

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, September 21, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1** Adoption of the Meeting Minutes from the February 27, 2020 PZ hearing. **ACTION ITEM.**
- CA 2** Adoption of the Meeting Minutes from the March 2, 2020 PZ hearing. **ACTION ITEM.**
- CA 3** Adoption of the Meeting Minutes from the April 6, 2020 PZ hearing. **ACTION ITEM.**
- CA 4** Adoption of the Meeting Minutes from the April 20, 2020 PZ hearing. **ACTION ITEM.**
- CA 5** Adoption of the Meeting Minutes from the September 8, 2020 PZ hearing. **ACTION ITEM.**
- CA 6** Adoption of Findings of Fact, Conclusions of Law and Decision of a Conditional Use Permit submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Dr (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District. **ACTION ITEM.**
- CA 7** Adoption of Findings of Fact, Conclusions of Law and Decision of a Preliminary Plat Application submitted by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 W Bullion) is subdivided into two lots, Lot 1, 12,704 square feet and Lot 2, 11,335 square feet, within General Residential (GR) and FP Overlay Zoning Districts, the Preliminary Plat of Little Indio south Subdivision. **ACTION ITEM.**

Public Hearing

- PH 1** Consideration of a Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO); however, the Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code. The proposal also includes: twelve (12) parking spaces, four (4), three-bedroom accessible units and eight (8), two-bedroom accessible units. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **October 5, 2020**

- DR: Farmhouse by Szabo and Wrede
- DR: Bungalow by Szabo and Wrede

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Thursday, February 27, 2020
Hailey City Hall
5:30 p.m.

Present

Board: Owen Scanlon, Dustin Stone, Janet Fugate, Dan Smith, Richard Pogue

Staff: Chris Simms, Lisa Horowitz, Robyn Davis, Mike Baledge, Jessica Parker

5:29:41 PM Chair Fugate called meeting to order.

5:29:52 PM Public Comment for items not on the agenda. No comment.

Consent Agenda

CA 1 Adoption of the Meeting Minutes of February 18, 2020. **ACTION ITEM**

CA 2 Adoption of the Findings of Fact, Conclusions of Law and Decision of a previously approved Design Review Application by L.L. Green Hardware, for a new 17,549 square foot mixed-use building, to be located at 21 East McKercher (Lot 1, Block 2, Northridge Subdivision X). The project is located within the Limited Business (LB) and Downtown Residential Overlay (DRO) Zoning Districts. This project was previously approved by the Planning and Zoning Commission on May 21, 2018 and was reheard due to the expiration of the previously approved Design Review. No changes were proposed. **ACTION ITEM**

5:30:27 PM Smith motioned to approve CA 1 and CA 2. Scanlon seconded. All in Favor.

Public Hearing

5:30:49 PM Chair Fugate asked Chris Simms if can conduct both Public Hearings together. Simms confirmed, just call both.

PH 1 **5:31:08 PM** Consideration of a Planned Unit Development (PUD) Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a PUD to construct two multi-family housing buildings. Each building will contain 30 units each. The northern building will be dedicated to Senior Community Housing, and the southern building will provide Family Community Housing with. The property also includes parking, outdoor gathering space, and a play area. 0.27 acres is proposed to be dedicated to Hailey for a partial road connecting to a future road along the southern property boundary of Wertheimer Park Block 1 Lot 1. The applicant is requesting a waiver the Business Zone Maximum Multi-Family Units per Acre. Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B. **ACTION ITEM**

PH 2 [5:32:11 PM](#) *Consideration of a Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a three-story 34,431 square feet Senior Apartment Building and a three-story 37,566 square feet Family Apartment Building, with a total of sixty-four parking spaces and a children's play area. Additional guest parking to serve the project will be located in Maple Street. This project will be located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts.*
ACTION ITEM

[5:32:52 PM](#) Chair Fugate disclosed that Michelle Griffith called her and that Griffith expressed concern over amount of time allotted for this meeting. Chair Fugate explained she had spoken with Horowitz and that believes this will be sufficient timing.

Horowitz introduced the project, providing brief summary of previous hearings from a year before. Horowitz turned floor over to Michelle Griffith. Griffith summarized need for housing and why it is important. [5:36:26 PM](#) Griffith explained estimated rents for Senior and Family units, the financing for the project, reason behind subdividing and the total cost for both projects. Griffith further explained the financing for these projects, and that they were the last deal to get funded. [5:40:17 PM](#) Griffith summarized they will do everything that is asked of them but that monies would have to be reallocated from somewhere. [5:41:06 PM](#) Mark Sanders introduced himself and his company. Sanders discussed design of the project using the Civil Plan. Sanders discussed the landscape plan, explaining Griffith will address trees to be removed. Sanders explained layout of proposed landscape plan. Sanders explained proposed fire access and location of snow storage. Sanders stated there are two trash enclosures. Sanders discussed proposed amenities, location of sidewalks, and play area. Sanders explained the interior layout of the senior and family buildings. Sanders explained typical floor plans for the senior and family units. [5:50:04 PM](#) Sanders explained applicant liked the design of the River Street building and they attempted to incorporate that into this design. Sanders explained the materials to be used and that all mechanical equipment will be on the roof. Sanders noted that every unit will have a private balcony or patio. Sanders explained the carports being proposed, stating they are a very simple structure. [5:53:55 PM](#) Sanders stated few items that came up on the staff report was that the fire department was requesting an additional access but that he did see where an additional access is required per code. Sanders stated if have to put that access in, would like to use removable/breakaway bollards as does not believe through traffic would be safe. Sanders noted another comment in the staff report was the trash enclosure, Sanders explained what they are proposing. [5:56:25 PM](#) Sanders stated there were some comments of the design of the building but they thought they were fitting within the area. Sanders stated he did not realize could go up to 40 ft in height but not against the idea. [5:57:33 PM](#) Sanders stated has intention to install rain gutters and snow clips to help address snow shedding. Sanders provided a presentation that showed example of carports being proposed.

[5:58:31 PM](#) Scanlon asked where those carports are within the photo. Sanders stated those particular ones are in Nampa. Chair Fugate asked what the snow load is. Sanders stated he called the manufacture and that they have gone up to 120 lbs per square foot. Sanders provided example of fence that is being proposed along property line that will be 5ft tall. Sanders stated still coordinating with where the transformer will end up. [6:01:00 PM](#) Sanders stated the staff report required an irrigation plan and that he looked back at the River Street Project and it did not have an irrigation plan but an irrigation spec. Sanders propose that they do this project with an irrigation spec as well. [6:01:56 PM](#) Stone confirmed location of fence with Sanders. [6:02:53 PM](#) Griffith clarified the trees being proposed to be removed and why. [6:05:01 PM](#) Horowitz pulled up the aerial drawing from 2018, explaining reason why believe back access is important noting no other parking lot of similar size with only one access points. Horowitz stated commission can discuss design and that glad to hear street trees are going to be saved. [6:06:57 PM](#) Mike Baledge stated one of the main confusions is that the IFC is being quoted but looking at Hailey Municipal Code. Baledge discussed Main Street access. [6:07:38 PM](#) Stone asked how they define an access point. Baledge explained definition, noting fence concern. Baledge explained option if the building is less than 40 ft, could only require two accesses. Baledge summarized concern with using break away bollards. [6:10:12 PM](#) Chair Fugate asked commissioners if they have questions. [6:10:22 PM](#) Scanlon stated did not see anything about the bus stop, agrees with Baledge-need at least two accesses out of the parking lot, Scanlon described changes would like to see to the roofs and would like them to consider more color variations. Chair Fugate noted picture with fence that shows more colors. Scanlon stated carports appear to flimsy, would like to see some engineering on those. Scanlon expressed concern and need for additional energy savings for senior building. Scanlon asked if the buildings will be fully sprinklered if so where are those. Assuming irrigation approval will be by staff and would like to know how many accessible units there are.

[6:13:35 PM](#) Chair Fugate opened public comment.

Linda Ries, 351 Eastridge Drive, provided handout to commission. Ries stated will not be at the next tree committee but they will have a quorum. Ries stated she gratefully appreciates that the city spent a lot of time protecting and keeping the residual trees alive. Ries stated she was shocked when first saw proposed plan. Ries stated one concern is that this is going to be a dense look but think it is really important that look at way to integrate existing large trees into the new developments.

[6:15:53 PM](#) Brian Formusa, 108 S 3rd, mechanical engineer, noted within his studies of building this size is a ground source heating system, it is quite energy efficient. Formusa noted half the cost to heat the building and that he is happy to help is working with their engineer company on a different project. Formusa explained hearing source in more detail.

6:17:27 PM Chair Fugate closed public comment.

6:17:48 PM Pogue understands need to have fencing around multifamily units, does not think need fencing around senior housing. Pogue stated not uncomfortable with height but would love some articulation so it does not look flat roofed. Pogue stated he did not understand their green approach, but that he encourages them to go as far as they can go. Pogue stated concerned creating another intersection that has a f designation. Pogue stated concerned about pedestrians crossing street from mountain rides bus stop at bank – need to create a pedestrian crossing. Pogue confirmed agrees with need for two access points. 6:20:01 PM Smith agrees with the two egress access points, need more information on bus stop, like to hear more about the sidewalk requirements. Smith discussed the arborist review and is skeptical of removing trees because it makes a better or safer parking lot, believe that can design the parking lot to include trees. Smith explained the more they can do to break up the buildings and different coloring of buildings would be appreciated. Smith expressed concern of fencing. Smith suggested possibly providing oversized parking spots for RVs and such. Smith stated also on plan have three handicap parking spots in front of the building and two across the way, Smith suggested moving the two across the way to the front with other 3 parking spots. Smith suggested also considering canopy over those. Smith believes 40 ft may be something to look at and would like to hear more about the irrigation specs. 6:24:04 PM Smith asked how large of storage units are being provided. Sanders noted 3x4 will be the smallest, that anticipating putting a bicycle room on main floor as well. 6:24:42 PM Stone likes idea of keeping 75% of vegetation, that will be interested with what the tree committee comes up with. Stone agrees with other commissioners on color palates. Stone noted missing the 30 AC units on top of the roof in the picture, suggesting design to hide those. Stone asked how many spots will be under the carports. Griffith stated all 30. Griffith and Sanders explained the code does not allow for carports to be that close to the building. Stone asked if financing stipulation requires senior only building by itself. Griffith confirmed. Stone stated he is concerned about traffic going through champion ice parking lot, Stone suggested potential of relocation buildings of backside of parcel instead of along Main Street. 6:28:33 PM Chair Fugate stated aware this is great housing and that is desperately needed. Chair Fugate stated comfortable with waivers asking, thinks differentiating the colors is important, need at least two fire access, sidewalk is an issue but likes what they have added within the interior, thinks it is nice families and seniors will live next to each other, Chair Fugate reiterated need for better accesses, snow load on carports and bus stop locations. 6:31:34 PM Griffith asked if remove fence at front of building-they address a lot of fire concerns. Griffith confirmed almost all commissioners of stated they need fire two fire accesses and that all commissioners indicated they are not comfortable with using that access. Griffith suggested possible idea of bollards, Chair Fugate clarified that Chief will not go with the bollards. Griffith stated other option would be a siren activated gate. 6:34:11 PM Horowitz explained City idea of access and that working with School District. 6:34:48 PM Griffith asked if

commissioners are wanting more colors in addition to different coloring. Chair Fugate and Scanlon explained want more colorful. [6:35:55 PM](#) Horowitz stated have March 16th available to continue this project but that deadline for new materials will be March 5th.

[6:38:47 PM](#) Scanlon motioned to continue the public hearing upon the Planned Unit Development (PUD) Application for Blaine Manor Senior Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park), for thirty (30) senior housing units and thirty (30) family units on two lots, to March 16, 2020. Smith seconded. All in Favor.

6:38:50 Smith motioned to continue the public hearing to March 16, 2020. Pogue seconded All in Favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes. *(no documents)*

SR 2 Discussion of the next Planning and Zoning meeting: March 2, 2020

- DR: Silver River Residences
- PUD: Sunbeam
- PP: Sunbeam

6:42:57 Horowitz and staff set up work shop for ADU's.

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Monday, March 2, 2020
Hailey City Hall
5:30 p.m.

Present

Board: Dustin Stone, Janet Fugate, Dan Smith, Richard Pogue

Staff: Brian Yeager, Chris Simms, Lisa Horowitz, Robyn Davis, Jessica Parker

[5:31:01 PM](#) Chair Fugate called to Order.

[5:31:08 PM](#) Public Comment for items not on the agenda. No Comment.

Consent Agenda

[5:31:36 PM](#) No consent agenda items.

Public Hearing

[PH 1](#) Continuation from January 6, 2020 of an amendment to a Conditional Use Permit for Blaine County School District (BCSD) Bus Barn Facility, approved on July 10, 2003. The amendment is to review the Condition of Approval, Condition (o). The project is located at 1250 Fox Acres Rd (Lot 1A, Block 3, Wood River High School Campus PUD Subdivision), in the General Residential (GR) Zoning District. **THIS ITEM WILL NOT BE HEARD TONIGHT, SEE ATTACHED MEMO FROM BLAINE COUNTY SCHOOL DISTRICT. ACTION ITEM**

Chair Fugate confirmed PH 1 has been tabled. Simms confirmed, no motion required.

[PH 2](#) [5:32:26 PM](#) Consideration of a Design Review Application by Kiki Tidwell and Gary Poole represented by Susan Scovill Architects for a sixteen (16) unit residential project, three stories in height, to be known as Silver River Residences. The proposed project will be located at 17 West Silver Street (Lots 18-20, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO); however, the Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code. **ACTION ITEM**

[5:33:04 PM](#) Davis stated heard the pre-application on February 3, 2020 providing summary of that hearing. Davis turned floor to applicant. [5:33:41 PM](#) Susan Scovill named the members of the applicant team and explained how each donated time and expertise to help make this project affordable. [5:35:16 PM](#) Scovill explained what the project is and amenities offered – 16 residential units, electric car charging area, storage units for the residential units, garden/ BBQ area, each unit will have a washer/dryer. [5:37:13 PM](#) Scovell discussed exterior design of building. [5:37:39 PM](#) Scovell explained changes made per commissioner's request from the February 3rd hearing. [5:38:32 PM](#) Gary Poole explained that they tried to provide housing for cross section of the community, listing different types of units offered. Poole stated their hope is to encourage others to come in to the area to develop the vacant lots. Poole explained hope with the solar energy, that this will be a really efficient building. Poole explained material and color changes. [5:41:53](#)

[PM](#) Poole explained landscape and that idea is to have a family feel to the common area. Poole explained that they want to have a person living onsite to manage the building in addition to him managing it. Chair Fugate asked to view the material board. Poole explained materials and locations for each on the material board. Stone asked about the windowsills. Poole explained two alternatives looking for windowsills – black or bronze. Smith asked about metal on handrail. Poole and Scovill discussed materials for handrail. [5:45:21 PM](#) Horowitz asked where the red rust coloring will be. Poole pointed locations on entry points for building. [5:45:26 PM](#) Stone asked if had fencing. Poole stated only fencing will be next to the carport. Smith asked if providing battery storage for the solar. Poole stated there will be some and it will be located in the mechanical room.

[5:46:40 PM](#) Chair Fugate opened to public comment.

[5:46:43 PM](#) Jim Harris, Carbonate Street, questioned what the total number of occupancy and total cars.

[5:47:12 PM](#) Chair Fugate closed to public comment.

[5:47:23 PM](#) Scovill explained 16 cars and there will be 16 units. Horowitz clarified question she heard is if they will be limiting number of people per unit. Poole explained process will be going through. Horowitz stated staff does have some recommended changes to the condition of approval. [5:49:16 PM](#) Davis explained changes to conditions of approval. [5:50:28 PM](#) Chair Fugate asked what constitutes storage in regards to condition for exterior storage on balconies. Commission and Staff discussed exterior storage. Stone clarified when state maintain sidewalks that includes snow removal. Davis confirmed. Stone asked how many charging stations. [5:52:20 PM](#) Smith asked about tree committee suggestions. Davis explained what tree committee suggested and that it did happen, though size of street trees were not addressed. Smith stated under 17.04, there were some comments about screening and buffering next to general residential, he does not recognize any GR in that area. Davis confirmed that was a typo on her end and will remove it. [5:54:07 PM](#) Pogue asked if will allow people to BBQ on the decks. Poole explained decks are Juliet balconies. Pogue confirmed will provide area they can BBQ. Poole confirmed where there will be a BBQ area. [5:54:51 PM](#) Chair Fugate asked applicant team if good with recommended changes to the conditions. [5:55:24 PM](#) Poole asked about the drywell. Davis explained will be replacing the existing drywell with a new one. Yeager confirmed can leave existing where it is, north of end of their curb and gutter and will need to replace with new drywell. [5:56:33 PM](#) Pogue applauds design and thinks it will be successful, that it is a first of many projects they can do together on River Street. [5:57:00 PM](#) Smith agreed with Pogue, glad to see someone picking up on the DRO. Smith summarized that this is a good addition to our community and thanked the applicant. Smith asked when this would be done. Poole explained hoping spring of 2021. [5:58:19 PM](#) Stone agrees with Smith and Pogue. Stone complimented applicant team on color choices and appreciates them putting solar panels on the building and including electric car charging station. Stone stated hopes they are able to get started in April. [5:59:26 PM](#) Chair Fugate agrees, appreciates their response in adding more color that the material change will help in breaking it up. Chair Fugate stated it is nice to see the DRO being used. Chair Fugate agreed with Stone regarding the solar panel and electric car charging

station. [6:00:27 PM](#) Davis stated would like to change condition C. iii. Change to applicant shall replace with applicant shall replace with new drywell.

[6:01:06 PM](#) Smith motioned to approve the Design Review Application by Kiki Tidwell and Gary Poole for a sixteen (16) unit residential project, three stories in height, to be located at 17 West Silver Street (Lots 18-20, Block 56, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (o) as amended, are met. Pogue seconded. All in Favor.

PH 3 [6:02:20 PM](#) Continuation from February 18, 2020 of a Planned Unit Development (PUD) Application (Phase I) for Sunbeam Subdivision by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, for development of a Two-Phased PUD totaling 145 units, with 90 units in Phase 1, to be located on Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey. The project will consist of:

- Park and Open Space for Residential and Public Use
- Bike and Pedestrian Connector Trails
- Recreation Field, Natural Play and Scenic Area
- Curtis Park Connection
- Single-Family Lots and Cottage Single-Family Lots **ACTION ITEM**

PH 4 [6:03:14 PM](#) Consideration Continuation from February 18, 2020 of a Preliminary Plat Subdivision Application (Phase I) by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, where Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey, is subdivided into 90 units on 71 lots. The project is to be known as Sunbeam Subdivision and will consist of two (2) phases of development. This application is concurrent with a Planned Unit Development (P.U.D.) Application. **ACTION ITEM**

PH 3 and PH 4 are heard together.

[6:03:47 PM](#) Horowitz confirmed that will have a combined public hearing then will switch to discuss each application individually. Horowitz turned floor over to applicant team. [6:04:27 PM](#) Ed Lawson, local lawyer on behalf of Marathon Partners, introduced applicant team. Lawson explained will be making an abbreviated presentation as has heard the details in the previous hearings. [6:05:38 PM](#) Lawson provided brief summary of current applicant and history of the parcel – approximately 50 acres in size, annexed in

1981, attempt at selling the property, previous development applications. Lawson discussed design changes made since initial submittal of this application. Lawson stated studies done suggest most effective way to reduce housing cost is to increase the supply of the product. [6:10:13 PM](#) Lawson stated this can all be accomplished by approving this project without their being any burden on public services and amenities. Lawson discussed water pressure and affects to the water pressure of the surrounding neighborhoods. Lawson listed what the applicant is providing with this project. [6:12:23 PM](#) Lawson stated per commission request, including solar panel requirements and will be putting in trees. Lawson explained decision not to connect to Carbonate during Phase 1. [6:13:26 PM](#) Smith asked if Hales accounted for potential non residential use for people outside of the development. Lawson stated he only knows what is listed in the Memo. Lawson moved on to discuss memo from Blaine County School District. Lawson stated they have had contact with Hiawatha Canal. Lawson stated has had conversations with the City regarding the development agreement, plat notes and CC&Rs and have come to an agreement except for two things. Lawson stated Staff is seeking to modify turf limitations they proposed and water conservation measures to be included in the CC&Rs and the requirement for a detailed landscaping plan for drought tolerant plants. Lawson explained concerns of these conditions. [6:16:57 PM](#) Sam Stahlnecker clarified goal is to simplify the conditions, providing a redlined version of staff conditions and reason of their proposed changes to staff conditions. [6:20:04 PM](#) Lawson stated they believe this project will provide needed housing without burdening public services and amenities therefore hope they recommend this to City Council. [6:21:01 PM](#) Horowitz stated she would like a chance to address the condition 19 in detail. Horowitz agreed with applicant team that they have spent a lot of time discussing this condition, that it has been spent well spent. Horowitz referenced condition from Colorado Gulch and reason behind this condition. Horowitz agreed can remove the water smarty portion. Horowitz went on to discuss the distribution uniformity. [6:23:14 PM](#) Horowitz read aloud what distribution uniformity is from the rain bird website – *“Distribution Uniformity (DU) is a measure of how evenly water is applied across a field during irrigation. For example, if one inch of water is applied in one part of the field and only half an inch is applied in another part of the field, that is poor DU. DU is expressed as a percentage between 0 and 100%, although it is virtually impossible to attain 100% in practice. DUs of less than 70% are considered poor, DUs of 70 - 90% are good, and DUs greater than 90% are excellent.”*. Horowitz explained trying to give property owners an opportunity to either hit what is considered a good distribution uniformity or to use the water sensor controllers. That a simple letter from irrigation company or property owner guaranteeing that they are doing this uniformity during building permit would be sufficient. [6:24:38 PM](#) Chair Fugate clarified reason want to remove 70% DU is because there is currently no one available to install the EPA. Horowitz confirmed and that think the 70% DU is one of the most important components to the irrigation system. [6:25:13 PM](#) Stone asked if would need to meet this on all pieces or just turf area. Horowitz stated all areas, but think it is most important on turf. Stone asked if Horowitz concurs getting rid of the maximum 3500 square feet.

Horowitz stated they feel that would be going backwards from what was approved in Colorado Gulch, it would be allowing more lawn area than what was approved in our most recently approved subdivision.

6:26:52 PM Chair Fugate opened public comment.

6:27:28 PM Christine Anderson, 340 Golconda, curious of the result of the sidewalk was not able to attend last meeting. Also, curious what lots, roads, entrances, exits and what if any of the park are going to be developed in phase 1.

6:28:24 PM Jim Phillips, Hiawatha Canal Company, want to be understood that the canal easement is not necessarily going to be 20 ft from the property line as it is going to meander. Want to be sure the 20 ft is recognized from center of the existing canal not the property line. Second is that there be no encroachments upon canal easement interfering with the its use without prior consent of the canal company. Phillips suggested it be phrased interfering with its use. Phillips stated need to have on the plat that they just can't have any improvements or landscape within the canal easement. Just better if have that as rule. Phillips stated work with people from Cutters, but as a general rule the condition should be that there are no improvements of landscaping. Other thing, there are a few other notes think should be included. Philips another note that feels should be included, Cutters maintain part of canal that runs through their subdivision and would like to have provision that canal is maintained by HOA when get to the final plat.

6:31:50 PM Janet Carter, 150 8th Ave S, have a surface water right and live south of new subdivision. Want to be sure they will have the delivery of their water to their property.

6:32:29 PM Jim Harris, 721 E Carbonate, bike path can connect to Bullion, that is how going to connect to larger bike path going North and South and to connect to downtown Hailey. Also, curious that 7th Ave as it is shown in the image appears to be twice the width of 6th Ave and seems to be wider than it is long. Harris is hoping that can be narrowed as it does not fit the neighborhood.

6:33:28 PM Angela Burrell, 393 Motherlode Loop, did not think 7th Ave is proposed to be developed, has that changed?

6:34:01 PM Charles Meyer, 150 8th Ave S, asked for 1st slide up, in favor of plans the subdivision with exception of cottage lot 8. Meyer referenced relocation of cottage lots but that this was not moved. He and his wife are not in favor of cottage lot 8, prefer it to be by other cottage lots and feel it is too large and will have a negative effect on their property. Meyer stated first plan there was no cottage unit next to their lot on the parameter and now there is. They thought it was a good idea to move the other cottage lots and feel that it is a good idea to also move lot 8 cottage moved to center of subdivision. Meyer stated think fairest solution is to place that cottage lot in the middle, near the park, won't be on the parameter and would have the least impact on property owners.

6:36:56 PM Chair Fugate closed public comment.

6:37:05 PM Stahlnecker explained a brief overview of revised design, pointing out location of sidewalks proposed, road connections and explaining what part of the park will developed during phase 1. Stahlnecker stated not proposing to develop 7th Ave. Stahlnecker responded to Mr. Meyer's comment and reason why located cottage lot 8 is located along that property parameter. 6:39:22 PM Jim Spec stated does not think there are any response to Phillips comments, discussing state statutes and that they are adequately protected. Spec stated they will continue to work with them. Chair Fugate asked Spec to address the public comment regarding their water delivery. Spec explained that there is nothing they can do other than maintain their portion of the canal. 6:40:58 PM Chair Fugate confirmed they are working on a separate maintenance agreement. Spec confirmed. Horowitz stated she believes everything was covered. 6:41:50 PM Horowitz asked if they would like to start with conditions of approval for the PUD. Chair Fugate agreed.

6:42:12 PM Chair Fugate confirmed removing water smarty, Horowitz confirmed recommending start at beginning. 6:42:30 PM Horowitz stated on page 26 of Staff Report and began to discuss suggested conditions of approval. Smith asked if they could speak more to sections C and D. Horowitz explained believe would be fine to have a private street that served 12 cottage units and similarity requirement for additional parking for each unit on a private street is a lot. Horowitz explained staff was not sure it was necessary as there will be a lot of on street parking. 6:43:51 PM Yeager stated private street has a smaller ROW, that ultimately what makes a street work is the actual infrastructure components. Yeager explained how this works. Smith asked Yeager to speak to parking. Yeager stated to have a private street, it triggers requirement for additional parking. Yeager stated that has been an issue with previous developers with projects in the past. 6:45:25 PM Horowitz explained talking about cottage lots. Commission discussed concern of parking, with Horowitz offering to include as a condition. Staff confirmed will see another subdivision for cottage lots and will have another opportunity to review parking then. 6:48:05 PM Horowitz continued with suggested conditions, picking up at condition 3. 6:48:34 PM Spec stated acres listed in #4 should be 8.8. Horowitz changed and moved on to condition 5. 6:50:12 PM Horowitz explained reason condition 7 is in both PUD and Subdivision, confirming edits will carry to both. Staff and Commission discussed condition 7 and changes to current condition recommended by staff. 6:53:57 PM Lawson added that it is his understanding of the language appears in Colorado Gulch's annexation agreement and that they are not asking for an annexation. Lawson explained believes this is more of an infill project. Lawson stated these combined with moneys offered towards the well, seems to him to be an adequate reasonable basis to allow for some slack towards turf limitations. 6:54:16 PM Horowitz added that fact this is infill is reason why turf should be limited to 3500 square feet. Chair Fugate asked what the maximum percentage would be. Staff and commission discussed the square footage. Stahlnecker

explained reason stayed away comparing this to Colorado Gulch. Stahlnecker provided numbers of what would be with and without the maximum turf requirement. Stahlnecker stated item 5 is one applicant would not like to see included, Horowitz confirmed staff agrees to remove 5. [6:57:28 PM](#) Chair Fugate confirmed all are comfortable with removing A and D of bottom section of condition 7, C will add "turf areas". [6:58:54 PM](#) Commission, Staff and applicant continued to discuss conditions under 7. [6:59:50 PM](#) Horowitz agreed staff could remove the middle paragraph but would prefer to have conditions 7b and 7c somewhere stronger than CC&Rs that could be changed at any time. Smith confirmed will end up with E and F. Horowitz confirmed. [7:00:42 PM](#) Lawson asked if talking about referring to PUD Agreement conditions A-D and CC&Rs A-E. Chair Fugate explained B and C would become conditions E and F. [7:01:44 PM](#) Horowitz continued to condition 8. Stone asked if need to include something regarding maintaining the canal. Staff stated that will be under the subdivision. [7:03:10 PM](#) Smith expressed concern of eliminating the waiver. Horowitz explained could only be eliminated in a PUD. Simms confirmed on referring to 2c and d. Smith stated referring 2.d. Commission, staff and applicant continued discussed condition 2.D, regarding parking waiver. [7:08:26 PM](#) Horowitz asked if applicant really feels needs the waiver. Stahlnecker explained that never know. [7:09:02 PM](#) Ben Young, stated 4 parking spaces per 400 sq. ft cottage apartment. Smith stated does not have problem with flexibility but eliminating at this point without a detailed design. [7:10:20 PM](#) Horowitz suggested "adequate designated parking shall be delineated in each cottage plat". Chair Fugate stated she feels comfortable with the waiver if he feels comfortable with including that sentence. All agreed. [7:11:16 PM](#) Smith confirmed two cottage lots on the parameter. Smith discussed park access and respect for neighbors. Chair Fugate stated she was thinking of that as well. Pogue asked what the size of the cottage lot along the Cutters parameter. Stahlnecker stated it was .5 acres. Commission discussed two cottage lots along parameter of subdivision. Chair Fugate confirmed all are comfortable with everything else. Smith confirmed with the PUD. [7:15:34 PM](#) Horowitz noted one lot adjacent to cottage lot along parameter of Cutters is a duplex lot. Pogue went back to lot 8, that he would like to see that cottage lot moved. Smith agreed. [7:18:03 PM](#) Ed Lawson noted required to provide 36 cottage units in phase 2 and that this could impact that requirement with the changes now. [7:18:54 PM](#) Young stated to keep in mind as move these around, talking about lot 8, part of intent is trying to distribute the density and balance. [7:21:16 PM](#) Horowitz provided example of what the impact would be if this was done as a traditional subdivision. Commission continued to discuss cottage lot 8. No additional comments.

