	1
87	N32	max	0	2	2639.396	2	0	2	0	2	0	2	0	2
88		min	0	1	443.541	1	0	1	0	1	0	1	0	1
89	N35A	max	0	2	2746.14	2	0	2	0	2	0	2	0	2
90		min	0	1	552.26	1	0	1	0	1	0	1	0	1
91	N38A	max	0	2	2338.229	2	0	2	0	2	0	2	0	2
92		min	0	1	190.321	1	0	1	0	1	0	1	0	1
93	N41A	max	0	2	2384.32	2	0	2	0	2	0	2	0	2
94		min	0	1	194.073	1	0	1	0	1	0	1	0	1
95	N44A	max	0	2	1204.101	2	0	2	0	2	0	2	0	2
96		min	0	1	98.008	1	0	1	0	1	0	1	0	1
97	N1	max	0	2	484.08	2	0	2	0	2	0	2	0	2
98		min	0	1	66.941	1	0	1	0	1	0	1	0	1
99	N59	max	0	2	946.081	2	0	2	0	2	0	2	0	2
100		min	0	1	104.545	1	0	1	0	1	0	1	0	1
101	N60	max	0	2	985.247	2	0	2	0	2	0	2	0	2
102		min	0	1	107.733	1	0	1	0	1	0	1	0	1
103	N61	max	0	2	1155.48	2	0	2	0	2	0	2	0	2
104		min	0	1	319.108	1	0	1	0	1	0	1	0	1

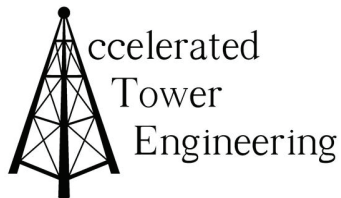


Envelope Node Reactions (Continued)

Node Label	X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC
105 N62 max	0	2	957.55	2	0	2	0	2	0	2	0	2
106 min	0	1	141.851	1	0	1	0	1	0	1	0	1
107 N63 max	0	2	1320.742	2	0	2	0	2	0	2	0	2
108 min	0	1	337.512	1	0	1	0	1	0	1	0	1
109 Totals: max	0	2	88504.556	2	0	2						
110 min	0	1	12251.35	1	0	1						

Envelope AWC NDS-18 / SDPWS-15 LFRD Member Wood Code Checks

Member	Shape	Code Check	Loc[in]	LC	Shear Check	Loc[in]	Dir	LC	Fc' [ksi]	Ft' [ksi]	Fb1' [ksi]	Fb2' [ksi]	Fv' [ksi]	RB	CL	CP	Eqn
1	J15	2-2X8	0.503	45.333	2	0.293	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
2	J12	2-2X8	0.488	45.333	2	0.256	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
3	J14	2-2X8	0.484	45.333	2	0.269	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
4	J13	2-2X8	0.475	48	2	0.234	96	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
5	J11	2-2X8	0.447	45.333	2	0.256	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
6	J8	2-2X8	0.424	48	2	0.231	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
7	J5	2-2X8	0.424	48	2	0.232	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
8	J4	2-2X8	0.424	48	2	0.234	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
9	J2	2-2X8	0.423	48	2	0.232	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
10	J3	2-2X8	0.42	48	2	0.21	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
11	J10	2-2X8	0.409	48	2	0.249	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
12	J6	2-2X8	0.409	48	2	0.218	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
13	J9	2-2X8	0.383	48	2	0.212	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
14	J7	2-2X8	0.374	50.667	2	0.22	0	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3
15	J1	2-2X8	0.215	48	2	0.107	96	y	2	1.439	1.192	2.142	2.145	0.311	3.590	0.9990	5883.9-3



Ballast Mount Check (Antenna Frame)

Site Information	
Structure Height (ft)	38.0
RFDS Name	10129884
USID	99737
Carrier Site Name	HAILEY
RFDS Revision	
RFDS Date	
CD Company	
CD Revision	
CD Date	
Latitude	43.5165
Longitude	-114.3126
Structure Type	Roof Top
Structure Class	II
Exposure Category	C
3-Sec Gust Basic Wind Speed (mph)	115
3-Sec Gust Basic Wind Speed with Ice (mph)	40
Design Ice Thickness (in)	0
Parapet Height (ft)	0.8
Ballast Frame Height (ft)	8.0
Top Height of Ballast Frame (ft)	45.2
Mount Centerline (ft)	41.8

Analysis Parameters	
Failure Criteria	105%
Load Combination factor, Dead Load	0.9
Load Combination factor, Wind Load	1.0
Sliding Coefficient	0.74
Wind Direction Probability Factor, K_d	0.95
Topographic Factor, K_{zt}	1.00
Gust Response Factor, G_n	1.00
Appurtenance Shielding Factor, K_a	0.90
Velocity Pressure Coefficient, K_z	1.08
Rooftop Wind Speed-Up Factor, K_s	1.00
Velocity Pressure (psf), q_z	28.53
Force Coefficient, C_f	
Sled Area (sqft)	47.0