[7:24:33 PM](#) Stone motioned to approve the Planned Unit Development (PUD) Application for Sunbeam Subdivision by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, for development of a Two-Phased PUD totaling 145 units located on 54.38 acres (Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey) , finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to conditions 1-8 as amended. Pogue seconded. All in Favor.

7:25:32 PM Chair Fugate called for 5-minute break.

7:31:39 PM Chair Fugate called meeting back to order.

7:31:45 PM Chair Fugate confirmed will be discussing conditions for the Subdivision. 7:32:05 PM

Horowitz started with conditions under General Conditions and changes proposed. Horowitz asked if commission wants to go through each condition or highlight the changes. Chair Fugate stated to highlight the changes and they will ask questions on conditions if have any questions. 7:32:55 PM Horowitz moved on to Streets and Right of Ways and changes proposed to those conditions. 7:35:02 PM Horowitz explained changes to conditions under Water and Wastewater. 7:35:25 PM Chair Fugate clarified 10.B. Horowitz stated forgot to remove the word "within". 7:36:24 PM Horowitz explained conditions under Parks and Trees. 7:36:49 PM Horowitz discussed conditions under "other", recommending plat note for Hiawatha Canal to be discussed. Chair Fugate asked if understood correctly, Phillips concern was about encroachment. Phillips clarified would prefer language of no encroaching along the canal easement without their consent. 7:38:12 PM Lawson noted that the language is right of the Idaho code and if strike it changing that relationship. Phillips explained concern, that want the property owners know they have to go to them. Chair Fugate clarified what Lawson was saying. 7:39:04 PM Simms explained see whole issue as a problem and why. Phillips described process uses. 7:40:03 PM Lawson suggest that they use that process, have an agreement with Phillips and that they are trying to do their due diligence if take on the responsibility of maintaining the canal. 7:40:45 PM Phillips stated that their going along with this subdivision are based off assumptions that it is going to be done like Cutters. Cutters has easy access to the canal but in this case none of that is being proposed. Saying that it is not that easy, want to be sure can get in there and maintain it. Smith asked if incorporating this as a plat note is more of an informational thing. Lawson confirmed. Simms stated does not have an issue with that as it stands. All in agreement to leave language as is. Horowitz continued discussing conditions under "other". 7:44:03 PM Stone asked where it talks about the upgrade for Curtis Park. Chair Fugate confirmed it is under the development agreement, Simms added that is currently under draft. 7:45:01 PM Lawson request that the commission consider changing language in condition 9.k – change to prior to recordation of the plat. Horowitz confirmed that is acceptable. 7:45:58 PM Pogue asked about 7th Street. Horowitz confirmed reserving right until it is needed. 7:46:40 PM Smith stated heard a lot of comments about speed and kids going to school. Smith recommends to the City law enforcement in some of these areas during certain times. Smith stated another thing that came up for the BCRD, some additional on ramps for the bike path. 7:48:44 PM Stone asked about plowing the bike path, potential connection for Nordic trails. Horowitz stated BCRD stated they did not want it as a Nordic Trails. 7:50:01 PM Horowitz noted additional correction needed on condition regarding bus stops. Stahlnecker and Horowitz discussed changing language to be broader.

Commission agreed. [7:52:14 PM](#) Horowitz asked Yeager if wanted to add anything to condition G regarding maintenance. Yeager noted that Cutters assumes the cost of irrigation water and that this development is proposing to not assume the cost of the irrigation water. [7:52:59 PM](#) Chair Fugate asked what that meant. Yeager explained currently only thing left for City to perform outside of the roadway is to pay for the water and that in Cutters the city does not pay for the water. Chair Fugate asked the water would be metered. Yeager confirmed there would be a meter in the right of way. [7:53:41 PM](#) Lawson stated when discussed with staff, because it was in the city ROW it would be fair to leave the cost to the city. [7:54:25 PM](#) Smith asked if Cutters is the only HOA paying. Horowitz stated Colorado Gulch. Chair Fugate asked about Sweetwater. Yeager stated he believes so, but would have to look it up. Yeager confirmed Quigley as well, explaining it is not uncommon. Commission agreed to leave it like it is. No additional comments.

[7:57:20 PM](#) Pogue motioned to approve the Preliminary Plat Application by Marathon Partners, LLC, represented by Ben Young Landscape Architects and Galena Engineering, where Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey, is subdivided into 90 units on 71 lots, finding that the application meets all City Standards, and that Conditions (1) through (19) as amended are met. Stone seconded. All in Favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes. (*no documents*)

Community Development End of Year PowerPoint Presentation by Lisa

SR 2 Discussion of the next Planning and Zoning meeting: March 16, 2020

- DR: Tanner Investments, LLC – Woodside, Block 86
- PP: Sweetwater Block 2
- DR: ARCH Blaine Manor continued
-

[7:59:47 PM](#) Horowitz discussed upcoming.

[8:00:32 PM](#) Stone motioned to adjourn. Smith seconded. All in Favor.

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Monday, April 6, 2020
Virtual Special and Regular Meeting
5:00 p.m.

Note: A short City Council meeting is also scheduled for 5:00 pm on the same call-in line. Please be patient! We will commence the P & Z meeting as soon as the City Council adjourns, estimated at 5:05.

5:13:52 PM Chair Fugate called to Order.

Roll call: Present Richard Pogue, Dan Smith, Dustin Stone, Janet Fugate, Owen Scanlon (Late). Staff: Lisa Horowitz, Stephanie Cook, Chris Simms, Jessie Parker

5:13:59 PM Public Comment for items not on the agenda. No Comment

Consent Agenda

CA 1 *Adoption of Findings of Fact, Conclusions of Law and Decision of Preliminary Plat Subdivision Application (Phase I) by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase I of Block 2 is subdivided into 14 sublots consisting of seven (7) live-work units, one (1), ten-unit condominium and two (2), three-plex townhomes for a total of 23 residential units. This project is located on the corner of Shenandoah Drive and Countryside Boulevard within the Limited Business (LB) Zoning District. **ACTION ITEM***

5:14:27 PM Smith motioned to approve CA 1. Pogue seconded. All in favor.

Public Hearing

PH 1 **5:15:02 PM** *Continuation of the consideration of a Planned Unit Development (PUD) Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a PUD to construct two multi-family housing buildings, one Senior Community Housing Building, and one Family Community Housing Building. Each building will contain 30 units for a total of 60 units. The majority of the units will be rent-restricted. The project includes parking, outdoor gathering space, and a play area. 0.27 acres is proposed to be dedicated to Hailey for a partial road connecting to a future road along the southern property boundary of Wertheimer Park Block 1 Lot 1. The applicant is requesting a waiver the Business Zone Maximum Multi-Family Units per Acre. Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B. **ACTION ITEM***

Heard concurrently with PH 2.

PH 2 [5:16:23 PM](#) Continuation of the consideration of a Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building. The Senior Apartment Building will consist of thirty (30) apartment units and the Family Apartment Building will consist of thirty (30) apartment units, for a total of sixty (60) apartment units. This project will be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

[5:17:18 PM](#) Horowitz referenced memo summarizing discussion from last hearing. Horowitz turned floor to applicant team. [5:18:18 PM](#) Michelle Griffith summarized the application process and changes since submittal. [5:20:23 PM](#) Griffith discussed trees being kept that were proposed to be removed, moving on to discuss trees currently proposed to be removed – # 43 44 45 and 46. Griffith summarized the Hailey Tree Committee meeting and decision. Griffith explained has spent the last week attempting to save trees 43 44 45 and 46, had architect draw a site plan moving the buildings as far as possible and discussed various options. Griffith explained based off their research, saving the trees could be dangerous and cause a negative impact. Griffith requests that the commission approve the plan with the removal of 43 44 45 and 46. [5:27:24 PM](#) Griffith stated from the last hearing they discussed hand crossing signals, and that has agreed with that option discussed with staff. Griffith stated contacted ITD- that has not heard from them. Griffith summarized did they could to try and save the trees but does not believe it is possible. Carl Hjelm explained his thought process in making his decision. [5:32:58 PM](#) Chair Fugate asked if Hjelm he had suggestions for tree replacements. Hjelm stated there are a lot of conifers and that they would actually do the building a favor and environmental benefits. Hjelm stated White Fir would do good there and grow quickly. Griffith asked Hjelm what he recommends, if symmetry or variety is important. Hjelm explained the tree types he would recommend and where, that variety is important to him. [5:36:15 PM](#) Smith asked Hjelm if he was familiar with the use pilings to minimize the disturbance on roof structures. Hjelm stated he has recommended pilings when the load was not as high. Smith asked if Griffith was amendable to look at that option. Griffith explained that she does not think it's possible. [5:39:04 PM](#) Stone asked Hjelm at what point, how much distance would cause him to say these trees would live. Hjelm stated area he would be comfortable would be approximately 22 ft from trunk of tree, that the wall would be 28 ft from the base of the tree. Stone asked how much room would gain with reducing the space. Chair Fugate stated she believes it was 4'. Griffith confirmed and the 4' were included in the site plan presented. [5:42:18 PM](#) Scanlon confirmed Hjelm had stated those trees were worth saving in his original report. Hjelm confirmed, further explaining that the valuation of the trees is done prior to the site plan. [5:43:37 PM](#) Scanlon asked if the applicant had accessed the site report before they laid out their buildings. Hjelm stated they did not. Scanlon asked about letter regarding saving two trees. Griffith explained had attempted but could cause potential risk to safety if kept them. [5:45:35 PM](#) Smith asked Griffith what size of replacement trees she is proposing. Chair Fugate asked if there was a better chance of saving one of the two trees. Hjelm stated there may be a better chance of saving the smaller one but reasons why shouldn't. Hjelm explained with benefits of planting conifers.

5:48:21 PM Chair Fugate opened public comment.

5:48:37 PM Linda Ries, citizen, thanked applicant. Ries stated she as new information and thinks will make a big difference. Ries referenced pages 126 and 129 of the packet, that view from left is not 3-stories it is where the stair way is. Ries stated she is not engineer but thinks foundation could be different for the stairway that could impact the excavation. Ries explained how she believes this could be done. Ries explained her credentials. Ries summarized from knowing that area and that tree, she feels good about it.

5:53:48 PM Jacob Greenberg, citizen, hopes find positive findings for this project. Greenberg wanders if consideration of if these trees don't live and follow the same suite of the tree across from his house now. Tree across from him is leaning towards the building. Greenberg expressed concern of safety.

5:55:56 PM Stephanie Cook, Hailey City Arborist, she is in agreement with other industry professionals has heard. Cook explained it is the excavation and construction for these buildings is the danger for these trees. Cooks recommendation that they hire a professional hire company that can make sure the excavation of the building is done appropriately in regards to the trees.

5:57:54 PM Chair Fugate closed public comment.

5:58:02 PM Griffith noted that the stairway referenced by Ries is still 3 stories. 5:58:41 PM Pogue thinks really lucky to have ARCH and desperately need housing, so question before them is do they lose the trees and gain the housing? Pogue recommends a requirement to replace the trees in an appropriate manor. Pogue asked if were to require one of the buildings to moved to the rear of the lot, if the investors would consider it. Griffith stated she thinks would jeopardize the funding. Pogue would like the two buildings to be more different in color. 6:02:41 PM Smith noted on PUD Agreement, 1st paragraph is missing the word income. Smith asked if condition of approval is for the Main St crosswalk to have a flashing light. Horowitz confirmed. Smith agrees with Pogue. Smith agrees more differentiation is going to help with the appearance. Smith stated in regards to the trees, would appreciate a commitment to install as large as trees as possible with fairly rapid growth. 6:05:37 PM Stone referenced 60-80 years that the trees have been there, that the city has maintained them. Stone stated trees are what is part of what makes Hailey. Stone expressed concern of removal of trees. Stone believes letter discussing color schemes hit it well, and changes to roofline have been good. 6:07:32 PM Stone appreciates City and Applicant working on safe crossing. 6:07:56 PM Scanlon referenced Pogue's comment about moving the buildings to the back of the lot and described how he would layout the design. Scanlon asked about potential of conifers. Scanlon discussed coloring of buildings and agrees with Smith regarding the rooflines. 6:11:58 PM Chair Fugate agrees, difficult situation all in favor of the trees, knows housing is needed. Chair Fugate thinks need to see what the largest, most appropriate trees are. Chair Fugate added to color more contrast, little pop of color. Chair Fugate thanked the applicant. Chair Fugate and Commissioners confirmed in agreement with project and revised conditions. 6:18:49 PM Commission and Applicant confirmed going with drawing with 22 ft opening not 26 ft opening. Griffith stated their preference would be to retain the larger patio. Stone clarified applicant narrowing the drive aisle.

6:25:33 PM Scanlon motioned to approve the Planned Unit Development (PUD) Application for Blaine Manor Senior Community by Arch Community Housing Trust, represented by Galena Engineering, on behalf of Blaine County, located at 706 S Main Street (Lot 3A, Block 1, Wertheimer Park), for thirty (30) senior housing units and thirty (30) family units on two lots, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Conditions 1-7 above. Smith seconded. All in Favor.

6:27:19 PM Commission and staff reviewed modified conditions of approval. Scanlon asked about 3rd energy saving option, recommending senior building have wall insulation R26 wall and ceiling insulation R60. Griffith stated she does not know the impact on construction but believes it is reasonable.

6:29:04 PM Scanlon motioned to approve the Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building, to be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (1) through (17) as amended are met. Pogue seconded. All in Favor.

PH 3 6:34:58 PM *Consideration of a Design Review Application by Tanner Investments, LLC represented by Samantha Stahlnecker of Galena Engineering for a six (6), two-story four-plex units. The proposed project will be located Lots 1-6, Block 86, Woodside Subdivision No. 25 (East side of Woodside Blvd. between Antelope Drive and Baldy View Drive), within the General Residential (GR) Zoning District- **ACTION ITEM***

6:36:15 PM Horowitz introduced Sharon Grant, Contract Land Use Planner. Horowitz turned floor over to applicant team. Samantha Stahlnecker, Galena Engineering, and introduced the applicant – Brant and Marie Tanner, Dean Hernandez, Fleming. Stahlnecker explained application is also under an admin review for Preliminary plat. Stahlnecker explained layout of project entrances/exit, bus stop, and parking. Stahlnecker noted no cover parking proposed at this time. Stahlnecker turned floor to Brant Tanner. Tanner introduced himself, and described materials to be used. Stahlnecker discussed the elevations front Woodside Blvd. Stahlnecker provided landscaping drawing, turning floor to Dean Hernandez. Hernandez discussed the proposed landscaping plan and design. Hernandez stated plan to keep open play area open for active. Hernandez provided a sample of proposed fence. Hernandez stated all the lawn area will be drought tolerant. Stahlnecker stated they have included sidewalks to be sure all residents can access Woodside Blvd. **6:47:43 PM** Pogue noted does not meet Tree Committee recommendation and asked if there was a reason why not meeting. Hernandez stated a revised plan has been submitted. Pogue asked about recycle and if two trash enclosures were enough. Tanner confirmed great idea and would love to have that. Pogue expressed concern of roofline. Tanner explained plan to prevent frozen water over walkway. Pogue stated would hope could find other colors to use, not a fan of black and white. **6:51:01 PM** Smith asked about the proposal of mountain rides requirements. Stahlnecker confirmed will meet Mt. Rides requirements. Smith asked about ADA parking not being adjacent to building. Stahlnecker

confirmed can review those to relocate those. Smith agrees with Pogue, maybe more color and differentiate between the buildings. Smith asked about RV accommodation. Hernandez confirmed intent is to follow irrigation recommendations. Smith asked about snow clips. Tanner confirmed will be over the front doors. Tanner and Smith discussed potential color changes.

[6:57:29 PM](#) Stone expressed concern over neighbor view of side of buildings, asking if something could be done. Stone appreciates them adapting the trees in accordance to commission recommendation. Stone asked if snow clips should be a condition of approval. Horowitz stated could include or have them on revised drawings. Stone suggested reviewing surrounding buildings and ensure not in sharp contrast to those around them. [7:00:06 PM](#) Scanlon asked for clarification if this was a PUD. Horowitz clarified this is a Design Review for Multi Use Buildings. Scanlon expressed concern over flag lots. Horowitz stated will follow up with that at the next hearing. Scanlon asked Tanner to show where proposing the rain gutters in next drawings. Scanlon does not believe snow is going not slide off roof as roof is very shallow. Scanlon expressed concern over color of door. [7:04:49 PM](#) Chair Fugate agreed with Scanlon regarding side elevations facing woodside. Chair Fugate agrees more color would be good.

[7:05:36 PM](#) Chair Fugate opened public comment.

[7:06:23 PM](#) Jeffery Jones, 1441 Woodside, stated traffic on Woodside is horrible and not sure if that has been discussed. Jones is against the black and white color and side elevations need to be addressed.

[7:07:23 PM](#) Michael Abbott, 1511 Aspen Valley, concern over color of the buildings and would like to see more trees along the backside.

[7:08:13 PM](#) Beau Korzen, 830 Antelope Drive, amazed spent all this time talking about trees, colors, flowers except Stone considered what they are seeing from their backyard. Korzen stated this is a single-family area, this project will stand out like a sore thumb and cause property values to drop. Korzen also expressed concern over traffic.

[7:11:04 PM](#) Greg Abbott, agrees with person who just spoke. She a garden and worried everything in her backyard is now going to be shaded and people can look into her backyard now.

[7:12:32 PM](#) Beau Korzen, did not receive any notification that the meeting was moved online and need to consider that not everyone knows that the meeting was moved online.

[7:13:59 PM](#) Jeffery Jones, found out from a neighbor 15minutes before the meeting started.

[7:14:41 PM](#) Chris Simms stated appreciate all comments from public comment and that are looking at a follow up meeting and while discuss with staff about direct mailings to surrounding neighbors.

[7:16:38 PM](#) Chair Fugate closed public comment.

[7:17:16 PM](#) Chair Fugate asked Horowitz had any comments to address from public comment. Horowitz stated based on not able to hear project for another month will re-notice.

[7:22:34 PM](#) Smith suggested taking in consideration neighbors' comments about trees and the color palate. Stone asked Horowitz if this was going to be a park, Horowitz explained in previous application there was a park requirement. Stone recommends putting trees around the back and moving everything towards the center. [7:24:21 PM](#) Scanlon agrees with other commissioners, wonders if there is some room to the buildings towards the center and if one of the 4plexs could be put in the center. Smith added idea of moving the buildings in and relocating one would also enhance the feel for the future home owners. Chair Fugate reiterated the portions presented to Woodside definitely need some interest.

[7:26:41 PM](#) Smith motioned to continue the public hearing to May 4, 2020. Pogue seconded. All in Favor.

PH 4 *Consideration of a Preliminary Plat Subdivision Application (Phase I) by S.V. Flying Squirrels, LLC, represented by Bruce Smith of Alpine Enterprises Inc., for Quigley Townhomes, located at Lot 1A and Lot 2A of Quigley View Subdivision (631 East Croy Street), where Lot 1A and Lot 2A are subdivided into eight (8) townhouse sublots, located within the Limited Residential (LR-1) Zoning District. This project converts a condominium subdivision to a townhouse subdivision. ACTION ITEM*

[7:28:29 PM](#) Stone motioned to continue the public hearing upon the Preliminary Plat Application for Quigley Townhomes, by S.V. Flying Squirrels, located at Lots 1A and 2A, Quigley View Subdivision to April 20, 2020. Pogue seconded. All in Favor.

PH 5 *Consideration of a Design Review Application by Lena Cottages, LLC, represented by Chad Blincoe of Blincoe Architecture, for a 2,064 square foot, seven (7) bay garage building to serve seven (7) single-family cottage style units, located at Lot 9, Block 3, Old Cutters Subdivision within the General Residential (GR) Zoning District. THIS ITEM WILL BE CONTINUED TO APRIL 20, 2020. ACTION ITEM*

PH 6 *Consideration of a Preliminary Plat Subdivision Application by Lena Cottages, LLC, represented by Chad Blincoe of Blincoe Architecture, where Lot 9, Block 3, Old Cutters Subdivision is subdivided into seven (7) sublots. This project is located within the General Residential (GR) Zoning District. THIS ITEM WILL BE CONTINUED TO APRIL 20, 2020. ACTION ITEM*

[7:29:56 PM](#) Scanlon motioned to continue PH 5 and PH 6, referring to the Lena Cottages to April 20, 2020. Smith seconded. All in Favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: April 20, 2020

- DR: McMinn
- DR: Blaine County ADU
- PP: ARCH Blaine Manor
- DR: Lena Cottages (continued from 4/6/2020)
- PP: Lena Cottages (continued from 4/6/2020)

Horowitz explained will reach out to McMinn and Blaine County ADU to let them know they will be pushed out to the May hearing.

7:33:45 PM Smith motioned to adjourn. Pogue seconded. All in Favor.

Return to Agenda

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815

Agenda
HAILEY PLANNING & ZONING COMMISSION
Monday, April 20, 2020
Virtual Meeting
5:30 p.m.

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/798252333>

You can also dial in using your phone.

(For supported devices, tap a one-touch number below to join instantly.)

United States: +1 (646) 749-3112

- One-touch: tel:+16467493112,,798252333#

Access Code: 798-252-333

Present

Commission: Janet Fugate, Dustin Stone, Dan Smith, Owen Scanlon, Richard Pogue

Staff: Lisa Horowitz, Jessica Parker

5:30 PM Chair Fugate called to order.

Public Comment for items not on the agenda. No Comment.

Consent Agenda

CA 1 *Adoption of Findings of Fact, Conclusions of Law and Decision of Planned Unit Development (PUD) Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders, The Architects Office, for a PUD to construct two multi-family housing buildings, one Senior Community Housing Building, and one Family Community Housing Building. The applicant is requesting a waiver the Business Zone Maximum Multi-Family Units per Acre. Per Chapter 17.05 of the City of Hailey Code, the maximum multi-family residential density (units per acre) is 20. The development is requesting 25.5 units per acre under Chapter 17.10.040.01B. **ACTION ITEM***

CA 2 *Adoption of Findings of Fact, Conclusions of Law and Decision of Design Review Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Mark Sanders of The Architects Office, for a three-story, 35,822 square foot Senior Apartment Building and a three-story, 36,633 square foot Family Apartment Building. This project will be located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM***

Chair Fugate request to pull CA 2.

5:35 PM Pogue motioned to approve CA 1. Scanlon seconded. All in Favor.

Horowitz summarized discussion between her and Scanlon regarding change submitted by Michelle Griffith. Smith believes it will be more beneficial long term if ARCH will follow through with the increased insulation. Griffith explained seniors will have a utility allowance based off the specs of the building, there is no financial benefit for the seniors doing this. Horowitz suggested holding item until next meeting for a public hearing. Commission discussed options.

5:37 PM Pogue motioned to approve CA 2 with staff and Owen Scanlon to review the design. Scanlon seconded. Stone – Yes, Scanlon – Yes, Pogue – Yes, Fugate – Yes and Smith – No.

Public Hearing

PH 1 5:39 PM Consideration of a Preliminary Plat Subdivision Application (Phase I) by S.V. Flying Squirrels, LLC, represented by Bruce Smith of Alpine Enterprises Inc., for Quigley Townhomes, located at Lot 1A and Lot 2A of Quigley View Subdivision (631 East Croy Street), where Lot 1A and Lot 2A are subdivided into eight (8) townhouse sublots, located within the Limited Residential (LR-1) Zoning District. This project converts a condominium subdivision to a townhouse subdivision. ACTION ITEM

Horowitz turned floor over to applicant, Walt Fleming. Fleming provided a summarized history of the project and reason for conversion from condo to townhouse plat. Fleming asked if there were any questions. No questions for the applicant from the Commissioners.

5:46 PM Chair Fugate opened public comment.

No comment.

5:47 PM Chair Fugate closed public comment.

Scanlon asked about item b under conditions of approval, wonder if that is necessary. Horowitz confirmed that could be deleted. Scanlon asked if there was any new construction. Horowitz confirmed no and could remove if wanted. Scanlon asked if the condition about party separate walls was completed. Fleming has not been contacted. Fleming explained the fire walls and party walls were previously approved under the condos. Horowitz suggested could make a condition of approval. Chair Fugate asked if there were snow storage calculations. Horowitz explained those were handled under the previous design review. Chair Fugate asked about easements to be noted on the plat. Horowitz confirmed. Stone believes this is an administrative based application and good as long as all requirements are met. Smith likes all that has heard. Smith noted that in the CC&Rs, paragraph 12 was actually number 2. Smith stated good as long as easement and snow storage questions are answered and the condition related to inspection of party wall is added. Pogue is good with it as discussed with party wall inspection being completed and the easements. Staff and Commission verified amendments to conditions.

5:52 PM Scanlon motioned to approve the Preliminary Plat Application for Quigley Townhomes, by S.V. Flying Squirrels, located at Lots 1A and 2A, Quigley View Subdivision with

conditions (a) through (g) finding that the application meets all City standards. Smith *seconded*. *All in Favor*.

PH 2 **5:53 PM** *Consideration of a Design Review Application by Lena Cottages, LLC, represented by Chad Blincoe of Blincoe Architecture, for a 2,064 square foot, seven (7) bay garage building to serve seven (7) single-family cottage style units, located at Lot 9, Block 3, Old Cutters Subdivision within the General Residential (GR) Zoning District. ACTION ITEM*

PH 2 and 3 will be heard together.

6:25 PM Smith motioned to approve the Design Review Application by Mountain Sun Homes LLC for a seven (7) unit garage project, one story in height, built to accompany seven (7) single-family cottage residences, to be located at the northwest corner of CD Olena Drive and Cutters Drive (Lot 9, Block 3, Old Cutters Subdivision), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (L) are met. Pogue *seconded*. *All in Favor*.

PH 3 **5:54 PM** *Consideration of a Preliminary Plat Subdivision Application by Lena Cottages, LLC, represented by Chad Blincoe of Blincoe Architecture, where Lot 9, Block 3, Old Cutters Subdivision is subdivided into seven (7) sublots. This project is located within the General Residential (GR) Zoning District. ACTION ITEM*

Horowitz introduced applicant team and Courtney Hamilton, staff planner. Horowitz turned floor over to Chad Blincoe. Blincoe introduced himself and the applicant team. Blincoe introduced the project, consisting of two phases discussing what is included in each phase. Blincoe explained idea behind the design for each building. Blincoe stated the application is for the garages. Blincoe went into detail of the garage design, covered trash enclosures and materials to be used. Blincoe provided drawings of entire project including the residential units not part of the application. Blincoe turned floor to Nathan Schutte. Schutte discussed the landscape plan, grading and drainage. Schutte noted proposed drywells. Hamilton clarified the design review is only for the garage buildings. Scanlon noted that the east elevation is quite plain and long. Scanlon suggested ideas to break up the material and texture on the east side. Stone asked if there was a proposed fence along the property line. Fleming noted fencing along the trash enclosures and a few of the residential units. Stone asked Horowitz if area to the east was developed. Fleming noted that is the park. Stone asked to the North. Fleming explained what is to the north of the project. Smith agrees with Scanlon regarding the backside elevation. Smith suggested elevation facing the street towards the garage, may want to duplicate what do on the back. Fleming noted materials to be used. Smith noted confusion of roofing for the building, and missing sample of shingle. Fleming explained did not have the dark gray shingle sample, and that the units will have metal. Smith asked about the parking. Fleming confirmed two of the parking spots are designated for the larger units. Smith asked if the Canal company had any comments regarding this development. Horowitz confirmed the canal company had no comments per email received. Smith asked if setback questions were answered. Hamilton confirmed the setbacks have been

corrected. Pogue asked what the difference is between the 3-bedroom units to the garage units. Fleming explained those are parallel parking, not understanding the question. Pogue clarified trying to understand how much room is available if backing out of the garage before come to the parallel parking. Fleming confirmed it is 25' to 27'.