Sliding Check	
Design Wind Force (lb)	850
Total Weight (lb)	3242
Nominal Sliding Resistance (lb)	2399
Design Sliding Resistance (lb)	2159
Sliding Resistance Check	PASS

Overturning Check	
Design Overturning Moment Front/Back (lb-ft)	6608
Carrier Equipment Group 1 Weight (lb)	729
Carrier Equipment Group 1 Moment Arm To Back (ft)	3.0
Carrier Equipment Group 1 Moment Arm To Front (ft)	6.0
Carrier Equipment Group 1 Nominal Resisting Moment to Back (lb-ft)	2191
Carrier Equipment Group 1 Nominal Resisting Moment to Front (lb-ft)	4383
Carrier Equipment Group 2 Weight (lb)	98
Carrier Equipment Group 2 Moment Arm To Back (ft)	0.7
Carrier Equipment Group 2 Moment Arm To Front (ft)	7.0
Carrier Equipment Group 2 Nominal Resisting Moment to Back (lb-ft)	65
Carrier Equipment Group 2 Nominal Resisting Moment to Front (lb-ft)	683
Ballast Frame Front Weight (lb)	0
Ballast Frame Front Moment Arm To Back (ft)	0.0
Ballast Frame Front Moment Arm To Front (ft)	0.0
Ballast Frame Front Nominal Resisting Moment to Back (lb-ft)	0
Ballast Frame Front Nominal Resisting Moment to Front (lb-ft)	0
Ballast Frame Base Weight (lb)	478
Ballast Frame Base Moment Arm To Back (ft)	3.0
Ballast Frame Base Moment Arm To Front (ft)	6.0
Ballast Frame Base Nominal Resisting Moment to Back (lb-ft)	1438
Ballast Frame Base Nominal Resisting Moment to Front (lb-ft)	2877
Ballast Frame Back Weight (lb)	0
Ballast Frame Back Moment Arm To Back (ft)	0.0
Ballast Frame Back Moment Arm To Front (ft)	0.0
Ballast Frame Back Nominal Resisting Moment to Back (lb-ft)	0
Ballast Frame Back Nominal Resisting Moment to Front (lb-ft)	0
Existing Ballast Weight Front (lb)	1938
Proposed Ballast Weight Front (lb)	0
Total Ballast Weight Front (lb)	1938
Ballast Weight Front Moment Arm to Back (ft)	3.0
Ballast Weight Front Moment Arm to Front (ft)	6.0
Ballast Weight Front Nominal Resisting Moment to Back (lb-ft)	5829
Ballast Weight Front Nominal Resisting Moment to Front (lb-ft)	11659
Existing Ballast Weight Back (lb)	0
Proposed Ballast Weight Back (lb)	0
Total Ballast Weight Back (lb)	0
Ballast Weight Back Moment Arm to Back (ft)	6.0
Ballast Weight Back Moment Arm to Front (ft)	3.0
Ballast Weight Back Nominal Resisting Moment to Back (lb-ft)	0
Ballast Weight Back Nominal Resisting Moment to Front (lb-ft)	0
Total Nominal Resisting Moment to Back (lb-ft)	9524
Total Nominal Resisting Moment to Front (lb-ft)	19602
Total Design Resisting Moment to Back (lb-ft)	8572
Total Design Resisting Moment to Front (lb-ft)	17642
Controlling Ballast Front/Back Check	PASS
Design Wind Force - Side (lb)	850
Overturning Moment Side/Side (lb-ft)	6729
Total Weight (lb)	3242
Side Moment Arm (ft)	5.7

Red-S Joist Check

Site Information	
SID	1737175
Carrier Site Name	Wildwest-Hospital
Structure Type	Roof Top

Joist	RISA Moment (lb-ft)	RISA Shear (lb)	Ultimat Moment Capacity (lb-ft)	Ultimate Shear Capacity (lb)	Stress Ratio
J16	4301	1205	22365	11182	19.2%
J17	7894	2286	22365	11182	35.3%
J18	8672	2429	22365	11182	38.8%
J19	8036	2310	22365	11182	35.9%
J20	8526	2411	22365	11182	38.1%
J21	8438	2751	22365	11182	37.7%
J22	9244	2746	22365	11182	41.3%
J23	9007	2660	22365	11182	40.3%
J24	9018	2639	22365	11182	40.3%
J25	9176	2912	22365	11182	41.0%
J26	21780	3884	23365	8901	93.2%
J27	10174	1871	23365	8901	43.5%

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