Chair Fugate opened public comment.

No comment.

Chair Fugate closed public comment.

Scanlon thinks this is a nice project and complimented Blincoe and the design team. Scanlon why 33' long instead of 34' long on buildings 4a and 5a. Fleming explained width issue and square footage requirements. Stone asked if true that no on street parking is permitted. Horowitz confirmed. Stone asked if ending up with 10 parking spots for 7 units. Blincoe noted there are 11 spaces. Stone expressed concern for guest parking. Blincoe noted additional parking areas at the park area adjacent to this project. Blincoe noted they do meet parking requirements. Stone suggested plants along the back part of the garage to help break that up between them and their neighbors. Schutte happy to add plants, hesitant to put along the property line as that is the drainage ditch. Smith no additional comments, other than agrees with Stone regarding the additional plants. Pogue agrees with stone and Smith, thinks overall going to be a great project. Chair Fugate confirmed with staff did receive response from the canal company. Chair Fugate asked about issues with the easements and utilities. Horowitz stated there are separate conditions for the preliminary plat and design review. Horowitz stated if they would like to preclude the design review can look at the preliminary plat. Commissioners and staff discussed conditions of approval for the design review and preliminary plat individually.

6:28 PM Scanlon motioned to approve the Preliminary Plat Application for Lena Cottages Subdivision, Lot 9, Block 3, Old Cutters, with conditions (a) through (i) finding that the application meets all City standards. Stone *seconded*. All in Favor.

Blincoe asked about conditions F) I. of the preliminary plat, if those were handled under a plat note. Stahlnecker explained intent was for the water main if one was constructed onsite based off her conversation with Brian Yeager. Blincoe expressed concern of this condition requiring more easements. Horowitz does not believe so.

PH 4 *Consideration of a Preliminary Plat Subdivision Application by ARCH Community Housing Trust on behalf of Blaine County, represented by Galena Engineering for Blaine Manor Subdivision, located at Lot 3A, Block 1, Wertheimer Park (706 S Main St) where Lot 3A is subdivided into two lots, with an 11,755 square feet proposed public Alley Right of Way located on the northwest rear corner of the proposed Lot 1. This projected is located within the General Residential and Hailey Townsite Zoning Districts. **ACTION ITEM***

Horowitz corrected error on agenda, stating this is the Business and Townsite Zoning District. Horowitz turned floor over to Michelle Griffith. Griffith explained the need for the Lot Line Adjustment. No questions from the commissioners, all are good with the project. Chair Fugate confirmed sidewalks will be 8 ft.

6:37 PM Chair Fugate opened public comment.

No comment.

6:38 PM Chair Fugate closed public comment.

6:38 PM Stone motioned to approve the Preliminary Plat Application for Blaine Manor Subdivision by ARCH Community Housing Trust and Blaine County located at 706 South Main Street (Lot 3A, Block 1, Wertheimer Park, finding that the Application meets all City Standards, and that Conditions (a) through (j) are met. Scanlon seconded. All in Favor.

Smith asked Horowitz if the grading plan will come between this and the final plat. Horowitz confirmed and also had a detailed grading plan in the design review.

PH 5 Consideration of a Design Review Application by Blaine County, 1,720 square foot new two-story mixed-use building to consist of a 288 square foot office and 572 square foot storage on the first floor and an 860 square foot one-bedroom residential unit on the second floor. This project is located at 302 S 1st Avenue (Lot 13A, Block 22, Hailey Townsite), within the Transitional (T) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM. THIS ITEM WILL BE CONTINUED TO MAY 4, 2020.**

PH 6 Consideration of a Design Review Application by Kevin and Stefanie McMinn represented by Owen Scanlon Architects, for a new two story with basement mixed use building to consist of a 2,312 square foot dental office located on the first floor and two two-bedroom residential units on the second floor for a total of 1,633 square feet with a 1,512 square foot basement, with a total of eight parking stalls. This projected is located at 801 N 1st Avenue (Lot 2, Block 1, Taylor Subdivision) within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. **ACTION ITEM. THIS ITEM WILL BE CONTINUED TO MAY 4, 2020**

6:41 PM Smith motioned to continue Public Hearing 5 and Public Hearing 6 as stated in the agenda of April 20, 2020 to May 4, 2020. seconded. All in Favor.

Staff Reports and Discussion

- SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.
- Hailey Construction Guidelines
- SR 2** Discussion of the next Planning and Zoning meeting: May 4, 2020.
- DR: Tanner Investments, Woodside Block 86
 - DR: Blaine County ADU
 - DR: McMinn

Horowitz provided update on construction resuming and businesses reopening in Hailey.

6:46 PM Scanlon motioned to adjourn. Smith seconded. All in Favor.

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Tuesday, September 8, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: [tel:+15713173122,,506287589#](tel:+15713173122,506287589#)

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Present

Commission: Janet Fugate, Dan Smith, Dustin Stone, Owen Scanlon, Richard Pogue

Staff: Lisa Horowitz, Robyn Davis, Jessie Parker

[5:30:19 PM](#) Chair Fugate called to order.

[5:30:26 PM](#) Public Comment for items not on the agenda. No comment.

Consent Agenda

[CA 1](#) Adoption of the Meeting Minutes from the May 4, 2020 PZ hearing. **ACTION ITEM.**

[CA 2](#) Adoption of the Meeting Minutes from the May 18, 2020 PZ hearing. **ACTION ITEM.**

[CA 3](#) Adoption of the Meeting Minutes from the May 28, 2020 PZ hearing. **ACTION ITEM.**

[CA 4](#) Adoption of the Meeting Minutes from the June 1, 2020 PZ hearing. **ACTION ITEM.**

[CA 5](#) Adoption of the Meeting Minutes from the June 15, 2020 PZ hearing. **ACTION ITEM.**

[CA 6](#) Adoption of the Meeting Minutes from the June 29, 2020 PZ hearing. **ACTION ITEM.**

[CA 7](#) Adoption of the Meeting Minutes from the July 20 2020 PZ hearing. **ACTION ITEM.**

[CA 8](#) Adoption of the Meeting Minutes from the August 3, 2020 PZ hearing. **ACTION ITEM.**

[CA 9](#) Adoption of the Meeting Minutes from the August 17, 2020 PZ hearing. **ACTION ITEM.**

[CA 10](#) Adoption of Findings of Fact, Conclusions of Law and Decision of a Hillside Site Alteration Permit Application by Brush and Amber Carpenter, represented by Chip Maguire of M.O.D.E., LLC, for the addition of an outdoor patio space and four (4) foot high retaining wall to a single-family residence. This project would encroach a depth of approximately six (6) feet into the Hillside Overlay Boundary, and is to be located on Lot 8, Block 8, Old Cutters Subdivision (1121 East Myrtle Street). **ACTION ITEM.**

[CA 11](#) Adoption of the Time Extension for Design Review Application submitted by McDonald's Corporation and Kyle Inc./#13380 DBA Valley Food Services, Inc. to extend until spring of 2021. **ACTION ITEM.**

[5:31:19 PM](#) Chair Fugate requested to pull CA 11, CA 7 and CA 3.

[5:32:13 PM](#) Pogue motioned to approve CA 1, CA 2, CA 4, CA 5, CA 6, CA 8, CA 9 and CA 10. Scanlon seconded. All in Favor.

[5:32:57 PM](#) Smith motioned to approve CA 3. Pogue seconded. Chair Fugate abstained. Scanlon, Pogue, Stone, and Smith all in favor.

[5:33:47 PM](#) Pogue motioned to approve CA 7. Stone seconded. Scanlon abstained. Stone, Smith, Fugate and Pogue all in Favor.

[5:34:21 PM](#) Chair Fugate asked commission if has any concerns regarding CA 11. All in agreement, no concerns.

[5:35:10 PM](#) Scanlon motioned to approve CA 11. Pogue seconded. All in Favor.

Public Hearing

PH 1 [5:35:57 PM](#) *Consideration of a flood hazard development permit for a preliminary plat of Lot 38, Little Indio subdivision. The proposed project consists of a two (2) lot subdivision containing some regulatory floodplain. The eastern portion of Lot 1 within the proposed subdivision is partially located in the Special Flood Hazard Area (SFHA) of FIRM Panel 0664E, dated November 26, 2010. The existing FIRM shows an AH zone with an elevation of 5310 feet, in the vicinity of the subdivision. **ACTION ITEM.***

[5:36:37 PM](#) Horowitz explained Flood Hazard Development Permit was delayed, but they heard the preliminary plat at the last hearing. Horowitz noted the conditions are under section 11 of the FHDP Memo. Horowitz confirmed all noticing requirements have been met at this time. Chair Fugate asked commissioners if they have any questions. [5:38:59 PM](#) Stone clarified that this is the remaining paperwork needed from the preliminary plat [5:39:40 PM](#) Smith noted error in elevation listed and on the first page, end of first paragraph is missing part of the sentence.

[5:40:52 PM](#) Chair Fugate opened public comment.

No Comment.

[5:41:20 PM](#) Chair Fugate closed public comment.

[5:42:40 PM](#) Smith motioned to approve the flood hazard development permit for a two (2) lot subdivision containing some regulatory floodplain. The eastern portion of Lot 1 within the proposed subdivision is partially located in the Special Flood Hazard Area (SFHA) of FIRM Panel 0664E, dated November 26, 2010, as modified to include conditions A-H of the permit. Pogue seconded. All in Favor.

PH 2 [5:44:37 PM](#) *Consideration of a Preliminary Plat Application submitted by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 W Bullion) is subdivided into two lots, Lot 1, 12,704 square feet and Lot 2, 11,335 square feet, within General Residential (GR) and FP Overlay Zoning Districts, the Preliminary Plat of Little Indio south Subdivision. **ACTION ITEM.***

[5:45:25 PM](#) Chair Fugate noted she did not see any major changes other than the conditions discussed at the last meeting. Horowitz confirmed that was the only change, change to condition j. Chair Fugate asked commissioners if they had any questions. No questions.

[5:46:52 PM](#) Chair Fugate opened public comment.

No Comment.

[5:47:10 PM](#) Chair Fugate closed public comment.

[5:47:20 PM](#) Scanlon motioned to approve the Preliminary Plat Application submitted by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 W Bullion) is subdivided into two lots, Lot 1 and Lot 2, located within General Residential (GR) Zoning District, finding that the Application meets all City Standards, and that Conditions (a) through (o) are met, as amended to include located within the Flood Plain District. Smith seconded. All in Favor.

PH 3 [5:49:39 PM](#) *Consideration of a Conditional Use Permit submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Dr (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District. **ACTION ITEM.***

[5:49:31 PM](#) Smith recused himself from this public hearing.

[5:50:50 PM](#) Davis introduced project, summarizing this is application for an approval for a temporary storage that the applicant plans to use until they can proceed with building the new residence. Smith confirmed that is a correct. [5:52:45 PM](#) Scanlon asked if part of an HOA that requires the building to be anchored. Smith confirmed no HOA, not required but the structure is on skids sitting on. [5:53:22 PM](#) Stone asked about the yellow box drawn onto staff report. Davis explained it is showing where the applicant is accessing the property. Smith clarified reason for access point is due to a berm. [5:54:23 PM](#) Pogue has no questions.

[5:54:34 PM](#) Chair Fugate opened to public comment.

No Comment.

[5:54:53 PM](#) Chair Fugate closed public comment.

No concerns by the commission.

[5:55:35 PM](#) Scanlon motioned to approve the Conditional Use Permit Application submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Drive (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District, finding that the application meets each of the criteria for review cited in the Hailey Municipal Code, that the Conditional Use Permit complies with the Comprehensive Plan, and that conditions (a) through (d) are met. Stone seconded. All in Favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **September 21, 2020**

- DR: River Street Apartments

Davis noted upcoming hearing and project to be heard that day. Horowitz provided update on Quigley and Sunbeam subdivisions. [6:00:13 PM](#) Horowitz noted commission may be seeing change from 1 year to 2 year deadline on the final plats. [6:00:50 PM](#) Horowitz noted that our department has been spending a lot of time on enforcement issues. Davis noted that the Marriott hotel is moving along, hoping to have certificate of occupancy by mid-November. Chair Fugate asked about status of Forest Service Building. Horowitz explained nothing is finalized, summarizing suggestion made by public works. Smith asked about Kings location. Horowitz noted Grocery Outlet should be picking up their permit soon and will be replacing two dead trees. Horowitz confirmed Silver River apartments are moving rapidly. Horowitz stated will be bringing ADU draft to P&Z's second hearing in October. [6:06:05 PM](#) Smith suggested review of parking requirements under the DRO. Commission and staff discussed suggestion of waiting to see how the two new projects operate when completed. Horowitz provided status update on various projects going on within City of Hailey.

[6:14:03 PM](#) Smith motioned to adjourn. Pogue seconded. All in favor.

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On September 8, 2020, the Hailey Planning and Zoning Commission considered a Conditional Use Permit submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Drive (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on August 19, 2020 and mailed to property owners within 300 feet on August 18, 2020. Notice was posted onsite on August 28, 2020.

Application & Background: Dan and Stephany Smith, owners of Lot 5A, Sawmill AM (321 Sawmill Drive) requested and received approval of a Conditional Use Permit Application for a 240 square foot temporary storage shed, to be located at the northeast corner of the subject parcel. Pursuant Section 17.05.040: District Use Matrix, no accessory structure shall be constructed without a primary use being lawfully established. At this time, the parcel is vacant; however, the owners plan to construct a single-family residence on the parcel(s) in the near future.

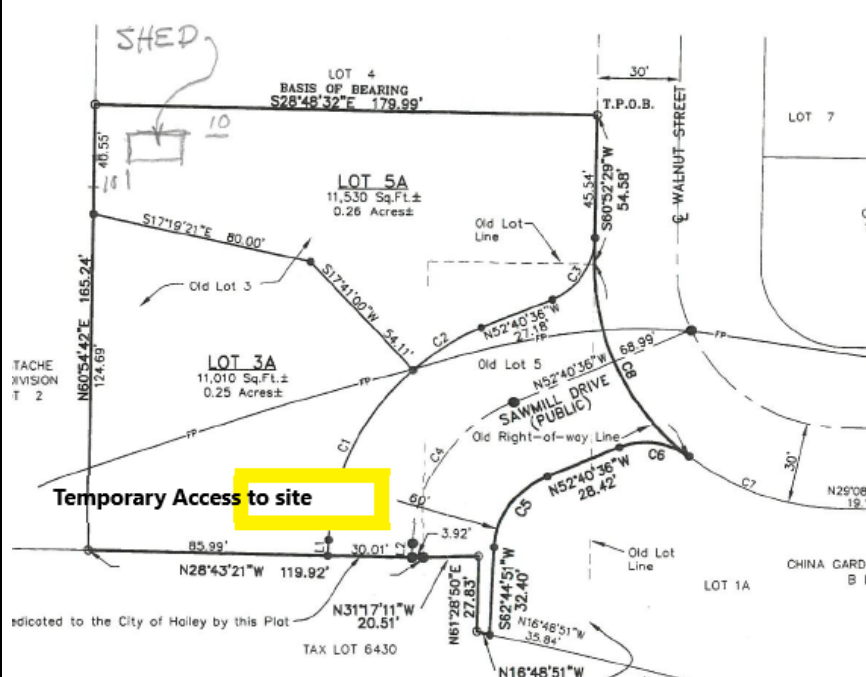
Once construction is complete, the temporary storage shed will become an accessory structure, thereby negating the need for an active Conditional Use Permit. Pursuant Section 17.07.010(H): Accessory Structures, an Accessory Structure larger than 120 square feet shall submit and receive approval for a Building Permit, and all setbacks of the zoning district shall be met. The owners have submitted a Building Permit, as the shed is larger than 120 square feet; however, review and approval of the permit will not occur until approval or denial of the project is made by the Commission.

Procedural History: The Conditional Use Permit Application was submitted on July 21, 2020 and certified complete on August 18, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on September 8, 2020, in the Hailey City Council Chambers.


General Requirements for all Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.020	<p>Complete Application:</p> <p>17.11.020 The application shall include at least the following information:</p> <ul style="list-style-type: none">a. Name, address, and phone number of the applicant.b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement.c. Legal description of the subject property, including street address.d. Description of existing use.e. Zoning district of subject property.f. Description of proposed conditional use.g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B

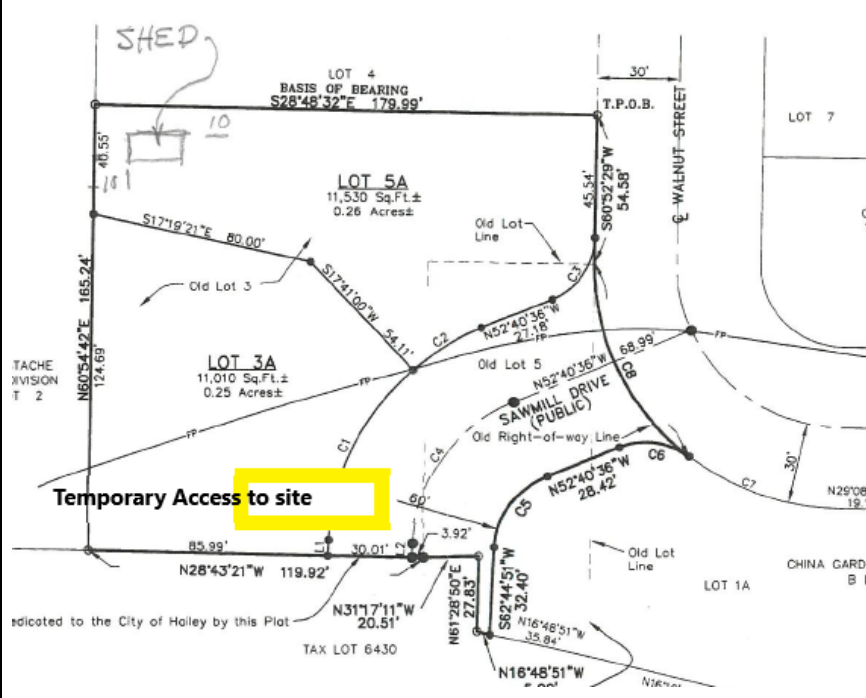
				<p>of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable.</p> <p>h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property.</p> <p>i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district.</p> <p>j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan.</p> <p>k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered.</p> <p>l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article.</p> <p>m. A fee established in a separate ordinance approved by the Council.</p> <p><i>Pursuant Section 17.05.040: District Use Matrix, temporary structures are, or the proposed storage shed is, permitted in the General Residential (GR) Zone District without a primary use, with a Conditional Use Permit. The Commission found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering: No concerns at this time</p> <p>Life/Safety: No concerns at this time</p> <p>Water and Sewer: No concerns at this time</p> <p>Building: No concerns at this time</p> <p>Streets: No concerns at this time</p> <p>Parks: No concerns at this time</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	No signage is proposed at this time; however, any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <p>a) All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1) Overlighting; 2) Energy waste; 3) Glare; 4) Light Trespass; 5) Skyglow. <p>b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p>

				<p>c) Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator.</p> <p>d) All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in subsection 17.08C.040.02, Type of Luminaires, of this Chapter.</p>
			<i>Staff Comments</i>	<i>N/A, as no exterior lighting is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p> <p>One (1) space is required for every 1,000 square feet of building</p>
			<i>Staff Comments</i>	<p><i>N/A, as the parcel is vacant at this time. The temporary storage shed will be utilized for the storage of household items (i.e. lawnmower and other associated equipment, tools, and other housing items.). The owners have plans to construct a single-family residence on the parcel(s) in the near future. The temporary storage shed is intended to provide additional storage for the owners while their home is being built.</i></p> <p><i>City Staff concludes that no onsite parking, until the residence is constructed, is required nor necessary at this time. The Commission found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(B)	<p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p>
			<i>Staff Comments</i>	<i>N/A, as the site is not serviced by an alley and this is intended for a single-family residence.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(C)	<p>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<i>N/A, as the site is not serviced by an alley and the parcel is vacant. The owners intend to construct a single-family residence on the parcels and have not established ingress/egress at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(D)	<p>D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.</p>
			<i>Staff Comments</i>	<i>No onsite parking is proposed. The temporary storage shed can be accessed via Sawmill Drive or by Walnut Street; however, the owners utilize a temporary access off of Sawmill Drive. No forms of egress/ingress have been delineated at time, as the parcels are vacant and the owners are currently working on a site plan for their new home (see the image below for further detail).</i>

				 <p>The Commission found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			Staff Comments	N/A, as the parcel is vacant and a residence has not yet been built.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			Staff Comments	N/A, as the parcel is vacant and a residence has not yet been built.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			Staff Comments	N/A, as the parcel is vacant and a residence has not yet been built.
Chapter 17.11 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.010	Compliance with the Comprehensive Plan 17.11.010: Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.

			<i>Staff Comments</i>	<p><i>This Application complies with the following goals and objectives of the Hailey Comprehensive Plan:</i></p> <p>Goal 8.1 Housing: <i>Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.</i></p> <ul style="list-style-type: none"> <i>This temporary storage shed allows the owners to store household items while they build a new single-family residence in Hailey. The owners also have the ability, given the zone district and lot size, to construct an accessory dwelling unit, if so desired. This accessory dwelling unit could supply rental housing, which there is a need for, to other residents in Hailey.</i> <p><i>The Commission found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(a)	<p>17.11.040.01 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p>
			<i>Staff Comments</i>	<p><i>Pursuant Section 17.05.040: District Use Matrix, temporary structures are, or the proposed storage shed is, permitted in the General Residential (GR) Zone District without a primary use, with a Conditional Use Permit. The Commission found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(b)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Staff Comments</i>	<p><i>Pursuant Section 17.05.040: District Use Matrix, temporary structures are, or the proposed storage shed is, permitted in the General Residential (GR) Zone District without a primary use, with a Conditional Use Permit. The Commission agreed that the proposed storage shed is not a visual burden to the surrounding area and is appropriate in appearance. The Commission also believed the proposed use would not change the essential character of the area. The Commission found this standard to be met.</i></p>

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(c)	c. Will not be hazardous or disturbing to existing or future neighboring uses;
			Staff Comments	<p><i>The proposed structure will not pose hazardous or disturbing conditions to neighboring uses. Its intent is to provide securely store household items while the owners build their home on the parcels.</i></p> <p><i>Vehicular traffic accessing the temporary storage shed can be accessed via Sawmill Drive or by Walnut Street; however, the owners utilize a temporary access off of Sawmill Drive. No forms of egress/ingress have been delineated at time, as the parcels are vacant and the owners are currently working on a site plan for their new home (see the image below for further detail).</i></p>

				 <p>The Commission does not anticipate that traffic volumes will be much greater than existing volumes based on other single-family residences near the subject parcel. The Commission found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p> <p><i>Staff Comments</i> It appears the site can be adequately served by essential public facilities and services. The Commission found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.11.040.01(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p> <p><i>Staff Comments</i> N/A, as no additional cost will be incurred from any public agencies for this facility to function and operate.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p> <p><i>Staff Comments</i> No externalities are anticipated by this use. The Commission found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(g)	<p>g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;</p>

			<i>Staff Comments</i>	<i>Vehicular traffic accessing the temporary storage shed can be accessed via Sawmill Drive or by Walnut Street; however, the owners utilize a temporary access off of Sawmill Drive. No forms of egress/ingress have been delineated at time, as the parcels are vacant and the owners are currently working on a site plan for their new home. These approaches do not interfere with traffic on the surrounding streets. The Commission found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(h)	h. Will not result in the destruction, loss or damage of a natural, scenic or historic feature.
			<i>Staff Comments</i>	<i>The subject parcel does not contain a natural, scenic, historic features or structure(s). The Commission feels the proposed temporary structure does not change the essential character of the area and that this standard has been met.</i>

17.11.060 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 17.11.060(A) Require conformity to approved plans and specifications.
- 17.11.060(B) Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.
- 17.11.060(C) Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.
- 17.11.060(D) Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.
- 17.11.060(E) Limit time of day for the conduct of specified activities.
- 17.11.060(F) Require guarantees such as performance bonds or other security for compliance with the terms of the approval.
- 17.11.060(G) Require dedications and public improvements on property frontages.
- 17.11.060(H) Require irrigation ditches, laterals, and canals to be covered or fenced.
- 17.11.060(I) Minimize adverse impact on other development.
- 17.11.060(J) Control the sequence, timing and duration of development.
- 17.11.060(K) Assure that development is maintained properly.
- 17.11.060(L) Designate the exact location and nature of development.
- 17.11.060(M) Require the provision for on-site or off-site public services.
- 17.11.060(N) Require more restrictive standards than those generally found in this Ordinance.
- 17.11.060(O) Mitigate foreseeable social, economic, fiscal and environmental effects.
- 17.11.060(P) Set a limit on the duration of the permit when deemed necessary.
- 17.11.060(Q) Allow for subsequent periodic review.

Summary: Section 17.11.010 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 17.11.090 of the Hailey Municipal Code. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any Conditional Use Permit approved by the Commission.

By ordinance, the Commission is required to decide to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 17.11 of the Zoning Ordinance, in making their decision.

The Commission should make Findings of Fact related to the criteria of Section 17.11, (a) through (q).

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1) Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
- 2) The project is in general conformance with the Hailey Comprehensive Plan.
- 3) The project does not jeopardize the health, safety, or welfare of the public.
- 4) Upon compliance with the conditions set forth, the project conforms to the applicable standards of, Chapter 17.11, Conditional Use, and other Chapters of the Zoning Ordinance and City Standards.

DECISION

The Conditional Use Permit Application submitted by Dan and Stephany Smith for a 240 square foot temporary storage shed to be located at 321 Sawmill Drive (Lot 5A, Sawmill AM) within the General Residential (GR) Zoning District, was hereby approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Chapter 17.11, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (d) are met:

- a) All Fire Department and Building Department requirements shall be met with regard to all maintenance, administrative, and other functions of this facility.
- b) The temporary storage shed is approved for a maximum of twelve (12) months from the date of the Findings of Fact. The storage shed may remain onsite after the expiration of the twelve (12) month period so long as a Building Permit Application has been approved for the new single-family residence to be located on Lot 5A, Sawmill AM.
- c) No additional structures are permitted onsite until the completion of the single-family residence.
- d) All weeds, noxious and all others, shall be controlled according to State Law. The site shall also be maintained (i.e. mowed, trimmed, watered) to minimize negative impacts to the surrounding area.

Signed this ____ day of _____, 2020.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On September 8, 2020, the Hailey Planning and Zoning Commission considered the Short Plat Application by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 West Bullion) is subdivided into two lots, Lot 1 comprising of 12,704 square feet and Lot 2 comprising of 11,335 square feet, within General Residential (GR) and Floodplain (FP) Zoning Districts.

The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Background: The Applicant is proposing to develop an existing 24,038 square foot lot into two (2) lots. The current lot fronts Bullion Street. Two existing older dwellings are located on the property and will remain in the subdivision. The existing cabin on Lot 1 is nonconforming. Various outbuildings adjacent to the new property line will need to be relocated.

Little Indio is a complicated area served by a variety of substandard streets. Lots are oddly shaped and many properties are not served by municipal water and sewer service. This project proposes access from a private driveway, adjacent to the “platted” Little Indio private street. In reality, the drivable surface for Little Indio Private Street is partially located on the new private driveway. To rebuild the Little Indio Private Street in its proper location would require significant effort: relocation of power poles and power lines, as well as fences.

Technically, this proposed subdivision conforms to code with regards to access and should not be burdened by the inaccurate location of Little Indio Private Street. From a practical standpoint, all the neighbors will need to work together (as they have been) to provide for access, snow plowing, etc.

Procedural History: The Application was certified complete on July 22, 2020. A public hearing before the Planning and Zoning Commission was held on August 17, 2020. Due to a noticing error, the item was continued on the record to September 8, 2020. A public hearing before the Planning and Zoning Commission was held on September 8, 2020, and was approved. The approval or denial of the Flood Hazard Development Permit Application associated with the same parcels, was also held and approved on September 8, 2020, in the Hailey City Council Chambers.

Notice: Notice for the public hearing was published in the Idaho Mountain Express on July 29, 2020 and mailed to property owners within 300 feet on July 27, 2020.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general

				provisions of the Comprehensive Plan.
			<i>Staff Comments</i>	<i>The two-lot subdivision generally meets city standards.</i>
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
			<i>Staff Comments</i>	<i>No comments from streets. The rear lot is accessed via a shared public access and utility easement across the front lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			<i>Staff Comments</i>	<i>Alignment appears safe for existing and anticipated vehicular traffic. Adjacent to the street is a substandard private street, Little Indio Lane. This street is not impacted by the proposed two-lot subdivision. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			<i>Staff Comments</i>	<i>N/A-no streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for

				an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm Water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L.	Private Streets:
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.

			<i>Staff Comments</i>	<i>No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or other all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>A driveway (shared access and utility easement) is proposed to access the single rear lot. Both lots are accessed via a single shared driveway. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a. Accessing one residential unit: twelve feet (12’) b. Accessing two residential units: sixteen feet (16’) No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			<i>Staff</i>	<i>The proposed access and utility easement containing the driveway is 18’ in width.</i>

			<i>Comments</i>	<i>All-weather surface is suggested as a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>N/A, as the driveway is less than 150 feet in length.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>The easement is a dedicated access easement. The beneficiary is Lot 1, which appears clear on the plat. A note should be added stating that the easement is unbuildable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			<i>Staff Comments</i>	<i>The driveway does not appear to have any impact on existing infrastructure or residential dwelling units. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>N/A</i>
16.04.060: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable city standards, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>A sidewalk in lieu fee is recommended by Public Works.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The fee will be calculated according to this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			<i>Staff Comments</i>	<i>Sidewalks are planned from River Street to Hop Porter Park as part of the River Street grant. However, the intervening area is not programmed for sidewalks at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

			<i>Staff Comments</i>	<i>A sidewalk in lieu fee is recommended by Public Works.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			<i>Staff Comments</i>	N/A
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Alleys:
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			<i>Staff Comments</i>	<i>Proposed utilities and water and sewer mains identified on submitted plans are underground. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			<i>Staff Comments</i>	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			<i>Staff Comments</i>	<i>A partial street as shown is adequate for infrastructure location. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
			<i>Staff Comments</i>	<i>No additional easements have been identified at this time. The Commission found that this standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			<i>Staff Comments</i>	<i>N/A, as the subject property does not border Big Wood River.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			<i>Staff Comments</i>	<i>N/A, as the subject property does not border Big Wood River.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			<i>Staff Comments</i>	<i>Snow storage calculations were met as part of the Design Review approval. The Commission found that this standard has been met.</i>

16.04.050: Blocks

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			<i>Staff Comments</i>	<i>The proposed subdivision meets this standard. The Commission found that this standard has been met.</i>

16.04.060: Lots

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			<i>Staff Comments</i>	<i>This standard has been met. The proposed lots meet the minimum lot size of 6,000 square feet:</i> <ul style="list-style-type: none"> Lot 1: 12,704 square feet

				<ul style="list-style-type: none"> Lot 2: 11,335 square feet <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p>
			Staff Comments	<p><i>Due to the existing nonconforming building(s) on Lot 1 and the inability to meet the minimum lot sizes of the zoning district, if further subdivided, it is unlikely the parcels will be further subdivided. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p>
			Staff Comments	<p><i>The existing lot, Lot 38, is a double frontage lot (frontage off Bullion Street and Little Indio Lane). This will not change with the creation of proposed Lot 2.</i></p> <p><i>Little Indio Lane is a private street and its width varies. Per a recent site visit, it was noted that Little Indio Lane runs along the western portion of proposed Lot 1 and Lot 2, or within the proposed Public Access and Utility Easement. Due to vegetation and an existing power pole/line, access to the platted Little Indio Lane cannot be completed without significant reconstruction. Due to this, the Commission agreed that a landscape buffer between the street and the proposed lots is unnecessary. The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p>
			Staff Comments	<p><i>N/A, as no unbuildable lots are proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area, but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p>
			Staff Comments	<p><i>N/A, as no flag lots are proposed.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under subsection 16.04.020M2 of this Chapter and section D of this Chapter. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p>
			Staff Comments	<p><i>Proposed Lot 1 and Lot 2 have frontage on either a public or private street. Lot 1 has frontage on Little Indio Lane and Lot 2 has frontage on either Little Indio Lane or Bullion Street. Currently, Lot 2 is addressed off Bullion Street. A shared driveway</i></p>

				<i>exists from Little Indio Lane. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A, as the site does not abut an alley.</i>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: <ol style="list-style-type: none"> 1. Provision of on-site or off-site street or intersection improvements. 2. Provision of other off-site improvements. 3. Dedications and/or public improvements on property frontages. 4. Dedication or provision of parks or green space. 5. Provision of public service facilities. 6. Construction of flood control canals or devices. 7. Provisions for ongoing maintenance.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact: <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. The commission and council may require that any or all contiguous parcels be included in the subdivision.

			Staff Comments	<i>The proposed Lot 1 and Lot 2 are owned by the Applicant and are shown on the Preliminary Plat. It would be possible to divide proposed Lot 1 one more time if the existing house were removed. Planning Staff has added a Condition of Approval addressing that possibility with regards to respecting the platting pattern of Hailey's original townsite. The Commission found that this standard has been met.</i>
16.04.080: Perimeter Walls, Gates and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			Staff Comments	<i>N/A, as no perimeter gate or wall is proposed.</i>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	<i>N/A, as grading has been developed for proposed Lot 1 and Lot 2.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: 1. Proposed contours at a maximum of two (2) foot contour intervals; 2. Cut and fill banks in pad elevations; 3. Drainage patterns; 4. Areas where trees and/or natural vegetation will be preserved; 5. Location of all street and utility improvements including driveways to building envelopes; and 6. Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			Staff Comments	<i>N/A, as grading has been developed for proposed Lot 1 and Lot 2.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	<i>N/A, as grading has been developed for proposed Lot 1 and Lot 2.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff	<i>N/A, as grading has been developed for proposed Lot 1 and Lot 2.</i>

			Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	N/A, as grading has been developed for proposed Lot 1 and Lot 2.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a. Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b. Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c. Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d. Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e. Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	N/A, as cuts, fills or other excavation are not proposed at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the city engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			Staff Comments	N/A

16.04.100: Overlay Districts

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			Staff Comments	Proposed Lot 1 is located within the Floodplain. A Flood Hazard Development Permit Application has been submitted and was approved at the September 8, 2020 public hearing. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			Staff Comments	Proposed Lot 1 is located within the Floodplain. A Flood Hazard Development Permit Application has been submitted and was approved at the September 8, 2020 public hearing. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.

			Staff Comments	<p>A Building Envelope has been identified on the plat for proposed Lot 1.</p> <p>A Flood Hazard Development Permit Application has been submitted and was approved at the September 8, 2020 public hearing. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
			Staff Comments	N/A, as the proposed lots are not located within the Hillside Overlay (HO) Zone District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			Staff Comments	N/A, as the proposed lots are not located within the Hillside Overlay (HO) Zone District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			Staff Comments	N/A, as the proposed lots are not located within the Hillside Overlay (HO) Zone District.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			Staff Comments	This has been made a Condition of Approval.
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>$P = x \text{ multiplied by } .0277$</p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations</p>
			Staff Comments	N/A, as the subdivision proposed is for two (2) lots.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			Staff Comments	N/A, as the subdivision is located within the General Residential (GR) Zone District and the subdivision proposed is for two (2) lots.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on city property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			Staff Comments	No sidewalks exist in the area. Sidewalks are planned from River Street to Hop Porter Park as part of the River Street grant. However, the intervening area is not programmed for sidewalks at this time. A sidewalk in lieu fee is recommended by Public Works. This has been made a Condition of Approval.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly: <ol style="list-style-type: none"> 1. By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or 2. By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), 3. Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. 4. Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	N/A, as all proposed lots are under one ownership (German/Haag) and are included in the proposal.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of this section. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	N/A
			D.	Minimum Requirements:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			Staff Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog

				station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan, or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements of Subsection D of this section.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff</i>	N/A

			<i>Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drainways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	Shall require low maintenance, or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by subsection D of this section.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by subsection D of this section.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	In-Lieu Contributions:
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.

			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E.4 and E.5 of this ordinance. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	N/A
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<i>Staff Comments</i>	<i>Upon approval, six (6) copies of all plans will be filed with the City Engineer. All other requirements of this section will be enforced by the City Engineer or designee.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff</i>	N/A

			<i>Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the city engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>The Developer is hereby required to guarantee all improvement pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City Engineer.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the city engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix, and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>None of these improvements are required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Street cuts for the installation of the water and sewer line connections shall be per this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>N/A, as signage is existing and in place.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as no street lights are proposed and/or needed.</i>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the city engineer for review and approval. At the city engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Wastewater connections are shown on the plans and are acceptable to the Wastewater Division. Much of Little Indio is still not served by municipal services. In the future, a sewer line will be needed through this area to serve Little Indio. The Commission agreed that the sewer line should not be the responsibility of this project. The Commission found that this standard has been met.</i>
16.05.040: Water Connections				

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the city engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the city engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			Staff Comments	Water connections are shown on the plans and are acceptable to the Water Division. Much of Little Indio is still not served by municipal services. In the future, a sewer line will be needed through this area to serve Little Indio. The Commission agreed that the sewer line should not be the responsibility of this project. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A, as the proposed parcels are not located within the Townsite Overlay (TO) Zone District.
16.05.050: Drainage				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.050	Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the city engineer or his authorized representative. (Ord. 1191, 2015)
			Staff Comments	No drainage improvements are required at this time. Drainage will be reviewed upon the development or redevelopment of each lot. The Commission found that this standard has been met.
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			Staff Comments	This will be required at the time of construction. Additionally, all utilities shall be installed underground. The Commission found that this standard has been met.
16.05.070: Parks, Green Space				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			Staff Comments	Please refer to Section 16.04.110 noted herein. The Commission found that this standard has been met.
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the city engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			Staff Comments	The Developer is hereby advised that all improvements shall be installed according to City Standards and are subject to inspection at any time. If improvements are not

				<i>satisfactory to the City Engineer or his designee, the Developer will be required to repair or replace them at their own cost.</i>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer, and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the city engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			<i>Staff Comments</i>	<i>The Developer is hereby advised that all improvements shall be installed according to City Standards and are subject to inspection at any time. If improvements are not satisfactory to the City Engineer or his designee, the Developer will be required to repair or replace them at their own cost.</i> <i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Completion of all major infrastructure by the Developer is preferred over bonding.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the city engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The Developer is hereby advised that three (3) sets of “as-built plans and specifications” certified by the Developer’s engineer, shall be filed with the City Engineer prior to acceptance by the City of Hailey.</i>

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission, on a unanimous vote, makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Zoning Ordinance and City Standards.

DECISION

The Short Plat Application by Jesse German and Taryn Haag, represented by Galena Engineering, where Lot 38, Little Indio Subdivision (415 West Bullion) is subdivided into two lots, Lot 1 comprising of 12,704 square feet and Lot 2 comprising of 11,335 square feet, within General Residential (GR) Zoning District and Floodplain (FP) Zoning Districts, is hereby approved, provided conditions (a) through (o) are met:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Chapter 16.05 and 16.08 of the Subdivision Title. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the improvements:
 - i. Final water and sewer design shall be approved by the Public Works Department.
- c) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to subsections 16.03.030(I) and 16.05.090(B) of the Subdivision Title, prior to recordation of the final plat.
- d) Sidewalks are required or a payment in-lieu shall be made, as outlined in the Hailey Municipal Code. Said payment shall be made prior to recordation of Final Plat.
- e) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Title 16, Section 16.02.080 of the Hailey Municipal Code.
- f) Any reconfiguration or further subdivision of Lot 1 shall follow the traditional lot and block platting patterns, with parallel lot lines and access to the street from all lots.
- g) The Public Access and Utility Easement containing the driveway shall be made of an all-weather surface.
- h) A plat note shall be added stating that the shared access easement is unbuildable.
- i) Outbuildings adjacent to the new property line between Lots 1 and 2 shall be relocated to meet setbacks.
- j) The existing nonconforming residences on proposed Lot 1 and Lot 2 shall be allowed to remain. Future expansion shall be as per City Code.
- k) Additions to the existing buildings on proposed Lots 1 and 2 shall trigger the relocation of power service to an underground service.
- l) The final plat must be submitted within one (1) calendar year from the date of approval of the preliminary plat, unless otherwise allowed for within a phasing agreement.
- m) Any subdivision inspection fees due shall be paid prior to recording the final plat.
- n) Any application development impact fees shall be paid prior to recording the final plat.
- o) The floodplain development permit shall be approved prior to Commission approval of this plat.

Findings of Fact approved this 21st day of September, 2020.

Janet Fugate, Planning and Zoning Commission Chair

Attest:

Jessie Parker, Community Development Administrative Assistant

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of September 21, 2020

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Design Review Application by Leonard McIntosh and Edward Ayub - Trustee for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B), Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO). The proposal also includes: twelve (12) parking spaces, four (4), three-bedroom accessible units and eight (8), two-bedroom accessible units.

Hearing: September 21, 2020

Applicant: Leonard McIntosh and Edward Ayub – Trustee

Request: Design Review approval for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments

Location: 410 North River Street (Lots 14-17, Block 56, Hailey Townsite)

Zoning: Business (B), Townsite Overlay (TO), Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on September 2, 2020 and mailed to property owners within 300 feet on September 2, 2020.

Application: Leonard McIntosh and Edward Ayub – Trustee have submitted a Design Review Application for a twelve (12) unit residential project, two stories in height, to be known as River Street Apartments. The proposed project will be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), within the Business (B) and Townsite Overlay (TO) Zoning Districts, and the Downtown Residential Overlay (DRO) and Small Residential Overlay (SRO). The Applicant has chosen to meet the DRO Standards, as outlined in the Hailey Municipal Code.

Additionally, the dwellings have been designed by indieDwell, a company striving to “transform the status quo by creating a socially conscious business model that enhances the well-being of humanity...”. indieDwell’s mission is to repurpose shipping containers into compact dwellings, creating a small footprint, sustainable and energy efficient homes, which help to solve current housing issues.

The proposed project will consist of:

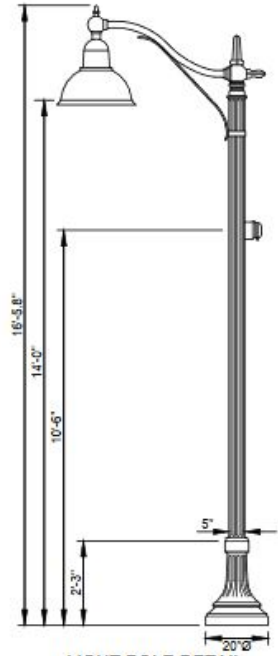
- Twelve (12) onsite, covered parking spaces
- Four (4), three-bedroom accessible units (960 square feet in size)
- Eight (8), two-bedroom accessible units (640 square feet in size)
- Eighteen (18) bicycle parking spaces
- Approximately 1,470 square feet of common useable open space

On August 17, 2020, the Planning and Zoning Commission reviewed the Design Review Pre-Application for River Street Apartments. The Commission neither approved nor denied the proposal, but suggested that the Applicant Team consider the following:

- **Building Design, Materials and Colors:** The Commission suggested that the Applicant Team utilize more color on the exterior of the building, as well as consider having the shed roofs run in opposite directions. The Applicant Team's utilization of exterior materials and colors, and roof design, are described herein.
- **Dwelling Unit Sizes and Total Bedrooms:** The Commission suggested that the Applicant Team consider removing the fourth bedroom from the four-bedroom units in Building A, as the Commissioners concurred that parking could be problematic. The Applicant Team has removed the fourth bedroom from the four-bedroom units and is proposing four, three-bedroom units in Building A, approximately 960 square feet in size.
- **Bicycle Racks:** The Commission suggested that the Applicant Team add more bicycle racks to the site. The Applicant Team has added six (6) additional bicycle racks onsite in the form of three (3) lockable hoops to match the other racks within the development,
- **Streets/Right-of-Ways:** The Commission suggested that the Applicant provide irrigation to all landscaping, including street trees. Electrical shall also be installed (for street tree lights and any street lights) during construction.
- **Landscaping and Street Trees:** Drought tolerant trees, grasses, shrubs and groundcover are proposed. Further details of the Landscape Plan and comments/recommendations from the Hailey Tree Committee are described herein.
- **Mountain Rides Bus Transit Stop:** The Commission discussed the need for a transit stop nearby. Mountain Rides Transportation Authority (MRTA) and the Commission agreed that this location is an ideal location for a bus transit stop; however, both understand the need for parking within the area is important, and MRTA can go without a transit stop. Planning Staff agreed and while no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties. This has been made a Condition of Approval.

Procedural History: A Design Review Pre-Application public hearing before the Planning and Zoning Commission of the project was held on August 17, 2020, in the Hailey City Council Chambers. The Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on September 21, 2020, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering: <i>No comments at this time.</i></p> <p>Life/Safety: <i>No comments at this time.</i></p> <p>Streets, Water & Wastewater: <i>The Public Works Department recommends that the following items be resolved at final design:</i></p> <ul style="list-style-type: none"> - <i>The Streets Division would like the following provided prior to issuance of a Building Permit:</i> <ul style="list-style-type: none"> o <i>The street lighting proposed in the public right-of-way shall be per City Standards. It is encouraged that the light poles be centered within the landscape strip and that each pole be similar to the existing street lighting throughout Hailey (see image below). The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department at a later date. This has been made a Condition of Approval.</i> <p>New York Cast Aluminum Extruded post w/ 20" Base BHC Series Roadway Arm Eurotique Hanover Pendant</p> <p>DETAILS</p> <p>Hanover Pendant 3 LED S25MA 4K GCF Mvolt R3 1DS ANDG] 2 LED In Ballast Housing Wattage: 63 LED S25MA 4K CCT Glass, Clear Flat (Standard) III (120-277V) Type III</p> <p>tion Device: None Shield: Decorative Shield ie Dark Green A: 1.68 eight: 60</p> <p>MOUNTING BRACKET Roadway Arm, Oriented at 180 degrees. (DGI) 45" 1 Way Arm eter: X.X" top clamp @X.X" bottom clamp @ Receptacle: None : None vice: Plumbing Device ie Dark Green 50 27</p> <p>Extruded Post w/20" Base FS 3TS ANDG MP3126A]</p> <p>: 20" Base ast (Actual Height: 14'-0") FS 5" Diameter Fluted, 224 wall Anchor Bolts Tail Tenon acle: None ug: None ie Dark Green .9671875 : 62</p>  <p>LIGHT POLE DETAIL N.T.S.</p> <ul style="list-style-type: none"> o <i>A detailed electrical plan for street trees, and exterior lighting shall be submitted and approved prior to issuance of a Building Permit. This has been made a Condition of Approval.</i> o <i>A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to</i>

				<p>issuance of a Building Permit. This has been made a Condition of Approval.</p> <ul style="list-style-type: none"> ○ Street tree well designs differ from Civil set to Architectural set. All plan sheets shall be updated with accurate Street tree well designs per City Standards. This shall be updated prior to issuance of a Building Permit. This has been made a Condition of Approval. ○ Alley cuts shall be cleaned up. Rather than cutting the alley/repairing it in pieces, cut and repair a larger area. It is preferred that the Applicant repair/repave the alley between property lines and if the total area of asphalt removed exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year. This has been made a Condition of Approval. ○ Winter parking restrictions are in the area. The Applicant shall install appropriate signage. This has been made a Condition of Approval. <ul style="list-style-type: none"> - The Water Division recommends that all existing, unused services be abandoned. This has been made a Condition of Approval. - The Wastewater Division would prefer to see the Applicant connect to one, six-inch (6”) sewer service at the center of the lot and branch off to serve Buildings A, B & C. This has been made a Condition of Approval.
				<p>Building: No comments</p> <p>City Arborist: The Hailey Tree Committee met on August 13, 2020 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design with the following recommendations:</p> <ul style="list-style-type: none"> - Install three (3) Greenspire Linden Trees with drip irrigation within the sidewalk on River Street and in front of the River Street Apartments at 410 North River Street. <p>The Landscape Plan has been updated to reflect the Hailey Tree Committee's recommendation; thereby, no Condition of Approval is needed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			Staff Comments	<p>N/A, as no signage is proposed as this time. Any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p>
			Staff Comments	<p>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</p> <p>The project is comprised of three (3) apartment buildings (A, B and C) with a total of twelve (12) residential units. The site plan shows a total of 12 onsite parking spaces, of which, two (2) parking spaces are accessible parking spaces. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or three (3) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of two (2) spaces as compact spaces.</p>

				<p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and off-street parking along River Street. Twelve (12) off-street parking spaces are proposed (along River Street).</i></p> <p><i>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions to winter parking within the public right-of-way. This has been made a Condition of Approval.</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>
			Staff Comments	<p><i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<p><i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. Light fixture samples have been submitted.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Business (B) and Townsite Overlay (TO) Zoning Districts:</p>
			Staff Comments	<p><i>Building Height:</i></p> <ul style="list-style-type: none"> - Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40'). - Proposed Building Height: 25'-6" <p><i>Building Setbacks:</i></p>

				<ul style="list-style-type: none"> - Permitted Setbacks: <ul style="list-style-type: none"> o Front Yard: 0' o Side Yards: 0' o Rear Yard: 0' - Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard (River Street): 5' o Side Yard (north): 5' o Side Yard (south): 5' o Rear Yard (alley): 5' <p><i>All setback and building height requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<p>A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments.</p> <p>The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>This standard will be met.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<i>The building is primarily oriented along an east/west axis to maximize sun exposure for the apartments. Buildings A and C also parallel River Street, with the primary entrances off of River Street. The buildings form a small courtyard between Buildings A and C, and behind Building C, and open to the south. This</i>


				<i>communal outdoor area creates a gathering space - equipped with picnic tables, benches, landscaping and shade trees and bicycle racks -- that is usable by residents and can safely be accessed from the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> N/A, as no existing plant material exists onsite. Please Refer to Section 17.06.080(A)4d for further details regarding the proposed Landscape Plan, Plant Materials List and locations of proposed trees.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Site circulation has been designed to keep vehicular access and onsite parking to the existing alley. A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments.</p> <p>The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the existing alley. A trash/recycling enclosure is located off of the alley and screened by an enclosure similar in design to the utility screen walls. The location of the trash enclosure appears to be practical; however, a letter from Clear Creek Disposal commenting on accessibility shall be provided. This has been made a Condition of Approval.</p> <p>Furthermore, a power box is located off of the alley, to the south of the trash enclosure. This power box will be screened by the enclosure.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> The existing alley will be utilized for building services.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> N/A, as no vending machines are proposed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p>


				<p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<p>Onsite parking is located off of the existing alley and to the rear of the building. Prominent entrances to Buildings A and C are proposed along River Street, and all parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</p> <p>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<p>The site is serviced by one public street, River Street. Onsite parking can be accessed from the existing alley at the east end of the property. Primary pedestrian access can be achieved from River Street.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<p>No snow storage areas have been provided onsite, as it is anticipated that snow will be hauled from the site. Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail.</p>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p>

			Staff Comments	<p><i>The proposal is for multi-family buildings (A, B and C) of twelve (12) dwelling units in the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. A variety of homes, single-family and multi-family, as well as commercial spaces, exist. The proposed building designs incorporate a variety of features, such as balconies, awnings, undulation and repeating shed roofs, which give the impression of smaller, human-scale massing, and further complement the designs of the buildings in the surrounding area.</i></p> <p><i>At the Preapplication Design Review Hearing, the Commission suggested that the Applicant Team consider having the shed roofs run in opposite directions. The Applicant considered the suggestion; however, may add solar PV panels to the south-facing shed roofs in the future. Alternative roof lines would impact this amenity.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			Staff Comments	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			Staff Comments	<p><i>The building features street-level material changes, clad in a mix cement panel siding, metal deck roofing and wood screens, which reduces building mass and scale of the buildings. The variation in front façade projection, the articulated rooflines, and the recessed entries also provide additional design variation between Building A and Building C. The proposed buildings incorporate prominent front entries, a communal outdoor space to encourage human activity and interaction, and generous openings to facilitate easy pedestrian circulation.</i></p>  <p><i>A variety of landscaping and plant material will also be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			Staff Comments	<i>The front façades (along River Street) of the buildings occupy most of the street frontage along River Street. Windows, balconies, and awnings emphasize human scale and break up the building surfaces. The building features street-level</i>

				<i>material changes, clad in a mix cement panel siding, metal deck roofing and wood screens, which reduces building mass and scale of the buildings. The scale and design components complement the surrounding area nicely.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as no future additions or renovations are planned at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<p><i>A variety of materials will be used on the exterior of the building. The panel siding will incorporate natural hues: Monterey Taupe and Cobble Stone. Cement panel trim will be in Arctic White and Metal Deck Roofing will be White. Wood screens will be a semitransparent stain, and metal frames and railings will be Dark Bronze. All windows will be White.</i></p> <p><i>The stained wood, cement board siding, joint lines, painted metal structures, metal doors, vinyl windows and composite shingles will contribute to the overall design.</i></p> <p><i>At the Preapplication Design Review Hearing, the Commission suggested that the Applicant Team utilize more color on the exterior of the building. The Applicant Team has incorporated two complementary field colors and two contrasting trim colors; however, the Commission may wish to further discuss the overall color choices for the buildings.</i></p>
				 <p style="text-align: right;">VIEW FROM RIVER STREET</p>

				
				<i>A Materials Sample Board has been provided and will be brought to the hearing.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. Please refer to Section 17.06.080(A)2f for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>The buildings will see balconies, railings and awning structures, which provide architectural design features unique to this development, and provides site-specific identity to the proposed project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> - <i>Solar Orientation: All buildings have been oriented with the long dimension in an east-west axis (30 degrees of true south).</i>

				<ul style="list-style-type: none"> - <i>South Facing Windows with Eave Coverage: All units have 60% total glazing oriented to the south. South-facing glazing is partially shaded from the summer sun by landscaping at the ground floor units, and awnings at the upper floor units.</i> - <i>Double Glazed Windows: All windows will be double-glazed.</i> - <i>Low Emissivity Glazing: Windows are Pella 250 Series with low emissivity glazing.</i> - <i>No earth berming for this site.</i> - <i>All buildings' shed roofs are oriented to the south for possible future installation of solar panels. No PV system is planned at this time.</i> - <i>No exterior light shelves are planned.</i> <p><i>If needed, the Applicant can further describe any of the above methods and/or other alternative energy sources utilized to minimize energy consumption.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i> All proposed pedestrian entrances are covered by low pitched awnings and balconies, which will retain snow. All projecting shed roofs will shed snow into landscaping areas. Building A will utilize snow clips to retain snow over pedestrian areas. It is not anticipated that snow will shed onto walkways and/or other pedestrian areas.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i> Downspouts and drains will be located within landscaped areas, will be connected to drywells, and shall not create any pedestrian hazards.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p><i>Staff Comments</i> N/A, as no vehicle canopies are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p> <p><i>Staff Comments</i> N/A, as no signage is proposed; therefore, no master signage plan is needed.</p>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Staff Comments</i> N/A, as no accessory structures are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p> <p><i>Staff Comments</i> N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the alley, at the rear of the property, and screened on all sides by an enclosure similar in design to the utility screen walls.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p><i>Staff Comments</i> Screen walls are constructed from rot-resistant redwood with a colored stain that is complementary to the color scheme of the buildings. All screen walls are of a</p>

				<i>similar design (utility, outdoor storage, stairs and window screens) and, together, provide a coordinated design feature.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)3c for further detail. Landscaping and buildings are the prominent features on the site. Screen walls are surrounded by vegetation. Syringa Patula (Miss Kim Lilacs), Armstrong Gold Maples, Autumn Jubilee Ninebark, and Goldfinger Potentilla are proposed along the alley side to soften the visual impact.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>The shed roofs have been designed to accommodate future solar PV panels and if installed, shall not detract from the building and its surroundings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the existing alley. A trash/recycling enclosure is located off of the alley and screened by an enclosure similar in design to the utility screen walls. The location of the trash enclosure appears to be practical; however, a letter from Clear Creek Disposal commenting on accessibility shall be provided. This has been made a Condition of Approval.</i> <i>Furthermore, a power box is located off of the alley, to the south of the trash enclosure. This power box will be screened by the enclosure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment. No turf grass is proposed.</i>
			17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p>
			Staff Comments	<i>The Applicant is proposing to utilize a drip irrigation system on a programmable, moisture-sensor system, which will run as necessary to maintain plant health. The Irrigation Plan will be further reviewed at final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>
			Staff Comments	<p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of thirty (30) trees to be planted.</i></p> <p><i>The following trees are proposed to be planted onsite:</i></p> <ul style="list-style-type: none"> - Five (5) Armstrong Gold Maple at three-inch (3") caliper - One (1) Sunburst Locust at three-inch (3") caliper - Seven (7) Moonglow Columnar Juniper at seven to eight feet (7-8') - Three (3) Narrow Norway Spruce at ten to twelve feet (10-12') - Six (6) Swedish Aspen at two-and-one-half inch (2 ½") caliper - Two (2) Columnar English Oak at eight to nine feet (8-9') - Three (3) Pyramidal Arborvitae at six feet (6') - Three (3) Littleleaf Linden at four-inch (4") caliper <p><i>Three (3) street trees are proposed, which include:</i></p> <ul style="list-style-type: none"> - Three (3) Greenspire Lindens at four-inch (4") caliper <p><i>The street trees will be surrounded by 24" Silva Cells 2X, will contain bubbler irrigation, as well as an electrical waterproof Junction Box, as outlined by Title 18: Mobility Design, Chapter 18.14: Standard Drawings, Section 18.14.014F: Tree Well Detail. The River Street Typical Section will also be utilized.</i></p> <p><i>Newly landscaped areas having more than ten (10) trees, a minimum of 10% shall be at least four-inch (4") caliper or three (3) trees in total. The Applicant is proposing a total of six (6) trees (3 onsite and 3 street trees) of four-inch (4") caliper. This requirement has been met.</i></p> <p><i>Additionally, 20% shall be at least three-inch (3") caliper or six (6) trees in total. The Applicant is proposing a total of six (6) trees at three-inch (3") caliper. This requirement has been met.</i></p> <p><i>Twenty percent (20%) shall also be at least two-and-one-half inch (2 ½") caliper. The Applicant is proposing a total of six (6) trees at two-and-one-half inch (2 ½") caliper. This requirement has been met.</i></p>

				<p>Furthermore, a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). The Applicant is proposing seven (7) Moonglow Columnar Juniper. It is recommended that the Applicant remove one (1) of the Moonglow Columnar Junipers to meet this requirement. This has been made a Condition of Approval.</p> <p>Lastly, the Hailey Tree Committee met on August 13, 2020 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design with the following recommendations:</p> <ul style="list-style-type: none"> - Install three (3) Greenspire Linden Trees with drip irrigation within the sidewalk on River Street and in front of the River Street Apartments at 410 North River Street. <p>The Landscape Plan has been updated to reflect the Hailey Tree Committee's recommendation; thereby, no Condition of Approval is needed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Business (B) Zone District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Applicant will be responsible for maintaining plant material in a healthy condition.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed at this time.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	N/A, as no retaining walls are proposed at this time.

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			Staff Comments	The project is located on River Street. The proposed building complements the surrounding area and adjacent uses nicely. The surrounding area and adjacent uses are multi-family, commercial and/or mixed-use. Communal outdoor space has been provided, as well as pedestrian connections to neighboring properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			Staff Comments	Interior and perimeter sidewalks are proposed, as well as a bicycle lane along the property's frontage of River Street. Pedestrian circulation is ample and includes pathways connecting to River Street and the alley, which facilitates access to the dwelling units and onsite parking.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
			Staff Comments	The proposed building has been organized to maximize efficient site circulation. Site circulation has been designed to keep vehicular access and parking to the existing alley and public street (River Street). A new 8.5'-wide sidewalk is shown along the property frontage of River Street. This sidewalk will connect with the new sidewalk along the property frontage of Silver River Apartments. The new sidewalk along River Street has also been delineated by a four (4') foot wide landscape strip. On the west side of the landscape strip, a seven (7') foot wide sidewalk (5' wide concrete path and 2' wide paver path) is proposed. On the east side of the landscape strip, an eight-and-one-half (8.5') foot wide sidewalk is proposed. The proposed perimeter sidewalk will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family

				buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>
General Requirements for the Downtown Residential Overlay District (DRO)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	General Application: The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	Use and Bulk Requirements: Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO). A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The project proposes four (4) dwelling units on the ground floor, parking for each unit and shared storage spaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	Multifamily and Mixed-Use Density: A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.
			<i>Staff Comments</i>	<i>Please refer to the Design Review Standards as noted herein.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>This standard has been met. Units are 640 square feet and 960 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	Parking Spaces, Screening and Storage Requirements: A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building: 1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such. 2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.
			<i>Staff Comments</i>	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i> <i>The project is comprised of three (3) apartment buildings (A, B and C) with a total of twelve (12) residential units. The site plan shows a total of 12 onsite parking spaces, of which, two (2) parking spaces are accessible parking spaces. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or three (3) of the</i>

				<p><i>proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of two (2) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and off-street parking along River Street. Twelve (12) off-street parking spaces are proposed (along River Street).</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p>B. Useable Open Space, Screening and Landscaping:</p> <ol style="list-style-type: none"> 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens. 2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and 3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.
			<i>Staff Comments</i>	<p><i>The total lot area is 14,386 square feet in size. The Applicant is required to provide 1,439 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 1,470 square feet in size.</i></p> <p><i>A landscape buffer between parking areas and residential zoning districts are also required. The Applicant is proposing a landscape buffer along the northern property line, which abuts the Business (B) Zone District, along the eastern property line, which abuts an existing alley, and along the southern property line, which abuts the Business (B) Zone District and Silver River Residences.</i></p> <p><i>Please refer to Section 17.09.020.11 for further details regarding setbacks.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p>C. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access said parking of twenty-two (22') in width.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p>D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>All units are larger than hundred (500) square feet; thereby, onsite storage units are not required. That said, the Applicant is proposing minimal storage between Buildings B and C, as well as ample storage for bicycles. A total of eighteen (18) bicycle spaces are provided, of which, twelve (12) spaces are covered/screened.</i></p>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. **The project does not jeopardize the health, safety or welfare of the public.**
 2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. **Ensure compliance with applicable standards and guidelines.**
 2. **Require conformity to approved plans and specifications.**
 3. **Require security for compliance with the terms of the approval.**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:

- i. If the total area of asphalt removed in the alley exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
 - ii. A detailed electrical plan for street trees, and exterior lighting shall be submitted and approved prior to issuance of a Building Permit.
 - iii. The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department at a later date.
 - iv. Street tree well designs differ from Civil set to Architectural set. All plan sheets shall be updated with accurate Street tree well designs per City Standards. This shall be updated prior to issuance of a Building Permit.
 - v. A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit.
 - vi. The Applicant shall install parking signage that informs and restricts parking in the right-of-way during the winter months.
 - vii. The Applicant shall abandon any existing, unused water services.
 - viii. The Applicant shall utilize one (1), six-inch (6") sewer connection and branch off of this line to service Buildings A, B and C.
-
- d) The Applicant shall remove at least one (1) Moonglow Columnar Juniper tree, as it exceeds the maximum twenty percent (20%) of any single tree species located onsite.
 - e) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
 - f) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure.
 - g) The Applicant shall remove and haul snow from the site, as needed.
 - h) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
 - i) A Lot Line Adjustment Application, to remove the interior lot lines, shall be applied for concurrently with the Building Permit.
 - j) While no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties.
 - k) The Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way.
 - l) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - m) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - n) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

Motion Language

Approval: Motion to approve the Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (n) are met.

Denial: Motion to deny Design Review Application by Leonard McIntosh and Edward Ayub-Trustee for a twelve (12) unit residential project, two stories in height, to be located at 410 North River Street (Lots 14-17, Block 56, Hailey Townsite), finding that _____[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

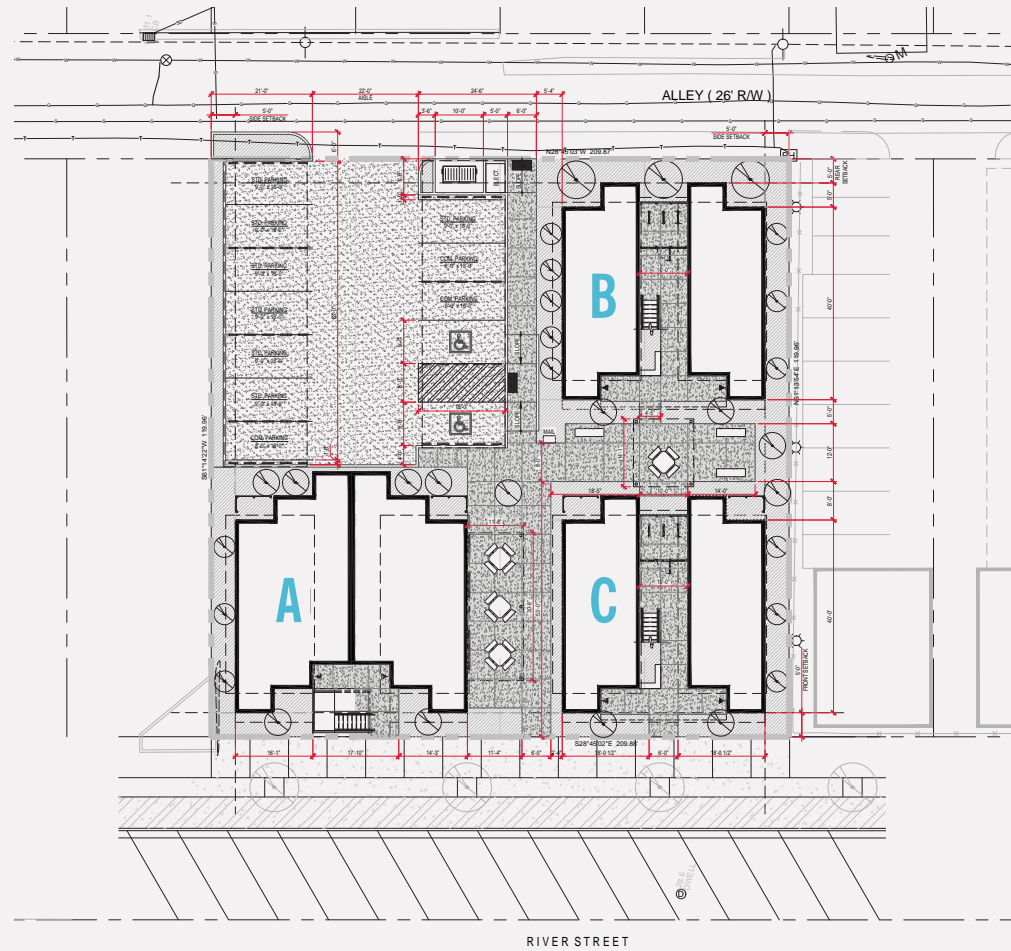
Continuation: Motion to continue the public hearing to _____[Commission should specify a date].



RIVER STREET APARTMENTS
410 RIVER STREET HAILEY, IDAHO
8.26.2020

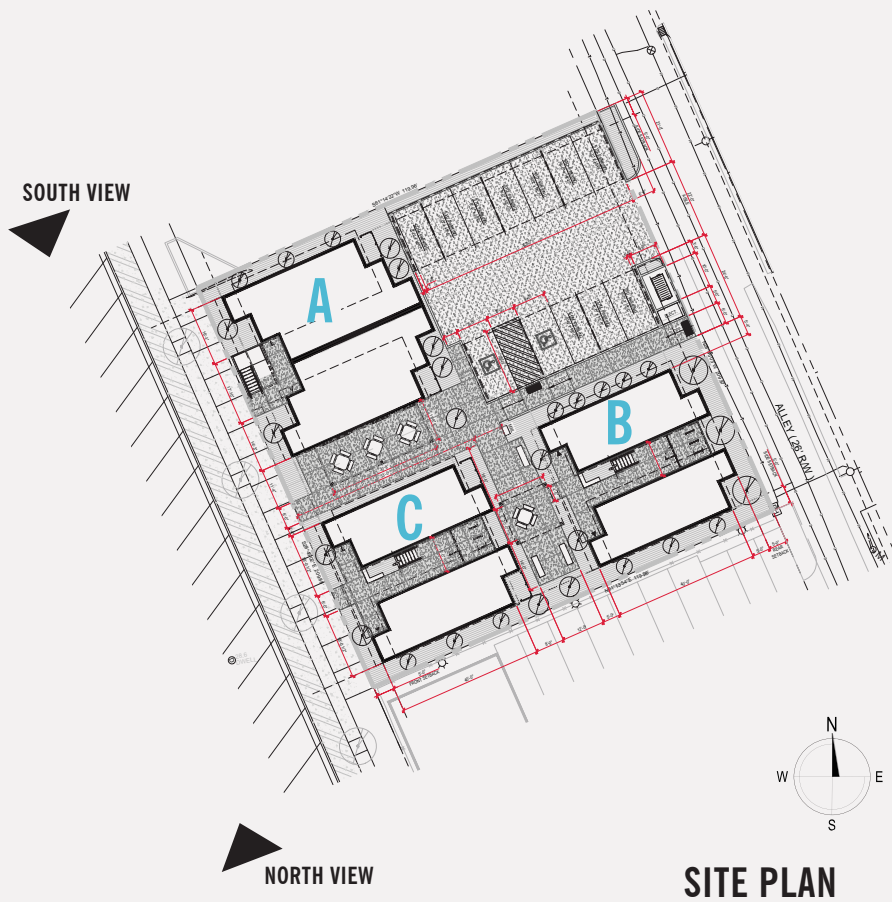
Galena Engineering, Inc.
civil engineering & land surveyors





SITE PLAN **410 RIVER STREET APARTMENTS** 8.26.2020





SITE PLAN
410 RIVER STREET APARTMENTS
 8.26.2020



BYRON W. FOLWELL
 ARCHITECT



RIVER STREET ELEVATION
410 RIVER STREET APARTMENTS
8.26.2020





VIEW LOOKING NORTH

DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





VIEW LOOKING SOUTH

DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





VIEW OF OPEN SPACE

DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





VIEW OF OPEN SPACE

DEVELOPMENT VIEWS
410 RIVER STREET APARTMENTS
8.26.2020





RIVER STREET APARTMENTS

A Multi-Family Infill Development

Block 56 Lots 14-17 Hailey, Idaho 83333



BYRON W. FOLWELL
ARCHITECT

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Fax 208.336.0371
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www.byronfolwell.com

DESIGN
REVIEW



DESIGNERS ARE INSTRUCTED TO CAREFULLY REVIEW THE
CONSTRUCTION DOCUMENTS AND THE ALL OTHERS
INFORMATION REGARDING THE COMPLETE WORK OF
CONSTRUCTION. DESIGNERS SHALL BE RESPONSIBLE FOR
THEIR OWN DESIGN AND SHALL BE ACCURATELY
REPRESENTED BY AFFILIATE TO OTHER THAN COMPLETE
DOCUMENT SETS.

Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	COVER SHEET
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007000
REVISIONS	

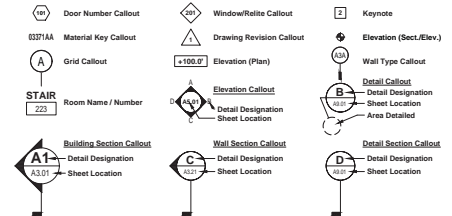
A0.00

VICINITY MAP

NOT TO SCALE.



KEY TO SYMBOLS



SHEET INDEX

GENERAL
A0.00 COVER SHEET

ARCHITECTURAL
A1.00 OVERALL SITE PLAN & VICINITY MAP
A1.01 SITE PLAN
A1.02 SITE LIGHTING PLAN
A1.03 CONSTRUCTION STAGING PLAN

CIVIL
C0.01 COVER SHEET AND DETAIL SHEET
C0.02 DETAIL SHEET
C0.03 DETAIL SHEET
C1.0 SITE GRADING, DRAINAGE, & UTILITY PLAN

LANDSCAPE
L1 LANDSCAPE PLAN

ARCHITECTURAL
A2.01 BUILDING A - FIRST FLOOR PLAN
A2.02 BUILDING A - SECOND FLOOR PLAN
A2.03 BUILDINGS B & C - FIRST FLOOR PLAN
A2.04 BUILDINGS B & C - SECOND FLOOR PLAN

A3.01 BUILDING A - EXTERIOR ELEVATIONS
A3.02 BUILDING A - EXTERIOR ELEVATIONS
A3.03 BUILDINGS B & C - EXTERIOR ELEVATIONS
A3.04 BUILDINGS B & C - EXTERIOR ELEVATIONS

PROJECT TEAM

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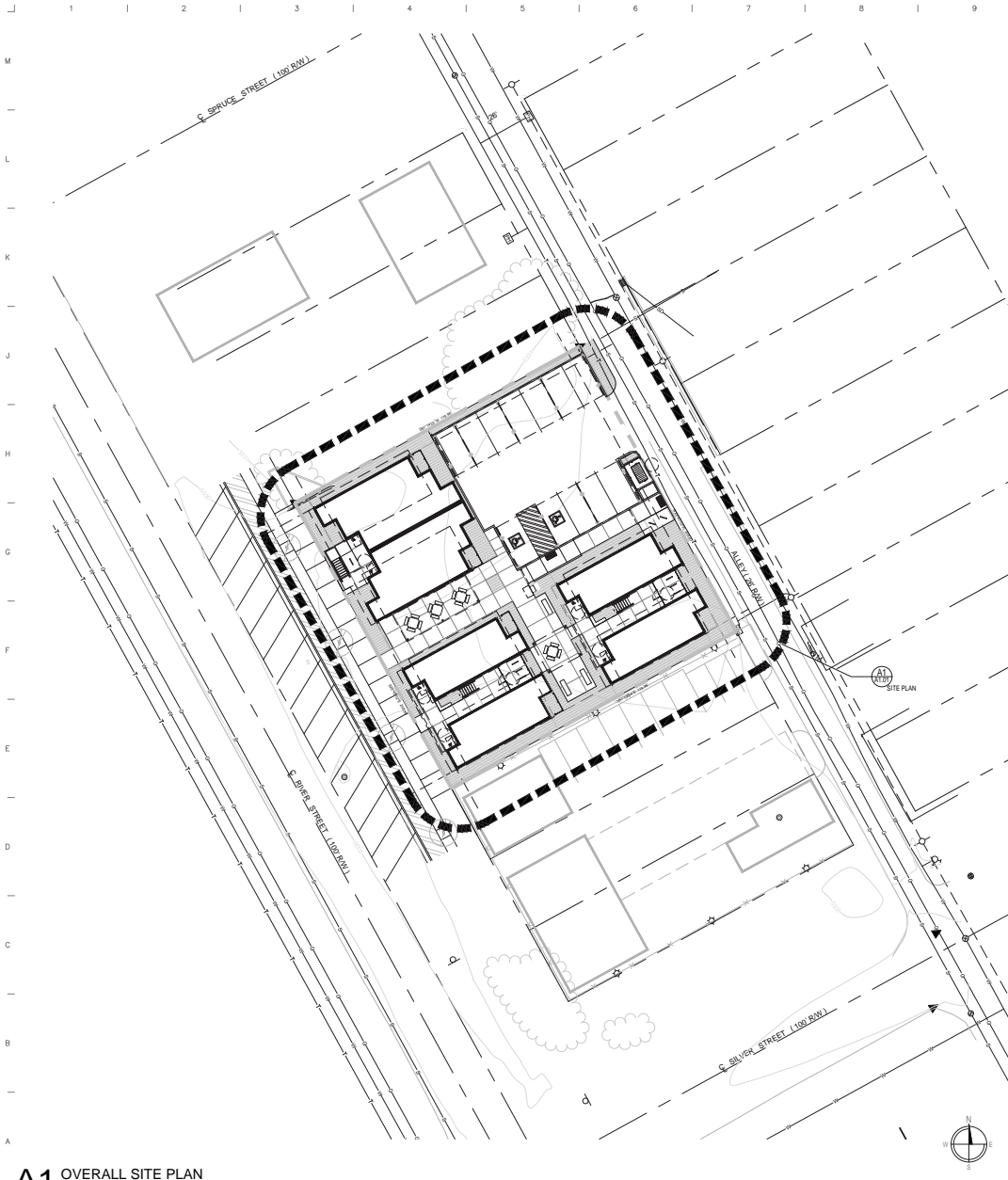
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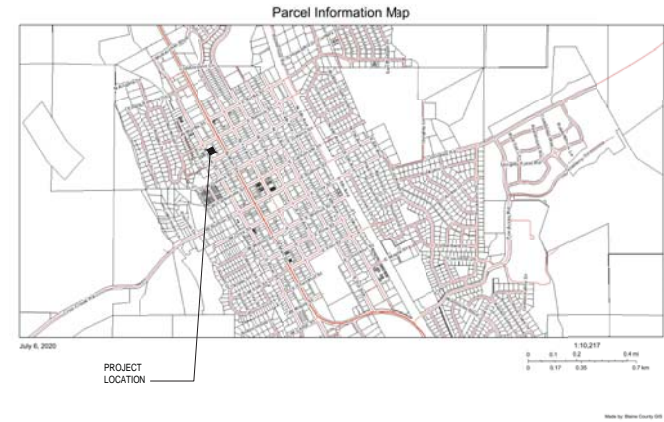
PERMIT INFORMATION

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A1 OVERALL SITE PLAN
SCALE: 1" = 20'-0"

VICINITY MAP



EXISTING SITE PHOTO



PLAN REVIEW



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DESIGN
REVIEW



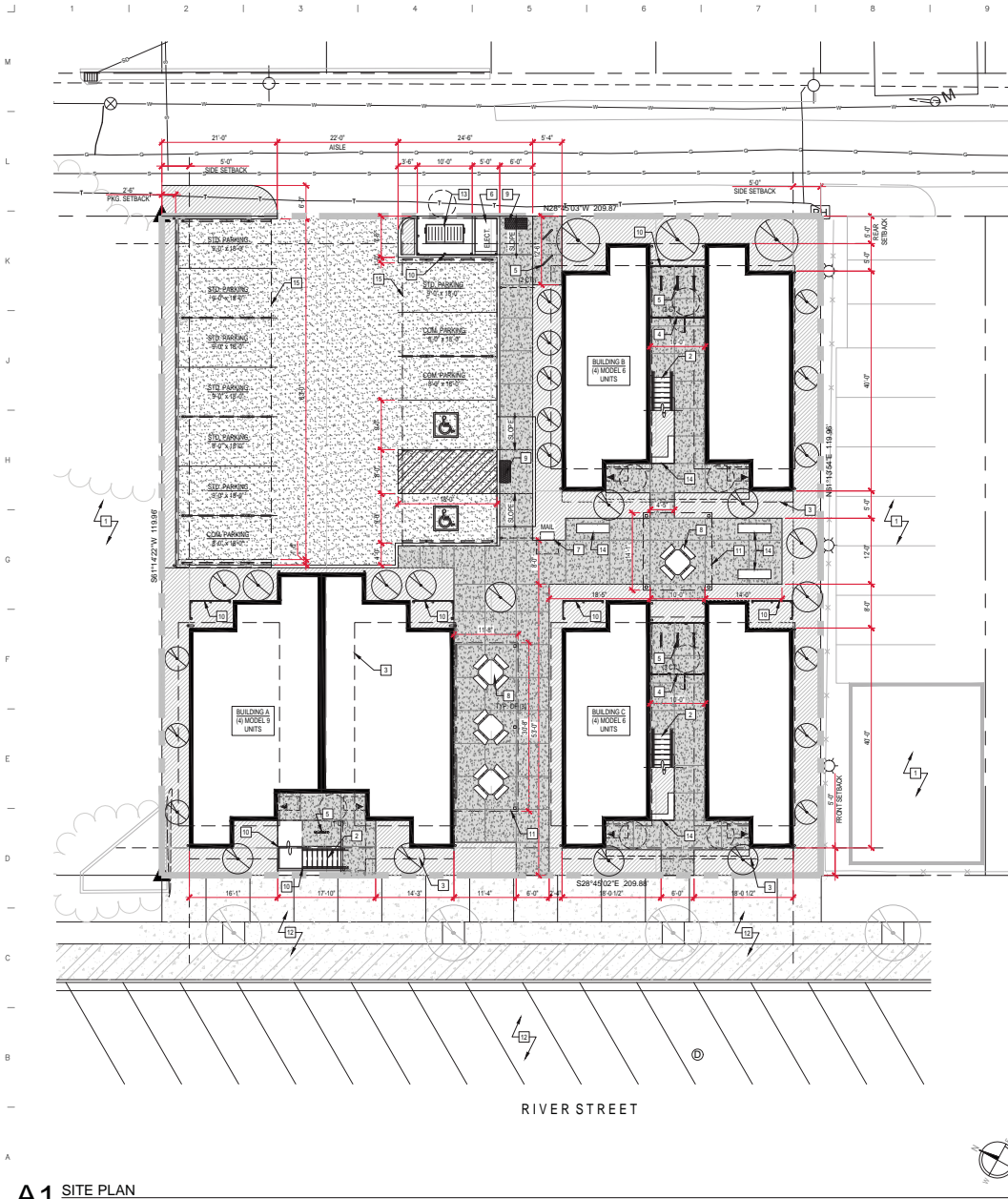
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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	OVERALL SITE PLAN
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007100
REVISIONS	

A1.00



A1 SITE PLAN
SCALE: 1" = 10'-0"

SITE ANALYSIS

LEGAL ADDRESS:	410 N RIVER STREET / HAILEY, ID 83333
SITE DESCRIPTION:	BLOCK 56, LOTS 14-17
DISTRICT(S):	DOWNTOWN RESIDENTIAL OVERLAY DISTRICT (DRO)
TOTAL SITE AREA:	14,386 Sq. Ft. = 33 ACRES
BUILDING AREA:	
BUILDING FOOTPRINT:	4,546 Sq. Ft.
LANDSCAPE AREA:	3,130 Sq. Ft.
CONCRETE PAVED AREA:	2,382 Sq. Ft.
ASPHALT AREA:	3,728 Sq. Ft.
OPEN SPACE:	1,470 Sq. Ft.
BUILDING AREA % OF SITE:	32 %
LANDSCAPE AREA % OF SITE:	21 %
PAVED AREA % OF SITE:	47 %
OPEN SPACE:	10 %

PARKING ANALYSIS

PARKING REQUIRED (HAILEY CITY CODE / SRO DISTRICT REQUIREMENTS):	
DWELLING UNITS:	12
PARKING REQUIRED:	1 PER UNIT = 13 SPACES (UP TO 25% COMPACT)
GUEST SPACES REQUIRED:	1 PER 6 DWELLINGS REQUIRED
ACCESSIBLE PARKING REQUIRED (2009 IBC - SECTION 11, TABLE 1106.1):	
TOTAL PARKING STALLS REQUIRED = 12 STALLS	
TOTAL VAN ACCESSIBLE STALLS REQUIRED = 1 STALL	
TOTAL ACCESSIBLE STALLS REQUIRED = 1 STALL	
PARKING PROVIDED:	
STANDARD = 7 SPACES	
ACCESSIBLE = 1 SPACE	
VAN ACCESSIBLE = 1 SPACE	
COMPACT = 3 SPACES	
GUEST SPACES (OFF-SITE @ RIVER STREET) = 2 SPACES	
TOTAL PARKING STALLS = 12 STALLS	

BUILDING ANALYSIS

BUILDING A	
TOTAL AREA:	3,840 SQ. FT.
FIRST FLOOR:	1,500 SQ. FT.
SECOND FLOOR:	1,500 SQ. FT.
UNIT SIZE:	960 SQ. FT.
UNIT BEDROOMS:	3
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR
BUILDING B	
TOTAL AREA:	2,560 SQ. FT.
FIRST FLOOR:	1,280 SQ. FT.
SECOND FLOOR:	1,280 SQ. FT.
UNIT SIZE:	640 SQ. FT.
UNIT BEDROOMS:	2
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR
BUILDING C	
TOTAL AREA:	2,560 SQ. FT.
FIRST FLOOR:	1,280 SQ. FT.
SECOND FLOOR:	1,280 SQ. FT.
UNIT SIZE:	640 SQ. FT.
UNIT BEDROOMS:	2
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR

REFERENCE NOTES

- EXISTING ADJACENT PROPERTY.
- EXTERIOR METAL STAIR & RAILING.
- DASHED LINE INDICATES LINE OF OVERHEAD METAL AWNING.
- LOCKABLE SECURITY FENCE & GATE W/ EMERGENCY EGRESS PANIC HARDWARE.
- (2) SPACE METAL BIKE RACK HOOP.
- NEW ELECTRICAL TRANSFORMER LOCATION.
- (12) UNIT LOCKABLE EXTERIOR GROUP MAILBOX W/ PARCEL BOX.
- 4 x 4 PIONIC TABLE W/ SURFACE MOUNT HARDWARE.
- VISION IMPAIRED TRUNCATED DOMES MAT.
- 6' 0" TALL WOOD SCREEN, FRAME, & POSTS TO MATCH BUILDING SCREENS. RE: ELEVATIONS.
- COVERED PIONIC TABLE AREA W/ WOOD SLATTED SHADE ROOF.
- PLANNED PUBLIC WAY DEVELOPMENT (SIDEWALKS, BIKE LANE, LANDSCAPING, & PARKING).
- 3-YD. DUMPSTER & ENCLOSURE W/ ACCESSIBLE OPENING AT ALLEY SIDE.
- BENCH SEATING. RE: LANDSCAPE PLAN.
- DASHED LINE INDICATED COVERED PARKING ROOF OVERHEAD.


GENERAL NOTES

- VERIFY LOCATION OF ALL EXISTING ABOVE-GROUND AND UNDERGROUND UTILITIES PRIOR TO START OF WORK.
 - VERIFY ALL EXISTING SLOPES AND DRAINAGE SWALES PRIOR TO START OF WORK.
 - SLOPE CONCRETE SLABS TO DRAINAGE WHERE OCCURS. MAX. SLOPE 1/4" PER FOOT.
 - REFER TO DEMOLITION PLANS FOR ITEMS TO BE REMOVED.
- E. DATUM ELEVATION AT GRADE: 5331.2' = 102'-0". FOR REFERENCE ONLY.

SITE PLAN LEGEND

- PROPERTY LINE.
- LINE OF SETBACK PER INTERNATIONAL BUILDING CODE.
- DASHED LINES INDICATE ADA ACCESSIBLE CLEARANCES PER ICC/ANSI 117.1 REQUIREMENTS.
- NEW TREES. RE: LANDSCAPE DRAWINGS FOR TREES & OTHER LANDSCAPING INFORMATION.
- NEW 3" ASPHALT PAVING W/ 4" COMPACT FILL BELOW.
- LANDSCAPING AREA W/ TREE, SHRUB, GROUND COVER & FLOWERING VARIETIES. DRIP IRRIGATION SYSTEM THROUGHOUT THIS AREA. RE: LANDSCAPE DRAWINGS.
- CONCRETE SLAB IN PUBLIC WAY CONSTRUCTED TO LOCAL REQUIREMENTS.
- NEW 4" CONCRETE SLAB W/ 3" COMPACT FILL BELOW. 12" RADIUS EDGE W/ LIGHT BROOM FINISH. TOOLED AND SAW CUT JOINTS PER PLAN.


PERMIT INFORMATION



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DESIGN REVIEW



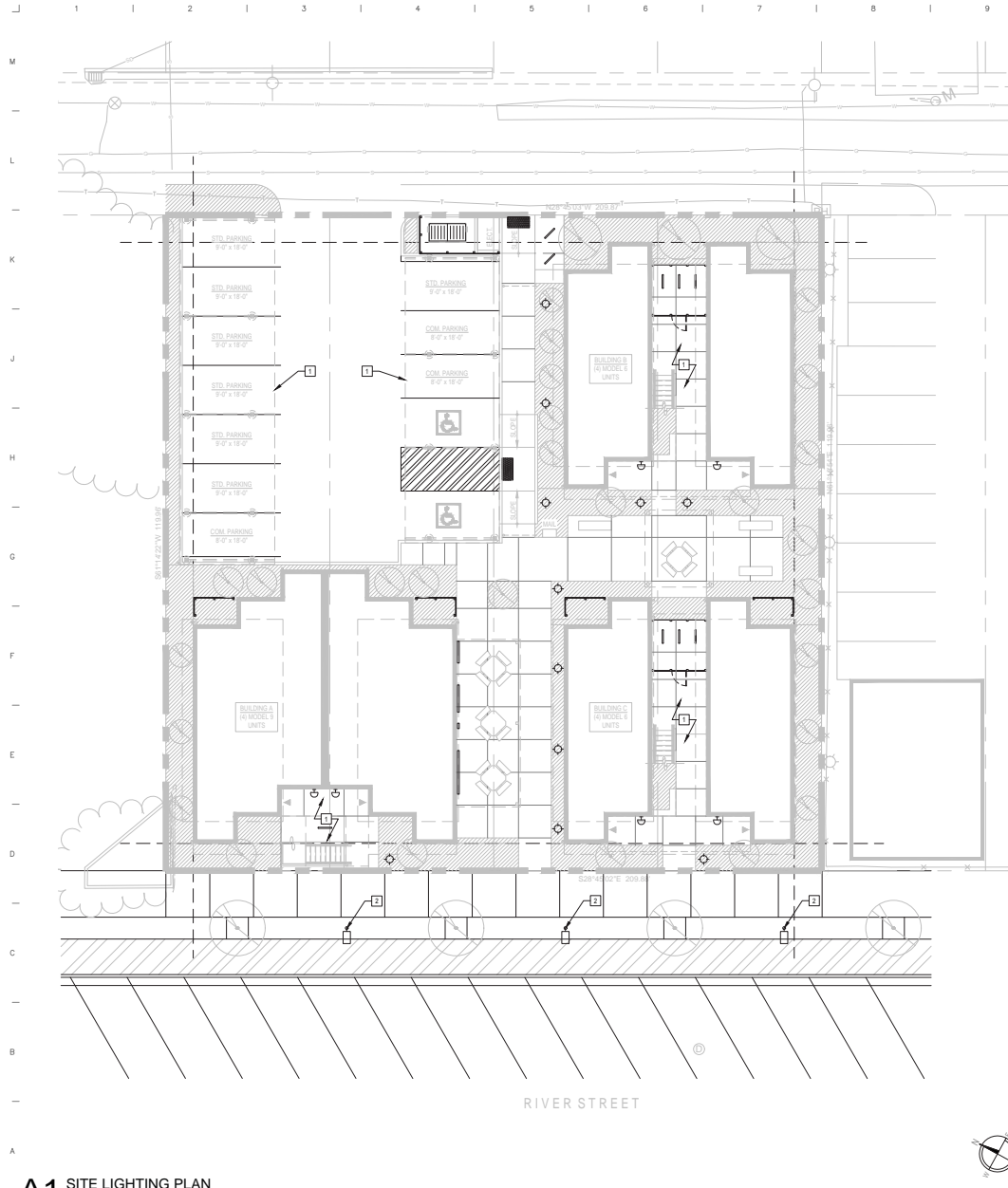
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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	SITE PLAN
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007101
REVISIONS	

A1.01



A1 SITE LIGHTING PLAN
SCALE: 1" = 10'-0"



BOLLARD LIGHTS
HADCO DB30 LED BOLLARD LIGHTS
9.5 watt / 800 LUMENS / 32" TALL
DARK BRONZE FINISH



SCONCE LIGHTS
KICHLER 7" CYLINDER LED WALL SCONCE
DOWNLIGHTING ONLY, 56" MOUNTING HEIGHT.
11 watt / 350 LUMENS
ARCHITECTURAL BRONZE FINISH



BOLLARD LIGHTS
COOPER 'PREVAIL' PFPRV-2 LED POLE LIGHT
POLE HEIGHT & LUMEN OUTPUT
TO MATCH CITY STANDARD

LIGHTING KEY NOTES

1. AREA DOWNLIGHTING IN THIS AREA TO BE SPECIFIED BY ELECTRICAL ENGINEER ACCORDING TO APPLICABLE CODES AND DARK SKY REQUIREMENTS. LIGHTING TO BE CONNECTED TO PHOTOCELL SWITCHING.
2. STREET LIGHTING IN PUBLIC RIGHT-OF-WAY INSTALLED ACCORDING TO LOCAL REQUIREMENTS FOR STREET LIGHTING ALONG RIVER STREET.

LIGHTING LEGEND

SYMBOL	DESCRIPTION
	BOLLARD LANDSCAPE LIGHTING: 32" LIGHTING HEIGHT, DOWNWARD-FACING LOUVERS.
	WALL SCONCE @ 52" A.F.F. MOUNTING HEIGHT, U.D.O.
	POLE-MOUNTED STREET LIGHTING: HEIGHT PER CITY STANDARDS.

PERMIT INFORMATION



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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET
TITLE SITE LIGHTING
PLAN

SCALE AS NOTED

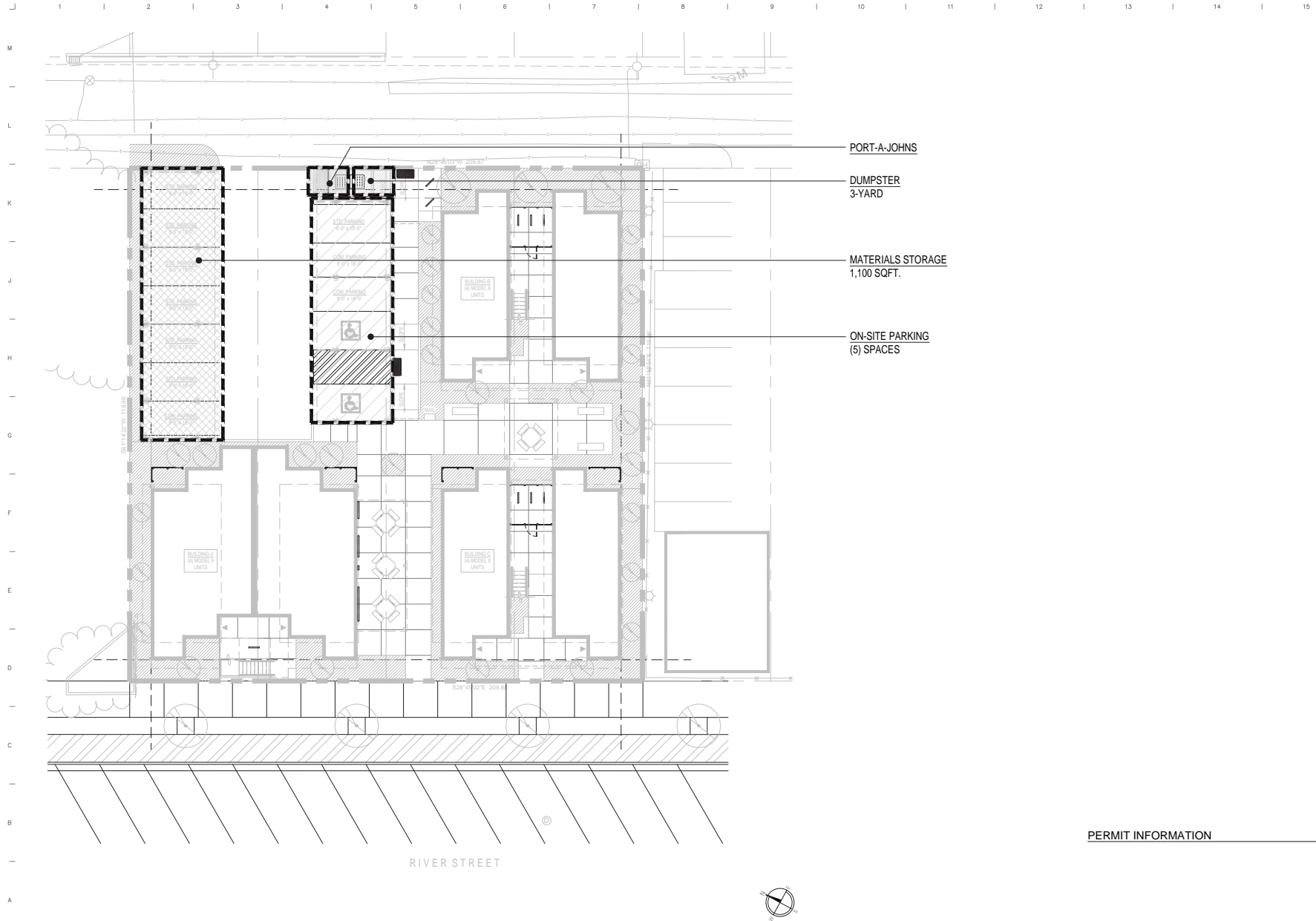
PROJECT
BWF2007

DATE 8/25/2020

FILE
NAME BWF2007102

REVISIONS

A1.02



A1 CONSTRUCTION STAGING PLAN
SCALE: 1" = 10'-0"

PERMIT INFORMATION



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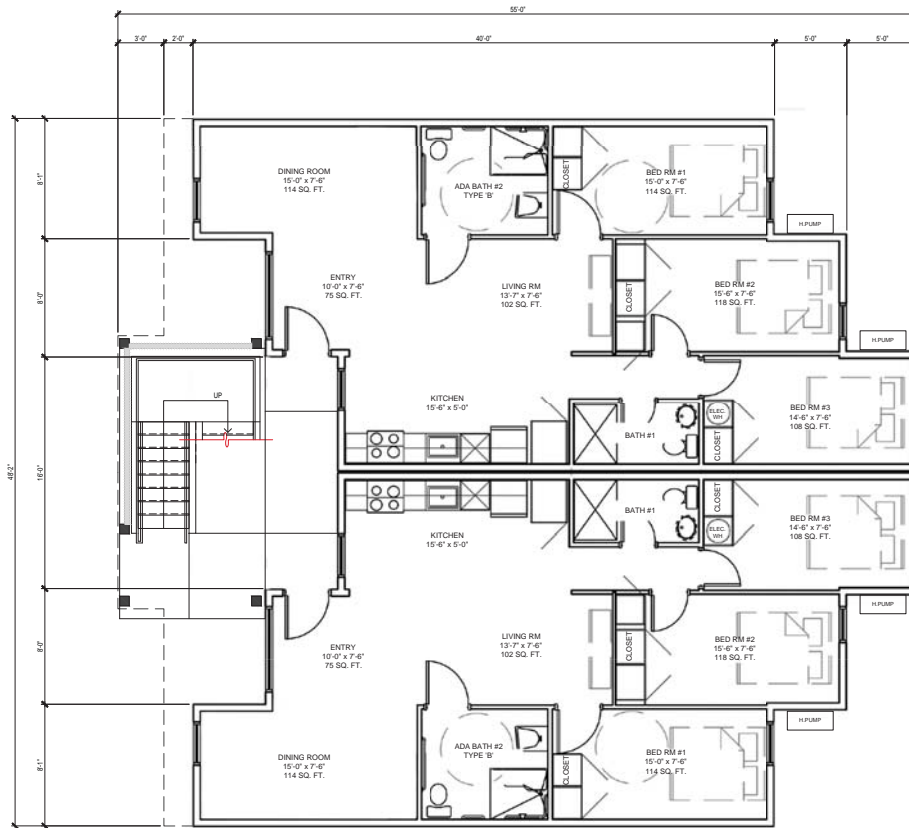
Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	CONSTRUCTION STAGING PLAN
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007103
REVISIONS	

A1.03

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UNIT INFORMATION

STORIES:	2
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
AREAS:	
BUILDING A TOTAL AREA:	3,840 SQ. FT.
FIRST FLOOR:	1,920 SQ. FT.
SECOND FLOOR:	1,920 SQ. FT.
UNIT SIZE:	960 SQ. FT.
UNIT BEDROOMS:	2
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR

MODULAR HOUSING UNITS BY:



PERMIT INFORMATION



A1 FIRST FLOOR PLAN - BUILDING A
SCALE: 1/4" = 1'-0"

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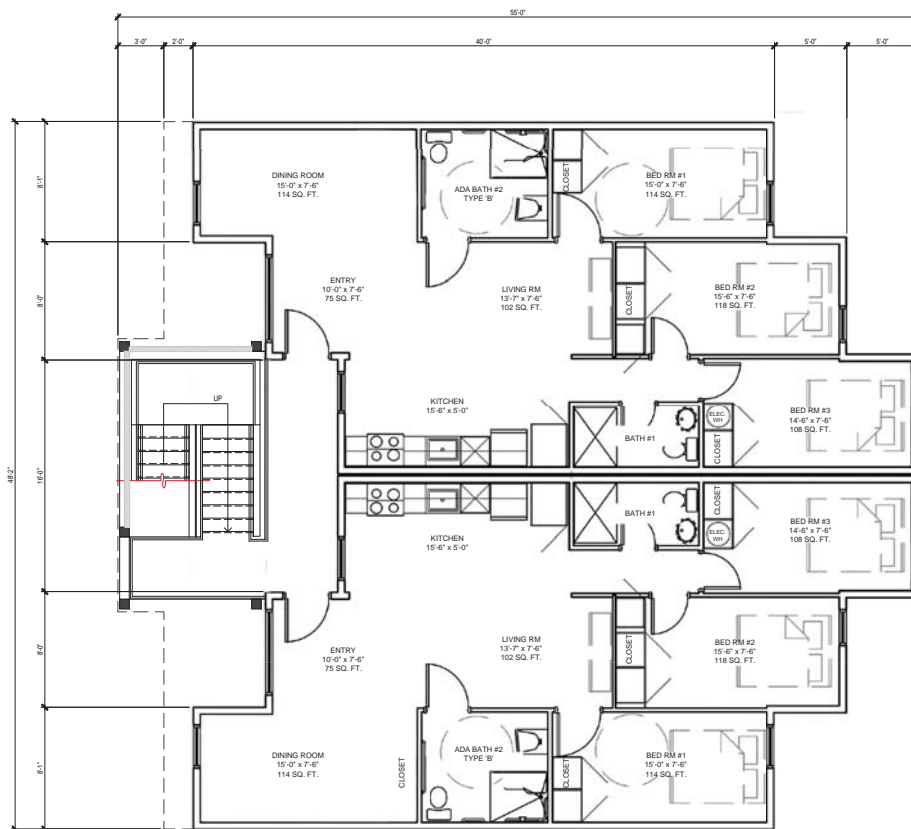
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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	BLDG. A 1st FLOOR PLAN
SCALE	AS NOTED
PROJECT #	BWFF2007
DATE	8/25/2020
FILE NAME	BWFF2007201
REVISIONS	

A2.01



UNIT INFORMATION

STORIES:	2
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
AREAS:	
BUILDING A TOTAL AREA:	3,840 SQ. FT.
FIRST FLOOR:	1,920 SQ. FT.
SECOND FLOOR:	1,920 SQ. FT.
UNIT SIZE:	960 SQ. FT.
UNIT BEDROOMS:	3
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR

MODULAR HOUSING UNITS BY:



PERMIT INFORMATION



A1 SECOND FLOOR PLAN - BUILDING A
 SCALE: 1/4" = 1'-0"

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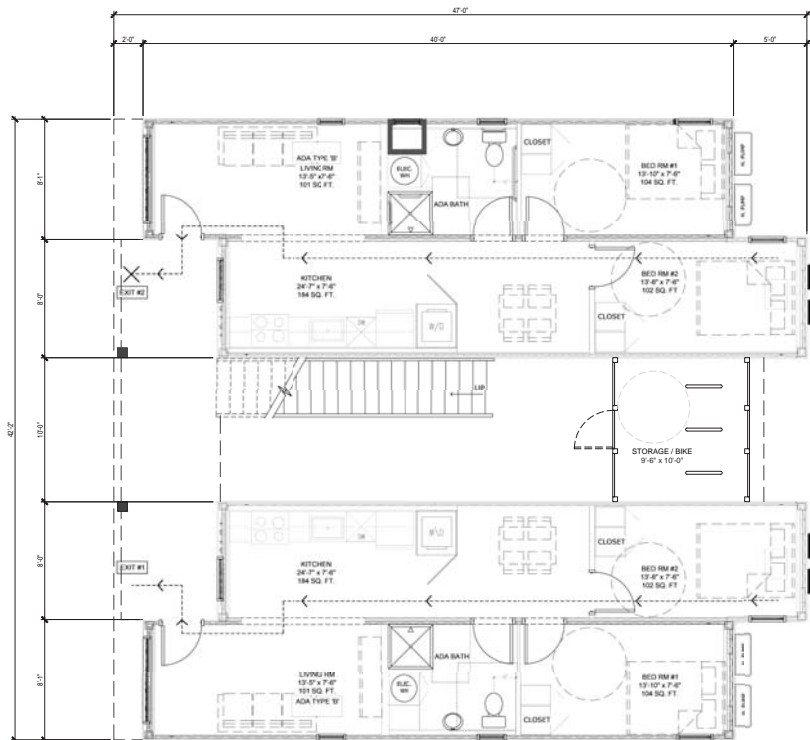
Site Planning for:

**RIVER STREET
 APARTMENTS**

N. River Street
 Hailey, Idaho 83333

SHEET TITLE	BLDG. A 2nd FLOOR PLAN
SCALE	AS NOTED
PROJECT #	BWFF2007
DATE	8/25/2020
FILE NAME	BWFF2007202
REVISIONS	

A2.02



UNIT INFORMATION

STORIES:	2
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
AREAS:	
BUILDING B/C	2,560 SQFT.
TOTAL AREA:	
FIRST FLOOR	1,280 SQFT.
SECOND FLOOR	1,280 SQFT.
UNIT SIZE:	640 SQFT.
UNIT BEDROOMS:	2
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR (BUILDING B & C)

MODULAR HOUSING UNITS BY:



PERMIT INFORMATION



A1 FIRST FLOOR PLAN - BUILDINGS B & C
SCALE: 1/4" = 1'-0"

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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET
TITLE BLDG. B&C 1st
FLOOR PLAN

SCALE AS NOTED

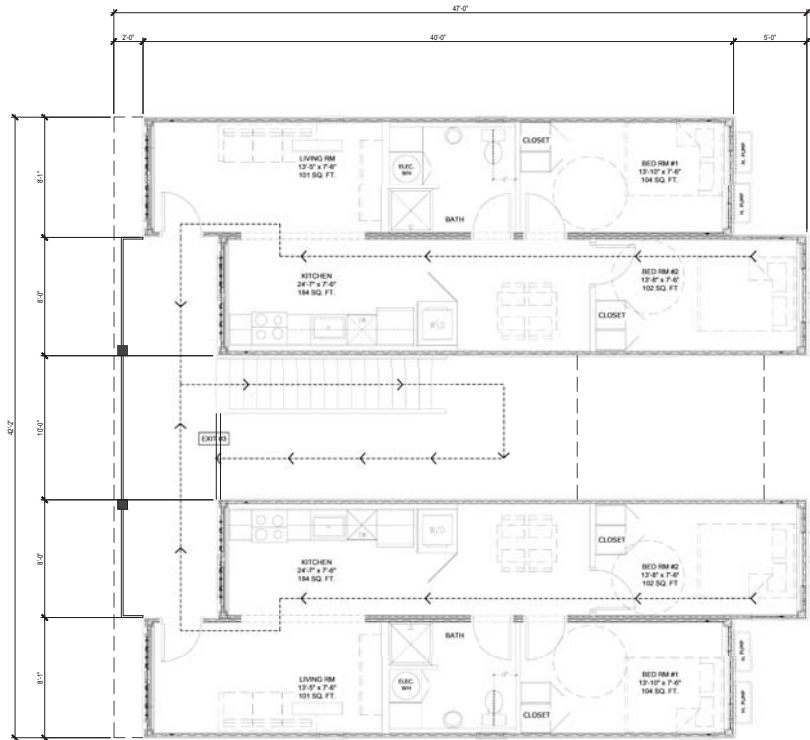
PROJECT
BWFF2007

DATE 8/25/2020

FILE
NAME BWFF2007203

REVISIONS

A2.03



UNIT INFORMATION

STORIES:	2
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
AREAS:	
BUILDING B/C	2,560 SQ. FT.
TOTAL AREA:	2,560 SQ. FT.
FIRST FLOOR	1,280 SQ. FT.
SECOND FLOOR	1,280 SQ. FT.
UNIT SIZE:	640 SQ. FT.
UNIT BEDROOMS:	2
UNIT BATHROOMS:	2
ADA ACCESSIBLE UNITS:	2 - FIRST FLOOR (BUILDING B & C)

MODULAR HOUSING UNITS BY:



PERMIT INFORMATION



A1 SECOND FLOOR PLAN - BUILDINGS B & C
SCALE: 1" = 10'-0"

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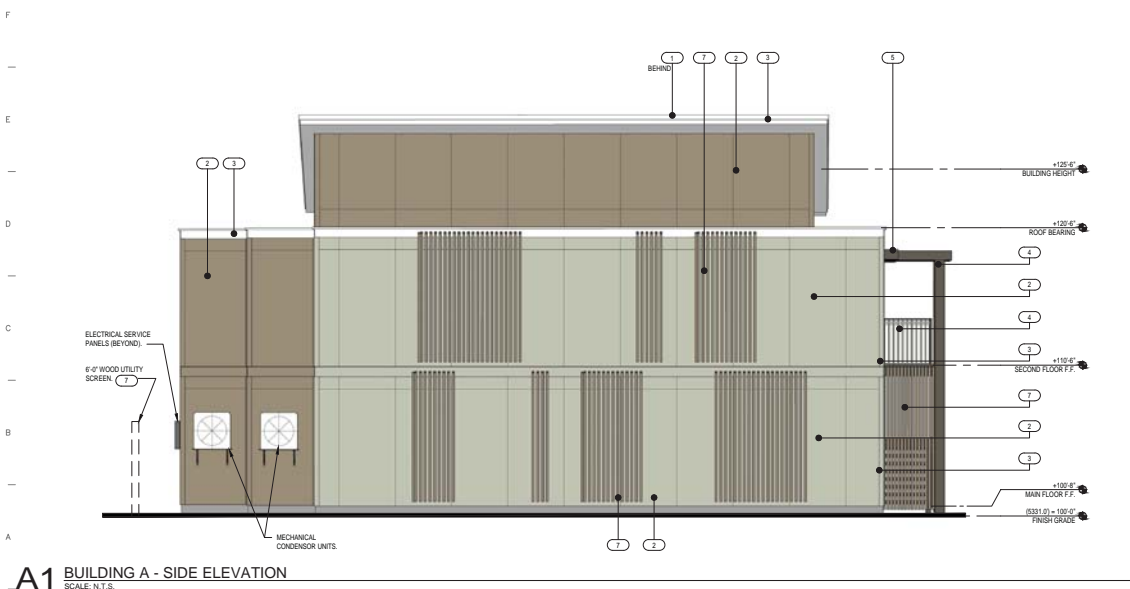
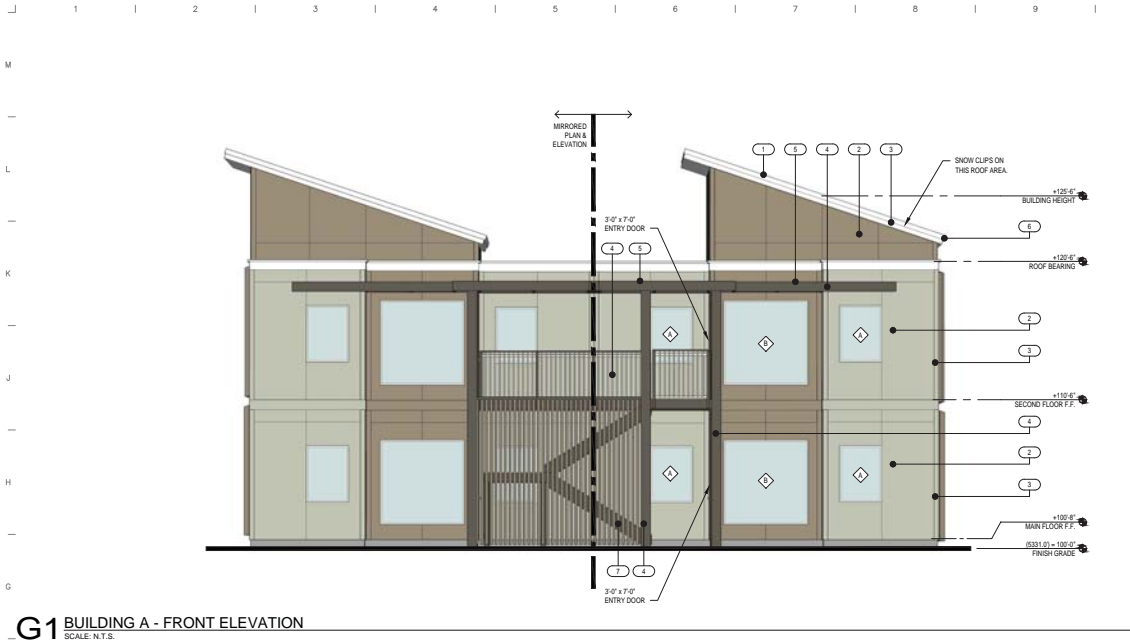
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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	BLDG. B&C 2nd FLOOR PLAN
SCALE	AS NOTED
PROJECT #	BWFF2007
DATE	8/25/2020
FILE NAME	BWFF2007204
REVISIONS	

A2.04



EXTERIOR SCHEDULE

SYMB.	NAME	DESCRIPTION	COLOR / FINISH	NOTES
1	ASPHALT ROOFING SYSTEM	CERTANTITEED XT 30 IR SERIES, 3 TAB IMPACT RESISTANT SHINGLES, UNDERLAYMENT PER MFR. STD.	COLOR, TIBD. FACTORY FINISH.	1,2
2	PANEL SIDING	JAMES HARDIE 'SMOOTH PANEL' CEMENT PANEL SIDING SYSTEM.	SMOOTH FINISH, FACTORY FINISH. (A) (B) (C)	3
3	STANDING, RUNNING, OPENING BOARD TRIM	JAMES HARDIE 'SMOOTH' CEMENT BOARD TRIM.	SMOOTH FINISH, FACTORY FINISH. (A) (B) (C)	
4	METAL STRUCTURAL FRAME	STEEL TUBE, WIDE-FLANGE, CHANNEL, AND ANGLE STRUCTURAL MEMBERS.	DARK BRONZE / TAN, POWDER COATING (D)	
5	METAL DECK ROOFING	1'-0" STEEL B.OECKING PANELS.	WHITE, POWDER COATING (D)	
6	METAL GUTTER & DOWNSPOUTS	EXTRUDED, PRE-FINISHED METAL GUTTER AND DOWNSPOUT SYSTEM.	FACTORY FINISH TO MATCH FIELD COLOR (D)	
7	WOOD SCREENS	NO. 2 OR BETTER REDWOOD LAMBER, SURFACE PLANED TO SIZE.	PENETRATING SEMI-TRANSPARENT STAIN & SEALANT (E)	

ELEVATION NOTES

- PROVIDE MFR. STANDARD WARRANTY.
- PROVIDE ICE & WATER SHIELD THROUGHOUT ALL EAVE AREAS, TYP. PER MFR. REQUIREMENTS.
- EXTRUDED ALUMINUM REGLETS AT ALL PANEL-TO-PANEL JOINTS, TYP.

FINISH SPECIFICATIONS

EXTERIOR PAINT

A CEMENT PANEL SIDING & TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: MONTEREY TALPE

B CEMENT PANEL SIDING & TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: COBBLE STONE

C CEMENT PANEL TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: ARCTIC WHITE

D METAL DECK ROOFING
EXTERIOR PREMIUM-GRADE POLYESTER POWDER COATING ENAMEL.
COLOR: WHITE

E WOOD SCREENS
EXTERIOR PREMIUM-GRADE SEMI-TRANSPARENT STAIN.
COLOR: TO BE SELECTED BY ARCHITECT FROM MFR. FULL RANGE OF STANDARD COLORS.

F METAL STRUCTURAL FRAMES & RAILINGS
EXTERIOR PREMIUM-GRADE POLYESTER POWDER COATING ENAMEL.
COLOR: DARK BRONZE
INFL. PANELS: TAN (STD. COLOR)

G PREFINISHED METAL ITEMS
EXTERIOR PREMIUM-GRADE FACTORY FINISH.
COLOR: MATCH FIELD COLOR

WINDOW TYPES

ALL WINDOWS ARE PELLA VINYL WINDOWS, WHITE, W/ STD. HARDWARE + LOW-E GLAZING

WINDOW TYPE 'A'
2'-6"(W) X 4'-0"(H)
CASEMENT EGRESS

WINDOW TYPE 'B'
6'-0"(W) X 6'-0"(H)
FIXED

WINDOW TYPE 'C'
2'-0"(W) X 5'-0"(H)
CASEMENT

PERMIT INFORMATION



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Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	ELEVATIONS BUILDING A
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007301
REVISIONS	

A3.01



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DESIGN
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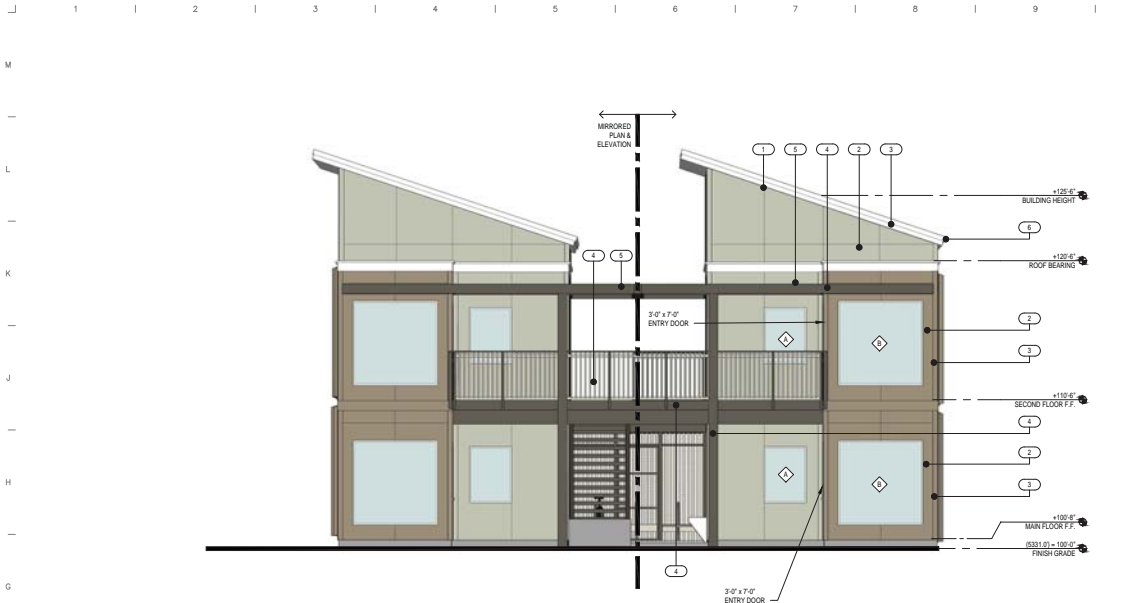
Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

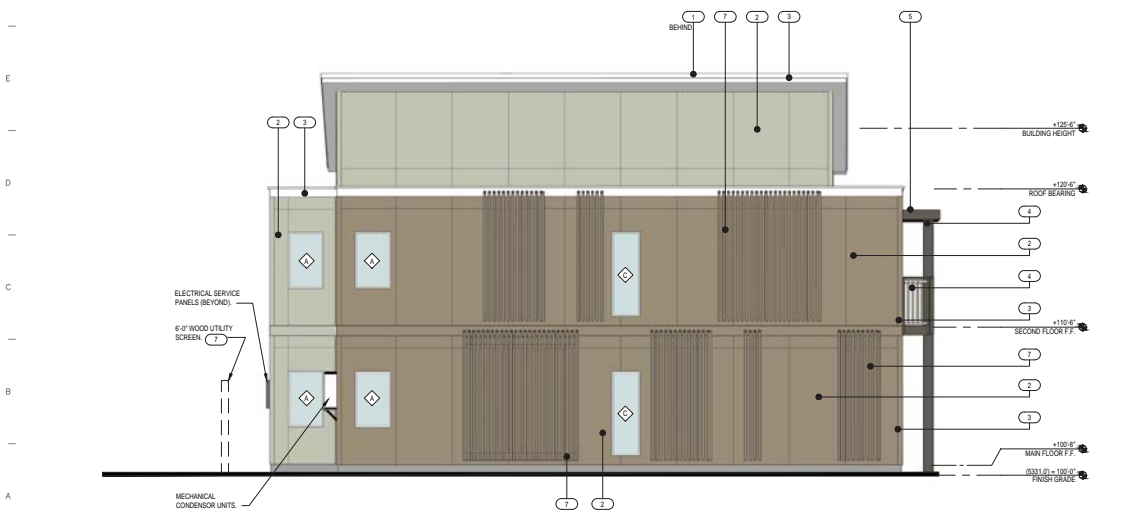
SHEET TITLE	ELEVATIONS BUILDING A
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007302
REVISIONS	

A3.02

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G1 BUILDINGS B & C - FRONT ELEVATION
SCALE: N.T.S.



A1 BUILDINGS B & C - SIDE ELEVATION
SCALE: N.T.S.

EXTERIOR SCHEDULE

SYMB.	NAME	DESCRIPTION	COLOR / FINISH	NOTES
1	ASPHALT ROOFING SYSTEM	CERTANTITEED XT 30 IR SERIES, 3 TAB IMPACT RESISTANT SHINGLES, UNDERLAYMENT PER MFR. STD.	COLOR, TIBD. FACTORY FINISH.	1,2
2	PANEL SIDING	JAMES HARDIE 'SMOOTH PANEL' CEMENT PANEL SIDING SYSTEM.	SMOOTH FINISH, FACTORY FINISH. (A) (B) (C)	3
3	STANDING RAINING OPENING BOARD TRIM	JAMES HARDIE 'SMOOTH' CEMENT BOARD TRIM.	SMOOTH FINISH, FACTORY FINISH. (A) (B) (C)	
4	METAL STRUCTURAL FRAME	STEEL TUBE, WIDE-FLANGE, CHANNEL, AND ANGLE STRUCTURAL MEMBERS.	DARK BRONZE / TAN, POWDER COATING (C)	
5	METAL DECK ROOFING	1-1/2" STEEL, B DECKING PANELS.	WHITE, POWDER COATING (D)	
6	METAL GUTTER & DOWNSPOUTS	EXTRUDED, PRE-FINISHED METAL GUTTER AND DOWNSPOUT SYSTEM.	FACTORY FINISH TO MATCH FIELD COLOR (C)	
7	WOOD SCREENS	NO. 2 OR BETTER REDWOOD LUMBER, SURFACE PLANED TO SIZE.	PENETRATING SEMI-TRANSPARENT STAIN & SEALANT (E)	

ELEVATION NOTES

1. PROVIDE MFR. STANDARD WARRANTY.
2. PROVIDE ICE & WATER SHIELD THROUGHOUT ALL EAVE AREAS, TYP. PER MFR. REQUIREMENTS.
3. EXTRUDED ALUMINUM REGLETS AT ALL PANEL-TO-PANEL JOINTS, TYP.

FINISH SPECIFICATIONS

- EXTERIOR PAINT**
- (A) CEMENT PANEL SIDING & TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: MONTEREY TALPE
 - (B) CEMENT PANEL SIDING & TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: COBBLE STONE
 - (C) CEMENT PANEL TRIM
JAMES HARDIE PRE-FINISHED PRIMER AND COATING SYSTEM.
COLOR: ARCTIC WHITE
 - (D) METAL DECK ROOFING
EXTERIOR PREMIUM-GRADE POLYESTER POWDER COATING ENAMEL.
COLOR: WHITE
 - (E) WOOD SCREENS
EXTERIOR PREMIUM-GRADE SEMI-TRANSPARENT STAIN.
COLOR: TO BE SELECTED BY ARCHITECT FROM MFR. FULL RANGE OF STANDARD COLORS.
 - (F) METAL STRUCTURAL FRAMES & RAILINGES
EXTERIOR PREMIUM-GRADE POLYESTER POWDER COATING ENAMEL.
COLOR: DARK BRONZE
INFILL PANELS: TAN (STD. COLOR)
 - (G) PREFINISHED METAL ITEMS
EXTERIOR PREMIUM-GRADE FACTORY FINISH.
COLOR: MATCH FIELD COLOR

WINDOW TYPES

ALL WINDOWS ARE PELLA VINYL WINDOWS, WHITE, W/ STD. HARDWARE + LOW-E GLAZING

- ◇ WINDOW TYPE 'A'
2'-6"(W) X 4'-0"(H)
CASSETT EGRESS
- ◇ WINDOW TYPE 'B'
6'-0"(W) X 6'-0"(H)
FIXED
- ◇ WINDOW TYPE 'C'
2'-0"(W) X 6'-0"(H)
CASSETT

PERMIT INFORMATION

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Boise, Idaho 83702
Phone 208.409.9950
Fax 208.336.0371
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www.byronfolwell.com

DESIGN
REVIEW



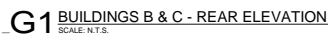
READERS ARE INSTRUCTED TO CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS AND THE SET OF CONSTRUCTION INFORMATION REGARDING THE COMPLETE WORK OF INTEREST. THESE DOCUMENTS, SPECIFICATIONS, AND THE ENTIRE DOCUMENT SET, AND CANNOT BE ACCURATELY OBTAINED BY REFERENCE TO OTHER THAN COMPLETE DOCUMENT SETS.

Site Planning for:
**RIVER STREET
APARTMENTS**

N. River Street
Hailey, Idaho 83333

SHEET TITLE	ELEVATIONS BUILDINGS B&C
SCALE	AS NOTED
PROJECT #	BWF2007
DATE	8/25/2020
FILE NAME	BWF2007303
REVISIONS	

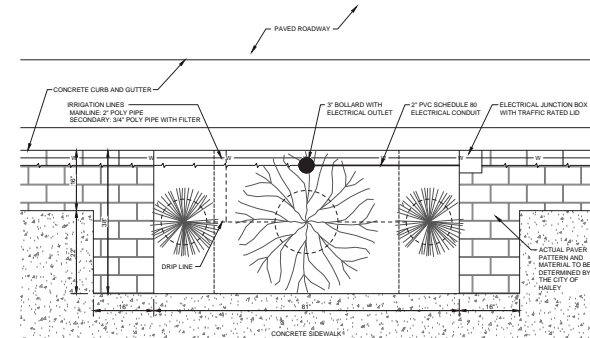
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1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAH0 STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC) AND CITY OF HALEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF HALEY STANDARDS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PRESERVE AND AND UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL GRIEUBER (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION CONFORMANCE WITH THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBGRADE NOT BEING NEARLY ENOUGH TO OBTAIN THE REQUIRED DENSITY. IN-PLACE DENSITY MEASUREMENTS, THE SUBGRADE MAY BE REWORKED TO MEET THE REQUIREMENTS OF THE ENGINEER.
8. POOR ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE. IF THE SUBGRADE IS NOT PROOF ROLLED, THE CONTRACTOR SHALL NOT PROCEED WITH THE NEXT COURSE OF GRAVEL. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND AREAS NOT CAPABLE OF COMPACTING ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR CRACKS UNDER ANY TYPE OF TRAFFIC INCLUDING TRUCKS AND BACKHILL WHEEL RAIN GRAVEL.
9. IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN OVER-EXCAVATION, OR PROTECTION OF THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY DRAINAGE, OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBGRADE, OR REPAIR TO MEET THE SPECIFICATIONS.
10. 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802. TYPE II (TD STANDARD 703.0. 2") SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
11. 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802. TYPE II (TD STANDARD 703.0. 3/4") SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
12. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS(S) II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A IN ISPC SECTION 805.
13. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" DEEP IN CASE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTION 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 701. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING CONCRETE FROM APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C-309.4. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
16. ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SO-301 AND CITY OF HALEY STANDARD DRAWING 18.4.010 A-1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
17. PER H&M CODE 1-56-113, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, WHICH ARE LOST OR DISTURBED AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR MONUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, REPLACEMENT AND SURVEYING.
18. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE FOR A SURVEY CONDUCTED BY GALENA ENGINEERING. FIELD DATA WAS COLLECTED ON 11/23/2016.

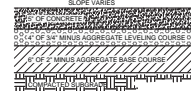
C0.1	COVER SHEET AND DETAIL SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C1.0	SITE GRADING, DRAINAGE, & UTILITY PLAN



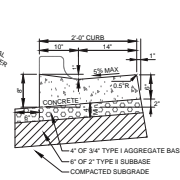
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C0.1

CITY OF HAILEY TREE WELL DETAIL (18.14.014.F)

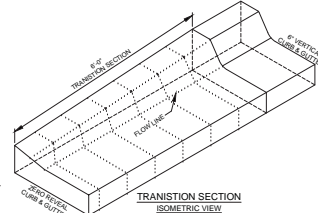
N.T.S.



1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN WALK DIRECTION. MATCHES TO BE PLACED AT 10' TO 15' INTERVALS IN TRANSVERSE DIRECTION. IN TRANSVERSE DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN WALK DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN TRANSVERSE DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN WALK DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS.
2. STRUCTURE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND END OF WALK. IF PLACED AT THE TERMINUS POINTS, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN TRANSVERSE DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN WALK DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS.
3. PLACE EXPANSION JOINT FILLER ALONG THE BACK OF WALK THE FULL LENGTH.
4. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, MIN 1" DEPTH AND 10' TO 15' INTERVALS. MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN TRANSVERSE DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS. IN WALK DIRECTION, MATCHES SHALL BE PLACED AT 10' TO 15' INTERVALS.
5. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 3' TRANSITIONAL PANEL SHALL BE PLACED TO MATCH EXISTING SIDEWALK.
6. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
7. SIDEWALKS SHALL CONFORM WITH CURRENT IPEDIS STANDARDS, DIVISION 800 AGGREGATES AND 800.01 SIDEWALKS.
8. MATERIAL THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.



ZERO REVEAL CURB & GUTTER



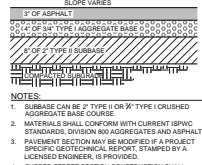
TRANSITION SECTION
ISOMETRIC VIEW

1. SUBBASE CAN BE 2" TYPE II OR 4" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPSWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
6. CURB TRANSITION CONSTRUCTION SHALL CONFORM TO ISPSWC DRAWING SD-707.

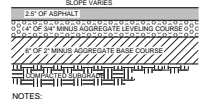
4
C0.1

TYPICAL CURB TRANSITION DETAIL

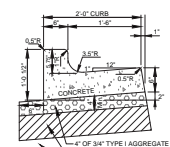
NTS



18.14.012.F.1.
 TYPICAL STREET ASPHALT SECTION
 N.T.S.

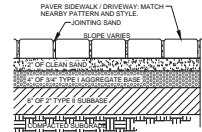


2
0.1) TYPICAL PARKING LOT ASPHALT SECTION
N.T.S.

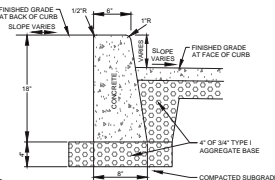


NOTES:

1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED



BASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE. ALL MATERIALS SHALL CONFORM WITH CURRENT ISPCW SPECIFICATIONS AND APPROVED.



SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
PAVEMENT SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800
AGGREGATES AND ASPHALT.
PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT,
STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
12-INCH PREFORMED EXPANSION JOINT MATERIAL (ASHTO M 213) AT TERMINAL POINTS
OF RADI.
CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING
(8-FEET WISDEWALK).
VERTICAL CURB CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-701A.

COVER AND DETAIL SHEET
410 RIVER STREET

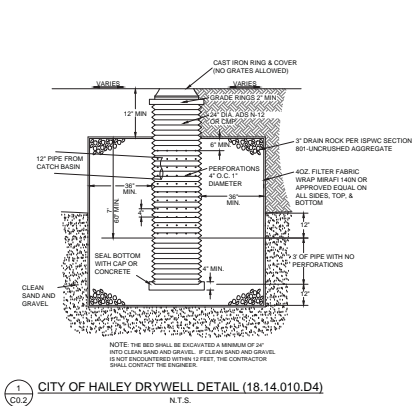
ORIGINAL SIGNED BY
ANTHONY STAHLNECKER
DATE ORIGINAL SIGNED:
08/26/2020
PROFESSIONAL ENGINEER
LICENSED IN
17618
STATE OF IDAHO
ANTHONY STAHLNECKER
ORIGINAL ON FILE AT
OFFICE OF GALENA
ENGINEERING
(HAILEY, ID)

KS/FRM _____
DESIGNED BY _____
FRM _____
DRAWN BY _____
KS _____
CHECKED BY _____

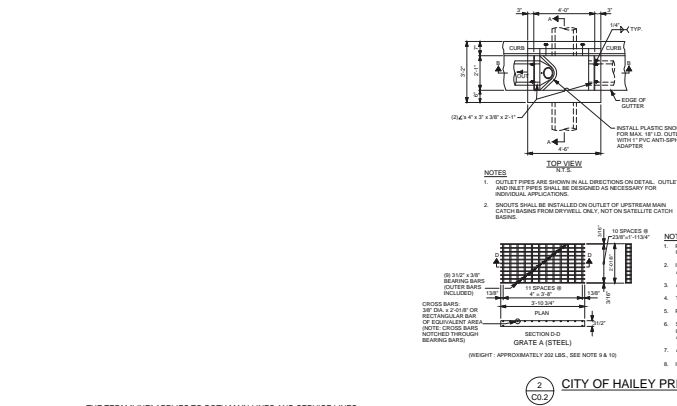
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Haltersville, Ohio 43033
(208) 788-1705
email galena@galena-engineering.com

NO	DATE	BY	REVISIONS
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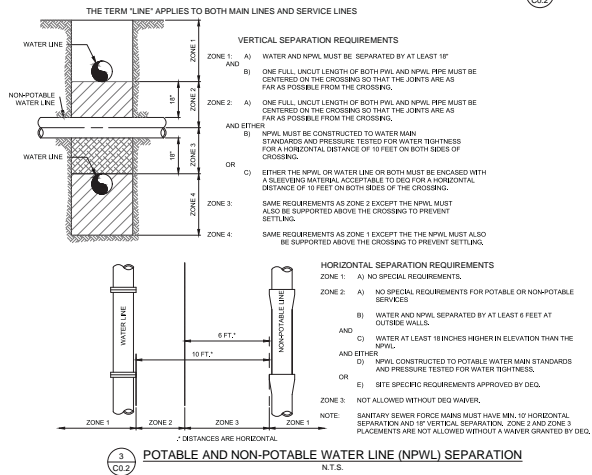
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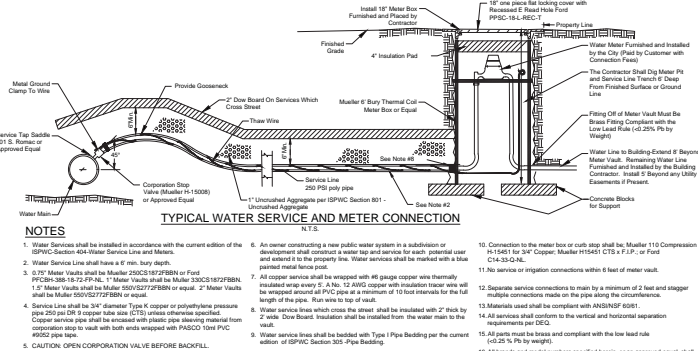
1
C0.2 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)
N.T.S.



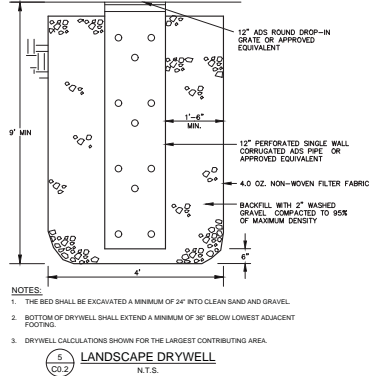
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C0.2 CITY OF HAILEY PRIMARY CATCH BASIN DETAIL (18.14.010.D.1)
N.T.S.



3
C0.2 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



4
C0.2 CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3)
N.T.S.



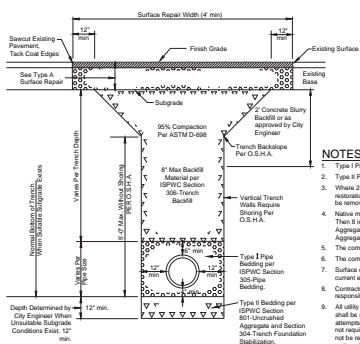
5
C0.2 LANDSCAPE DRYWELL
N.T.S.

NOT FOR CONSTRUCTION

DETAIL SHEET
SILVER RIVER PLACE

LOCATED WITHIN SECTION 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 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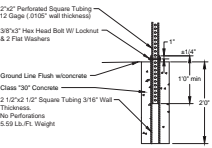
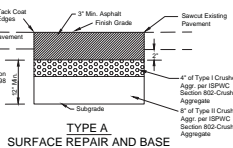
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any other project or as a basis for any other project without the written approval of the City Engineer. The City Engineer shall not be held responsible for any errors or omissions in these drawings.



NOTES

1. Type I Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding. N.T.S.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding. N.T.S.
3. Where 25% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width reconstruction shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
4. Native materials may be used for backfill areas, in the sole opinion of the City Engineer, the native material is found to be suitable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the ISWPC Standards-Section 801-Uncrushed Aggregate, will be required as backfill.
5. The completed patch shall not deviate from existing surface more than .02 to .10 in any direction.
6. The completed patch shall not pond water in excess of .02 feet in depth.
7. Surface repair in gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISWPC Standards-Section 802-Crushed Aggregate.
8. Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
9. All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. When utility mains are located under existing pavement, open cuts will be allowed and boring is not required. If in the judgment of the City Engineer, boring may be detrimental to the health, safety, or welfare of the public, boring will not be required and trenching will be allowed. A hot foot trench, two feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if trenching will be allowed.
10. All trenches shall be repaired within 72 hours of starting the work unless prior approval to delay repairing has been provided by the City Engineer.
11. Concrete Slurry Mix Design: 2,800 lbs Sand, 800 lbs Cement, 90 lbs (max) Water, 11 gals (max) Water.

1 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)
N.T.S.



NOTES:

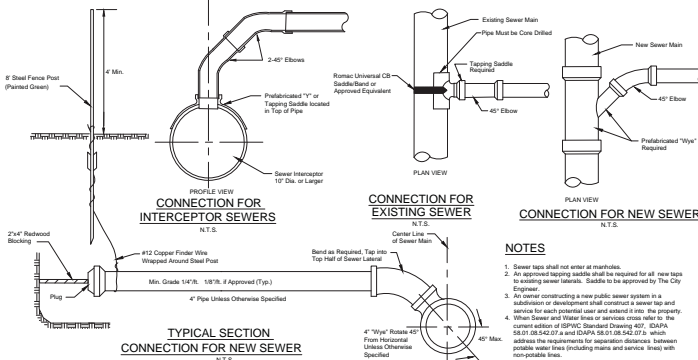
1. Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign post anchor.
2. All installations shall have 8" square concrete foundations or grouted into solid rock.

2 CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)
N.T.S.



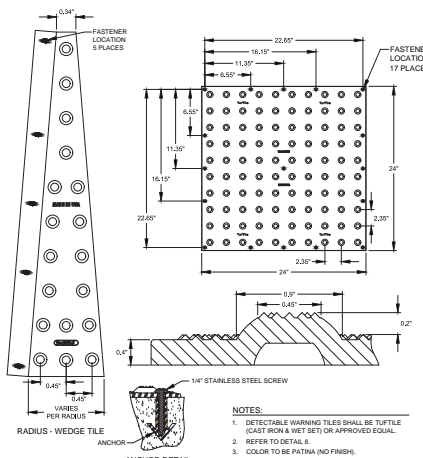
NOTES:

1. Street signs shall be in accordance with the most current edition of the MUTCD.
2. Sign placement shall be approved by the City of Hailey.



NOTES

1. Sewer taps shall not enter at manholes.
2. An approved tapping saddle shall be required for all new taps to existing sewer mains. Saddle to be approved by The City Engineer.
3. An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each potential user and extend it into the property.
4. When Sewer and Water lines or services cross refer to the current edition of ISWPC Standard Drawing 407, SDPA 58.01.08.542.07 and SDPA 58.01.08.542.07 b, which address the requirements for separation distances between potable water lines (including many and service lines) with non-potable lines.



NOTES:

1. DETECTABLE WARNING TILES SHALL BE TUFFLE (CAST IRON & VET SET) OR APPROVED EQUAL.
2. REFER TO DETAIL 4.
3. COLOR TO BE PATINA (NO FINISH).

NOT FOR CONSTRUCTION

REVISIONS
NO DATE BY

C0.3

DETAIL SHEET
SILVER RIVER PLACE
LOCATED WITHIN SECTION 8, T.2N., R.1E., S.4E., BL. 6M, CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR: LEONARD THOMPSON CONSULTING, THE THOMPSON CORPORATION
PROJECT INFORMATION
Prepared by: J.P. Dwyer, J.P. Dwyer & Associates, Inc. 2020.02.22.04.00 PM

ORIGINAL SIGNED
SAMANTHA STAHMECKER
DATE ORIGINAL SIGNED
02/22/2020
GALENA ENGINEERING, INC.
CIVIL ENGINEER
117 N. Vine Street
Hailey, ID 83421
email: galena@galenaengineering.com

SKS/FRM
DESIGNED BY
FRM
DRAWN BY
SKS
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineer & Land Surveyors
117 N. Vine Street
Hailey, ID 83421
email: galena@galenaengineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (08/26/20)

REUSE OF DRAWINGS: These drawings shall not be used for any other project or for any other purpose without the written approval of the Engineer. The Engineer shall not be responsible for any errors or omissions in these drawings.

SITE IMPROVEMENT KEY NOTES

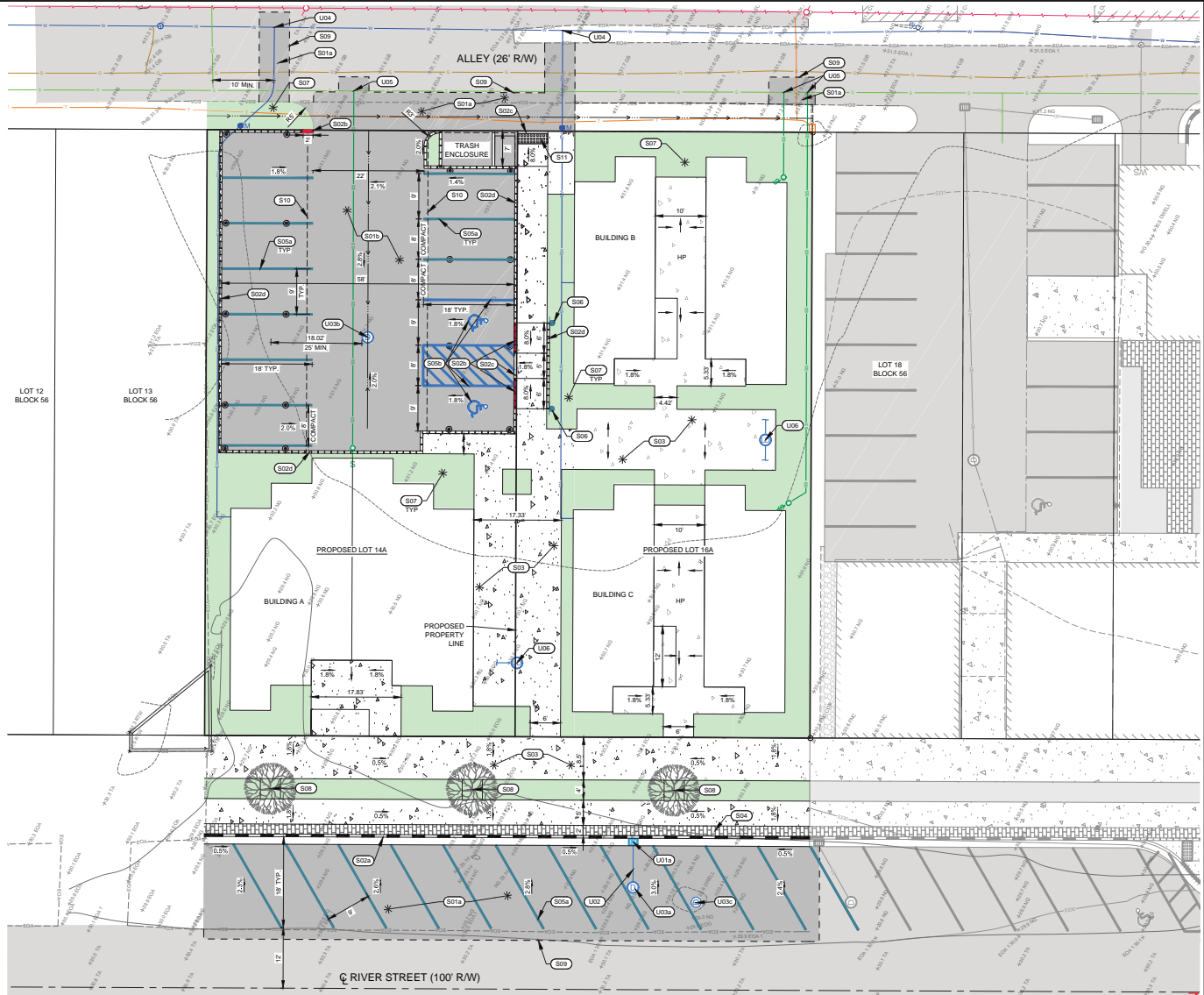
- 500** CONSTRUCT ASPHALT ROADWAY
SEE DETAIL 1 / C0.1.
- 501** CONSTRUCT ASPHALT PARKING LOT
SEE DETAIL 2 / C0.1.
- 502** CONSTRUCT CONCRETE CURB AND GUTTER
a. 6" VERTICAL C&G PER DETAIL 3 / C0.1.
b. CURB TRANSITION PER DETAIL 4 / C0.1.
c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C0.1.
d. 6" VERTICAL CURB PER DETAIL 8 / C0.1.
- 503** CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C0.1.
- 504** INSTALL PAVEMENT SIDEWALK EDGING. REFER TO CITY STANDARD PATTERNS AND MATERIALS. SEE DETAIL 6 / C0.1.
- 505** INSTALL ROAD STRIPING / PAINT
a. WHITE ASPHALT PARKING STRIPING (6" WIDE). MATCH CITY PATTERNS.
b. BLUE ADA PARKING STRIPING (4" WIDE) AND SYMBOL.
- 506** INSTALL ADA STANDARD "RESERVED PARKING - VAN ACCESSIBLE" SIGN. SIGN SHALL BE PLACED AT LEAST 60 INCHES ABOVE SURFACE. COORDINATE FINAL LOCATION WITH CITY OF HALEY. SEE DETAIL 2 / C0.3 FOR SIGN BASE DETAIL.
- 507** INSTALL LANDSCAPE AREA. REFER TO ARCHITECTURAL PLANS.
- 508** INSTALL STREET TREE PER ARCHITECT. SEE DETAIL 7 / C0.1 FOR TREE WELL DETAIL.
- 509** SAWCUT ASPHALT.
- 510** COVERED CARPORT PER ARCHITECT. SEE ARCHITECTURAL PLANS.
- 511** INSTALL ADA COMPLIANT CAST IRON DETECTIBLE WARNING INSERT PER DETAIL 4 / C0.3.

UTILITY KEY NOTES

- 100** INSTALL CATCH BASIN
a. PRIMARY CATCH BASIN
SEE DETAIL 2 / C0.2.
RM = 5329.38
RV, OUT = 5329.38
- 101** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 3 / C0.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C0.3 FOR TRENCHING.
- 102** DRYWELL: SEE DETAIL 1 / C0.2.
a. CONSTRUCT NEW DRYWELL
RM = 5329.65
RV, IN = 5329.48
RV, OUT = 5329.65
- 103** CONSTRUCT NEW DRYWELL
RM = 5329.68
c. REMOVE EXISTING DRYWELL
- 104** CONTRACTOR SHALL VERIFY REQUIRED WATER SERVICE SIZE WITH MECHANICAL ENGINEER. INSTALL PER DETAIL 4 / C0.3. SEE DETAIL 1 / C0.3 FOR TRENCHING AND SURFACE REPAIR.
- 105** CONTRACTOR SHALL VERIFY REQUIRED SEWER SERVICE SIZE WITH PLUMBING ENGINEER. INSTALL PER DETAIL 3 / C0.3. SEE DETAIL 1 / C0.3 FOR TRENCHING.
- 106** CONSTRUCT LANDSCAPE DRYWELL PER DETAIL 5 / C0.2. CONNECT ROOF DRAINS PER ARCHITECT.

LEGEND

PROPOSED ITEMS	EXISTING	UTILITY	LANDSCAPE
PROPERTY LINE	9" CONTOUR INTERVAL	TYWCK - TV RIBBER	ADA PAINT & SYMBOL
CENTELINE OF RIGHT-OF-WAY	1" CONTOUR INTERVAL	PRBOX - TELEPHONE RIBBER	CARPORT COLUMN, SEE ARCHITECTURAL PLANS
EDGE OF ASPHALT	BUILDING	SMH - SEWER MANHOLE	COVERED CARPORT, SEE ARCHITECTURAL PLANS
EDGE OF DRIVEWAY	FOUND ALUMINUM CAP	SCC - SEWER CLEANOUT	WATER SERVICE AND METER
PA - BURIED POWER LINE	FOUND SP REBAR	OWEL - DRY WELL	SEWER SERVICE AND CLEANOUT
OVERHEAD POWER LINE	PH - FIRE HYDRANT	WW - WATER VALVE	LANDSCAPE
WATER MAIN	WMTR - WATER METER	PP - POWER POLE	
6" SEWER MAIN	VB - VALVE BOX	PPX - GUYWIRE	
12" SEWER SERVICE	OV - VALVE BOX	PRBX - POWER BOX	
OV - GAS MAIN	REB OPTIC WALLT	RP - ANGLE POINT	
PHS - BURIED TELEPHONE LINE	GV - GAS VALVE	REG - BEGINNING	
STORM DRAIN	GMK - GAS MARKER		



A SITE, GRADING AND DRAINAGE, AND UTILITY PLAN

LOT 12 BLOCK 56
LOT 13 BLOCK 56
PROPOSED LOT 14A
PROPOSED LOT 16A
LOT 18 BLOCK 56

ORIGINAL, SIGNED BY
SAMANTHA STAPLEMEYER
DATE ORIGINAL SIGNED
08/26/2020

DESIGNED BY
FIRM
DESIGNED BY
SKS

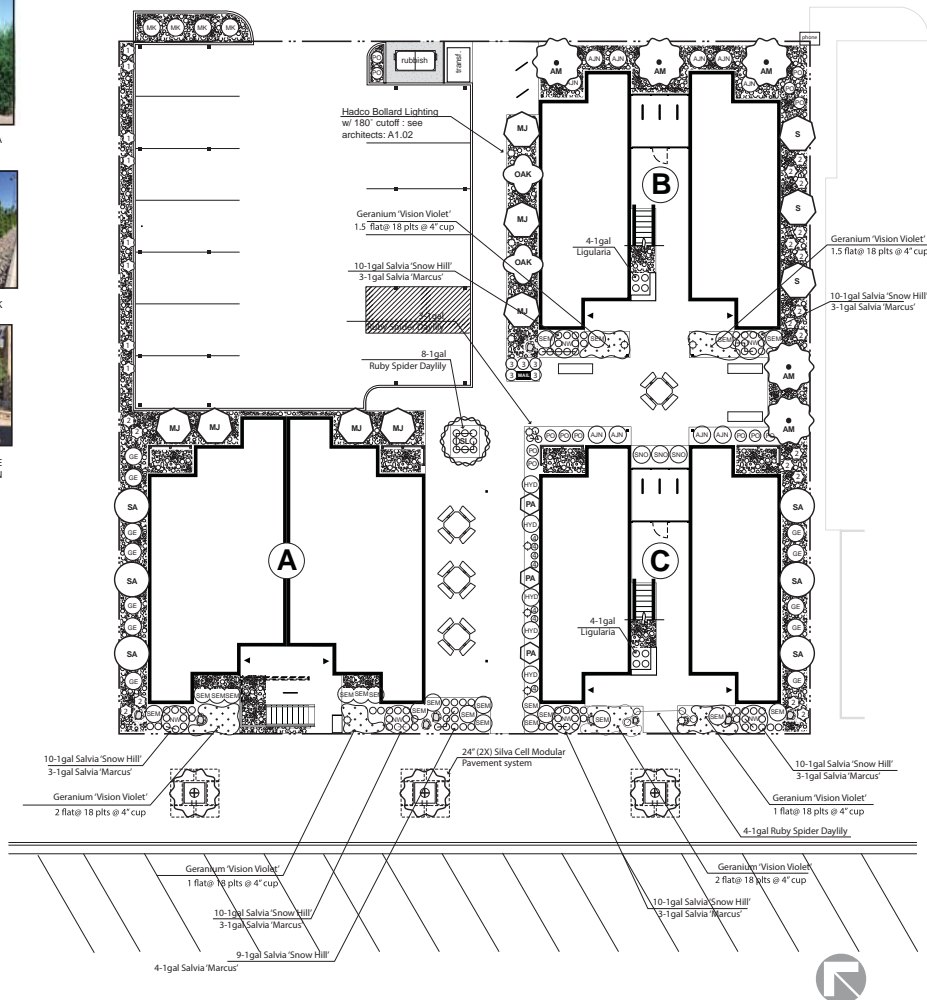
CHECKED BY
FIRM
CHECKED BY
SKS

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Haley, ID 83422
(208) 788-1705
email: galena@galenaengineering.com

NOT FOR CONSTRUCTION

PURPOSE: ISSUE FOR DESIGN REVIEW (08/26/20)
NO DATE BY
REVISIONS
C1.0

LANDSCAPE PLAN
RIVER STREET APARTMENTS



PLANT LIST

TREES	QUANT	SIZE	ABBREV
<i>Acer rubrum</i> 'Armstrong Gold Maple' (Armstrong Maple)	5-30' BB	3" cal	AL
<i>Gleditsia triacanthos</i> interims 'Surburst' (Surburst Locust)	1-30' BB	3" cal	SM
<i>Juniperus 'moonpong'</i> (Moonpong Columnar Juniper) *	7-2' DBH	7'-8"	MJ
<i>Picea abies</i> 'complexa' (Narrow Norway Spruce) *	3-30' BB	10'-12"	S
<i>Populus tremulus</i> 'Erecta' (Swedish Aspen)	6-28' BB	2.5" cal	SA
<i>Quercus fastigiata</i> 'Bonnie and Mild' (Columnar English Oak) *	2-2' DBH	8'-9"	OK
<i>Taxa occidentalis</i> 'Pyramidal Arborvitae' *	3-20' BB	6"	T
<i>Tilia cordata</i> 'Greenspire' (Littletree Linden)	3-30' BB	4" cal	LL
SHRUBS			
<i>Acer palmatum</i> x <i>pseudobosoidianum</i> 'Northwind' (Northwind Maple)	6	15gal	NW
<i>Hydranga arborescens</i> 'Annabelle' (Anabelle Hydranga)	5	5gal	HYD
<i>Physocarpus opulifolius</i> 'Jefram' (Autumn Jubilee Nerbark) *	10	5gal	AJN
<i>Potentialia fruticosa</i> 'Goldfinger' (Goldfinger Potentilla) *	13	5gal	PO
<i>Sambucus canadensis</i> 'Aures' (Golden Elderberry)	12	5gal	GE
<i>Sorbaria sorbifolia</i> 'Sem' (Sew Dwarf Spirea)	22	5gal	SEM
<i>Symphoricarpos alba</i> (Snowberry) *	3	5gal	SNO
<i>Syringa patula</i> 'Miss Kim' (Miss Kim Lilac) *	4	5gal	MK
GRASSES			
<i>Calamagrostis acutifolia</i> 'Karl Foerster' (Feather Reed Grass) *	8	2gal	1
<i>Deschampsia caespitosa</i> 'Northern Lights' (Tufted Haregrass) *	18	2gal	2
<i>Helictotrichon sempervirens</i> (Blue Oat Grass) *	5	2gal	3
PERENNIALS			
<i>Hemerocallis</i> 'Ruby Spider' (Ruby Spider Daylily)	15	1gal	as noted
<i>Ligularia stenocephala</i> 'Little Rocket' (Leopard Plant)	8	1gal	*
<i>Penstemon</i> x <i>mexicali</i> 'Pikes Peak Purple' (Penstemon 'Pikes Peak' *)	8	1gal	*
<i>Salvia nemorosa</i> 'Marcus' (Marcus Salvia) *	32	1gal	*
<i>Salvia x sylvestris</i> 'Snow Hill' (Snow Hill Salvia) *	55	1gal	*
VINES / GROUND COVER			
<i>Clematis jackmanii</i> (Jackman Clematis)	7	1gal	4
<i>Geranium sanguineum</i> 'Vision Violet' (Cranesbill Geranium). *	7	flats @ 18-4"	as noted
DBH= diameter at breast height; Cal = 6" above crown height			
* Indicates drought tolerance			

1) 12" x 12" x 12" CONCRETE DECK (SEE BARS AND POSTS)

2) SUBGRADE, COMPACTED

3) GEOTEXTILE FABRIC PLACED ABOVE SUBGRADE

4) 10" MIN AGGREGATE SUB BASE, CONNECTED TO 50% FROCTOR

5) 12" x 12" x 12" SPACING BETWEEN SUB BASES AT BASE

6) ANCHORING SPIKES, CONTACT DEEPFOOT OR ALTERNATIVE

7) GEOTEXTILE, WEAPOED AROUND PERIMETER OF SYSTEM, WITH 6" OVER JUTWARDS FROM BASE AND 12" OVERSHOULDER (TOP OF DECK)

8) CABLE TIE, ATTACHING GEOTEXTILE TO SUB CELL AT BASE OF UPPER LUG FLANGE, AS REQUIRED

9) PLATING SOL, PER PROJECT SPECIFICATIONS, PLACED 1/4" LIFT AND 10" x 10" x 10" COMPACTED TO 1-50% FROCTOR

10) COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS

11) ADAPTABLE FABRIC TO EDGE OF BACKFILL

12) WEEDON CURB AT THIS FORMING TO BE USED WITH FRAMES OR ALPHALTY

13) THICKENED EDGE AT THIS FORMING TO BE USED WITH CONCRETE

14) PAVEMENT AND AGGREGATE BASE PER PROJECT *

15) DEEPFOOT ROOT BARBERS, 12" x 12" x 12" DETERMINED BY THICKNESS OF PLATING SECTION, INSTALLED DIRECTLY AGAINST THE DECK EDGE

16) PLATING SOL BELOW ROOT BAR, COMPACTED MUST TO PREVENT SETTLING

17) ROOT BALL

18) TREE TRUNK TREATMENT, PER PROJECT SPECIFICATIONS

19) DEEPFOOT WATER AND AIR VENT, INSTALLED, WHEN REQUIRED

20) DEEPFOOT WATER AND AIR VENT, INSTALLED, WHEN REQUIRED

21) UNDERDRY SYSTEM, WHEN REQUIRED (QUANTITIES AND DETAILS BY OTHERS)

- All plantings shall be zonal/drought tolerant, and shall adhere standards of sizing, and appearance as per guidelines set forth by the American Standard for Nursery Stock (ANSI Z60.1)
- All plantings shall be drip irrigated, automatically controlled and controller shall be equipped with soil and rain sensitive monitoring for water delivery efficiency.
- All plantings shall be installed in a container which is at least 12" deep and 12" wide, and shall be installed in a 50-50 soil compost mix. All ground cover areas containing 4" plants shall be installed in a similar backfill mixture 12" deep.
- Street trees shall be installed utilizing the Silva Cell Root System as shown by manufacturers illustration and instructions, and will be provided automatic irrigation and electrical service by the River Street Apartment project per the guidelines as set forth by the City of Hayes Street Tree Standard.



RIVER STREET APARTMENTS
BLOCK 56, LOTS 14,15,16,17
CITY OF HAILEY, IDAHO

STEVEN JOB
landscape architecture • planning and graphics
box 857 • sun valley, idaho 83353 • 208.720.0649
landarch@cox.net



DRAWN	S.E.J.
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DATE
AUG 25, 2020 v.7

L-1

LED Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: DB30 A A0 12L E

Product Code	DB30	LED Bollard
Finish	A H	Black Bronze
Optics	A0	Symmetric
Wattage	12L	9.5W LED
Voltage	E	120V

Specifications

HOUSING:
360 low-copper die-cast aluminum alloy . Dome roof with die-cast aluminum louvers. Easy access to lamp. 5" dia. extruded aluminum with a wall thickness of 0.125". All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH:
Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

OPTICAL ASSEMBLY:
Symmetric. Die-cast aluminum louvers with underside painted with highly reflective white powdercoat. Tempered glass globe.

LAMPING:
9.5W Philips LED EnduraLED lamp, LED 4Kv medium base porcelain socket A19. 2700K warm white delivers 800 lumens. Lamp life is rated at 25,000 hours. 120 volt only.

ELECTRICAL ASSEMBLY:
Ballast assembly is mounted to an aluminum plate, which is mounted inside the base. Quick disconnects for easy installation and removal.

INSTALLATION & MOUNTING:
Tube is mounted to the base plate with three (3) 5/16-18 flat head allen key stainless steel tamper-resistant screws.

WARRANTY:
Five-year limited warranty.

CERTIFICATIONS:
ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Height :
31 3/4" (80.65cm)

Width:
6" (15cm)

Bolt Circle:
3" (8 cm)

Anchor Rods:
Internal (3) 3/8" dia. x 8" long (1 cm x 20cm)

Base Diameter:
5" (13cm)

Max. Weight:
Powdercoat: 15 lbs

Cylinder 3000K LED 7" Wall Light Textured Architectural Bronze

11250AZT30 (Textured Architectural Bronze)



Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Certifications/Qualifications

Class 2	Yes
Dark Sky Compliant	Yes
Location Rating	Wet
Title 24 Compliant	Yes
www.kichler.com/warranty	

Dimensions

Base Backplate	5.00 X 5.00
Extension	6.50"
Weight	1.95 LBS
Height from center of Wall opening (Spec Sheet)	3.25"
Height	7.00"
Width	5.00"

Electrical

Input Voltage	Dual (120/140)V
---------------	-----------------

Mounting/Installation

Interior/Exterior	Exterior
Mounting Style	Wall Mount

Photometrics

Color Rendering Index	90
Color Temperature Range	3000
Delivered Lumens	350
Kelvin Temperature	3000K

Primary Lamping

Expected Life Span	40000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	11W
# of Bulbs/LED Modules	1

Product/Ordering Information

SKU	11250AZT30
Finish	Bronze
Style	Contemporary
UPC	783927453059

Specifications

Material	ALUMINUM
----------	----------

Additional Finishes



Textured Architectural Bronze



Textured Black

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
Toll free: 866.558.5706 or kichler.com

Notes:
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

DESCRIPTION

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 85% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

SPECIFICATION FEATURES

Construction

Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

Optics

Available in Type III and IV distributions with lumen packages ranging from 7,000 to 20,000 nominal lumens. Light engine configurations consist of 1 or 2 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/50,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

Electrical

Available in 120-277V 50/60Hz. 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

Mounting

The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

Pole

Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

Finish

Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

Warranty

Five-year warranty.

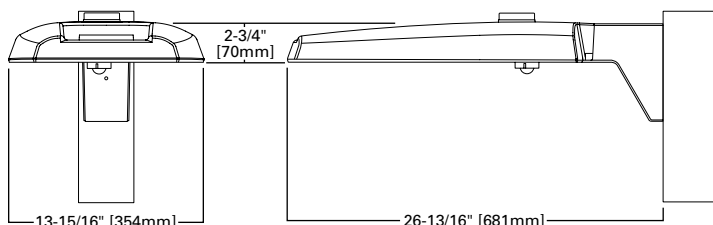


PFPRV PREVAIL POLE AND FIXTURE COMBO

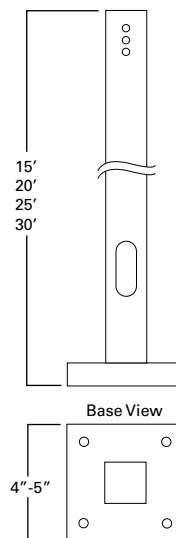
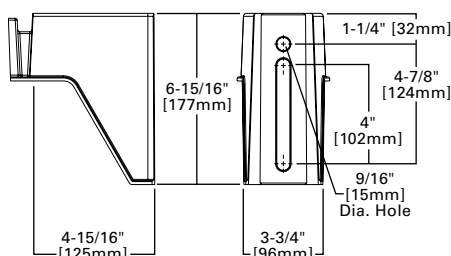
LED

POLE AND FIXTURE COMBO

DIMENSIONS



POLE MOUNT ARM



CERTIFICATION DATA

UL and cUL Wet Location Listed
IP66-Rated
3G Vibration Rated
ISO 9001

ENERGY DATA

Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 and 60Hz,
347V/60Hz, 480V/60Hz
-40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

EPA

Effective Projected Area (Sq. Ft.): 0.75
(1 fixture)

SHIPPING DATA

Approximate Net Weight:
20lbs. [9.09 kgs.] (1 fixture)

CONTROL OPTIONS

0-10V (D)

This fixture is offered standard with 0-10V dimming wire leads for use with a lighting control panel or other control method.

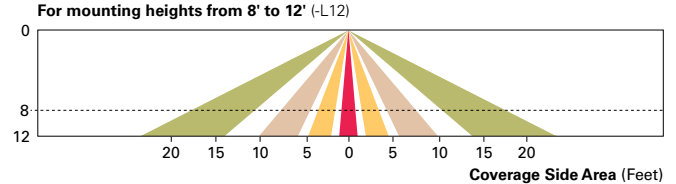
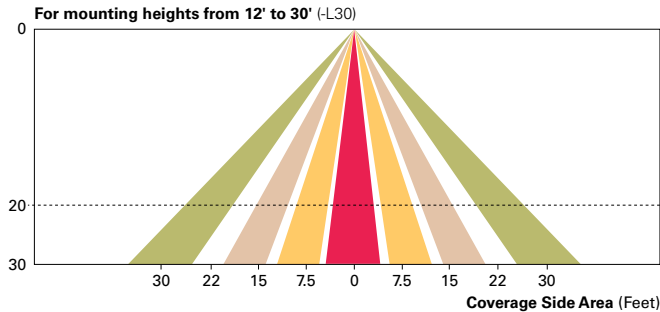
Photocontrol (PER and PER7)

Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MSP/DIM-LXX)

These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". Note: For MSP sensors, the factory preset is ON (Enabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimized the coverage pattern for mounting heights from 8'-30'.



POWER AND LUMENS

Light Engine		C15	C25	C40	C60
Nominal Power (Watts)		57W	87W	143W	163W
Input Current @ 120V (A)		0.43	0.80	1.09	1.32
Input Current @ 277V (A)		0.19	0.35	0.48	0.57
Type III	Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
Type IV	Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
25°C	> 91.30%	> 194,000
40°C	> 87.59%	> 134,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

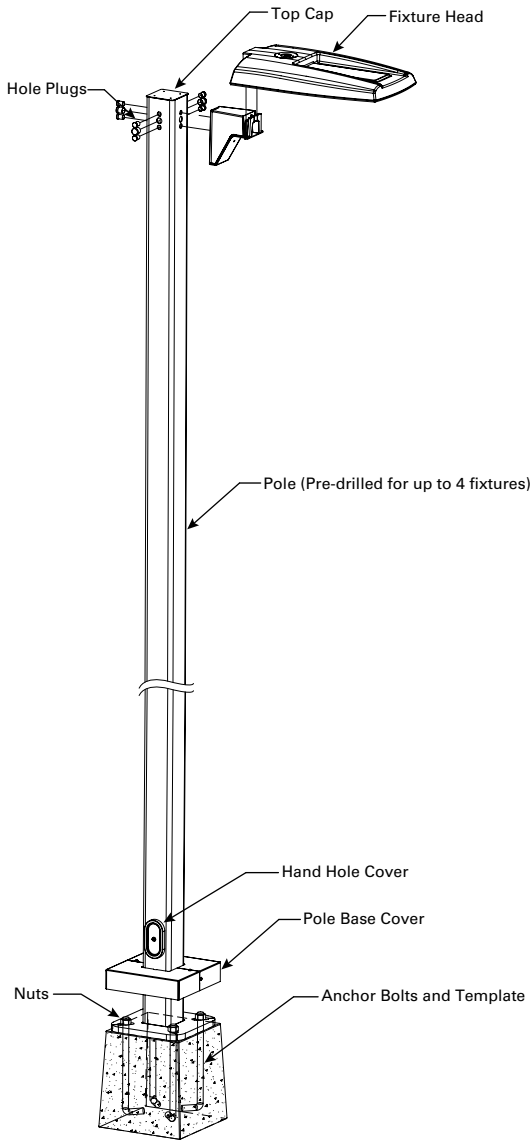
ORDERING INFORMATION

Sample Number: PFPRV-1-C25-T3-15-N/AB

Series ^{1,2}	Number of Fixtures	Light Engine	Distribution	Pole Height	Maximum Wind Zone (MPH)	Options (Add as Suffix)	Accessories (Order Separately)
PFPRV=Prevail Pole and Fixture Combo	1=1 2=2 3=3 4=4	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LED) 13,100 Nominal Lumens C40=(2 LED) 17,100 Nominal Lumens C60=(2 LED) 20,000 Nominal Lumens	T3=Type III T4=Type IV	15=15' 20=20' 25=25' 30=30'	Blank=80 9=90 0=100	N/AB=No Anchor Bolts (Used when ordered separately) HSS=House Side Shield ³ MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height PER=NEMA 3PIN Twistlock Photocontrol Receptacle ⁴ PER7=NEMA 7PIN Twistlock Photocontrol Receptacle ⁴	HS/VERD=House Side Shield ³

NOTES: 1 4000K CCT, standard bronze, 120-277V, 0-10V dimming. 2 Standard mount arm included with fixture. Supplied with straight steel shaft, anchor bolts, template, base cover and hardware. 3 HSS not available with C60 lumen package. Ordered as an option, it will come factory-installed. Ordered as a field-installable accessory, must order quantity one per optic/LED. 4 Not available with MSP options.

PREVAIL POLE AND FIXTURE COMBO



INCLUDED POLE REFERENCE TABLES

1 Fixture (EPA= 0.75)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 ¹		
	20	SSS4A20SFM4 ¹		
	25	SSS4A25SFM4 ¹	SSS5A25SFM4 ²	
	30	SSS5A30SFM4 ²	SSS5M30SFM4 ²	

2 Fixtures (EPA= 1.50)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 ¹		
	20	SSS4A20SFM4 ¹		
	25	SSS4A25SFM4 ¹	SSS5A25SFM4 ²	
	30	SSS5A30SFM4 ²	SSS5M30SFM4 ²	

3 Fixtures (EPA= 2.25)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 ¹		
	20	SSS4A20SFM4 ¹		
	25	SSS4A25SFM4 ¹	SSS5A25SFM4 ²	
	30	SSS5A30SFM4 ²	SSS5M30SFM4 ²	

4 Fixtures (EPA= 3.00)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 ¹		
	20	SSS4A20SFM4 ¹		
	25	SSS4A25SFM4 ¹	SSS5A25SFM4 ²	
	30	SSS5A30SFM4 ²	SSS5M30SFM4 ²	

NOTES:
1. Uses hardware kit POLSSHDWC4FCHHP.
2. Uses hardware kit POLSSHDWC5FCHHP.



410 RIVER STREET APARTMENTS

CERAMIC BOARD STONE

Board 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



CEMENT BOARD STONE

Board 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



CERAMIC BOARD STONE

Board 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



HYDRON STONE

Hydron Stone 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



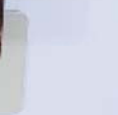
METAL PANEL FINISH

Panel 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



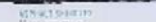
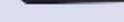
WOOD STONE & FINISH

Wood Stone 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



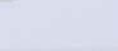
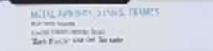
STONE

Stone 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



STONE & FINISH

Stone & Finish 12" x 18" x 1/4" thick, white
 Modigliani Interiors, NY, NY
 Photo: © 2014 J. J. Smith



For more information, visit us online at www.410riverstreet.com
 or call 800.410.4104. Photo: © 2014 J. J. Smith



Return to Agenda