

## AGENDA

### Hailey Planning and Zoning Commission

Tuesday, September 3, 2024

5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

#### Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

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#### Or call in (audio only)

[+1 469-206-8535](tel:+14692068535), [602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

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#### **Call to Order**

- Public Comment for items not on the Agenda.

#### **Consent Agenda - ACTION ITEM**

- [CA 1](#) Motion to approve the meeting minutes dated August 19, 2024. **ACTION ITEM**
- [CA 2](#) Motion Findings of Fact, Conclusions of Law, and Decision of a Design Review Application Design Review Application, submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 23,380 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15) within the Limited Business (LB) Zoning District. The development consists of eight (8), two story, multifamily buildings, which includes fourteen (14) dwelling units in total. **ACTION ITEM**

#### **Public Hearing(s) - ACTION ITEM**

- [PH 1](#) Consideration of a of a Preliminary Plat Subdivision Application for Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, and represented by Opal Engineering and BYLA, wherein Sunbeam Subdivision Phase I, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement. **ACTION ITEM**
- [PH 2](#) Consideration of a Design Review Application, submitted by Advocates for Survivors of Domestic Violence & Sexual Assault, represented by Bliss Architecture, for the construction of a new 23,347 square foot mixed-use building consisting of office space

and twenty (20) residential units ranging in size from 339 square feet to 899 square feet. This project is located at 201 South River Street (Lots 1 - 3, Block 30, Townsite Overlay) within the Business (B), Townsite Overlay (TO) and Downtown Residential Overlay (DRO) Zoning Districts. **ACTION ITEM**

**Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Tuesday, September 3, 2024:**
    - PP: Sunbeam Subdivision Phase II
    - DR: Advocates



**Return to Agenda**

**AGENDA**  
**Hailey Planning and Zoning Commission**  
**Monday, August 5, 2024**  
**5:30 p.m.**

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Phone Conference ID: 602 369 677#

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**Present**

**Commissioners: Owen Scanlon, Jordan Fitzgerald, Janet Fugate, Dan Smith, Sage Sauerbrey**

**Staff: Emily Rodrigue, Robyn Davis, Jessie Parker**

**5:30:57 PM Call to Order**

- Public Comment for items not on the Agenda.

**5:32:03 PM Consent Agenda**

- **CA 1** Motion to approve the meeting minutes dated June 17, 2024. **ACTION ITEM**
- **CA 2** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by Eric Cueva, represented by Matt Youdall of Youdall Architecture, for the construction of an 877 square foot detached garage addition, which includes a new 579 square foot Accessory Dwelling Unit located above the addition. This project also consists of the future construction of an office/commercial prefabricated metal building to support the owner's roofing business. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **CA 3** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by ARCH Community Housing Trust, Inc., for the construction of a new multifamily residential development project, consisting of ten (10) detached

dwelling units, with 1,386 square feet of living space and 440 square feet of garage space per unit. This project is located at the addresses of 702 S 3<sup>rd</sup> Avenue, 623 S 4<sup>th</sup> Avenue, and 715 S 4<sup>th</sup> Avenue (Lots 2, 3, 4, 5, and 6, Blocks 1 and 125, Hailey Replat) in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The subject property has been, and continues to be, commonly known as the Ellsworth Inn property. **ACTION ITEM**

- **CA 4** Motion to approve the Findings of Fact, Conclusions of Law, and Decision Tiny Home on Wheels (THOW) Application, submitted by Deanna and Brady Campbell. The THOW is proposed to be 272 square feet in size, located onsite, detached and positioned along the northwestern side of the existing single-family residence. The THOW is proposed to be utilized as long-term rental and is located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**

**Scanlon motioned to approve CA 1 & CA4. Smith seconded. All in Favor.**

### **Public Hearing**

- **5:32:44 PM PH 1** Consideration of a of a Design Review Pre-Application Application, submitted by Nancy and William Schlag, and represented by Jay Cone of Jay Cone Architecture, for the construction of a new, 1,554 square foot mixed-use building consisting of 943 square feet of commercial space and a 611 square foot Accessory Dwelling Unit, located within the proposed structure. This project is located at 20 Comet Lane (Lot 2E, Block 5, Airport West Subdivision #2) within the Sales and Office Subdistrict (SCI-SO) Zoning District.

**5:33:42 PM** Jay Cone introduced himself and applicant. Cone addressed boxy design and height proposed to allow for enough storage space. Cone summarized reason for washer and dryer in office and overall floor plan.

**5:37:54 PM** Scanlon expressed concern of boxy design, what would like to see. Scanlon asked if unit would be lived in fulltime. Cone stated applicants have another residence on east coast.

**5:39:58 PM** Fitzgerald asked what the primary use is. Cone stated it would be office with storage. Cone clarified occupancy type. Fitzgerald asked about ADU use. Cone explained ADU will be accessory to their business.

**5:41:38 PM** Smith suggested adding doorway to allow applicant to heat office but not storage space if the applicant does not intend to heat that area. Smith agreed with Scanlon's comments regarding boxy design, that something to help break up the building would be nice. Smith suggested addition of windows, some awnings, some wainscot, something to add visual texture. Cone confirmed applicant team is open and will come back with them.

**5:44:11 PM** Sauerbrey asked about height and smaller room designs. Cone explained inside is 18-19 feet tall. Cone explained applicant's request. Sauerbrey agrees with design aspect, stated would pay more attention to the east aspect and create more visual interest there. Cone stated did not bring in landscape plan, that does have landscape obligations per the HOA requirements. Cone summarized proposed and existing landscape. Sauerbrey asked how proposing to heat cool

the building. Cone does not know yet. Sauerbrey confirmed if on roof would be properly screened. Cone confirmed proper screening if on roof or ground.

[5:48:43 PM](#) Smith asked about why about 37 ft dimension on for the East West side. Cone explained reasoning for dimension.

[5:49:22 PM](#) Chair Fugate reiterated comments regarding boxy design. Chair Fugate thinks addition of color would be nice.

[5:50:20 PM](#) Chair Fugate opened public comment.

[5:51:33 PM](#) Chair Fugate closed public comment.

No further comments or questions.

- [5:51:54 PM PH 2](#) Consideration of a of a Preliminary Plat Subdivision Application for Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, and represented by Opal Engineering and BYLA, wherein Sunbeam Subdivision Phase I, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement.

[5:52:26 PM](#) Rodrigue turned floor to applicant team.

[5:52:44 PM](#) Samantha Stahlnecker, introduced herself and introduced presentation. Stahlnecker introduced applicant team. Stahlnecker, using presentation on file, summarized design of subdivision and history of project design. Stahlnecker summarized design of phase two and proposed roads, along with garage access for sublots. Stahlnecker explained connectivity design, street parking,

[6:04:01 PM](#) Brent Jacobsen, introduced himself, explained helping with park development. Jacobsen explained proposed connectivity, landscape elements, park design of phase 1 and 2. Jacobsen summarized attempting to complete idea of full park design. Jacobsen explained additions of connector, proposed parking expansion if needed, and pedestrian travel. Jacobsen explained addition of swings, benches, and that overtime additional programs can be added. Jacobsen summarized items to be added.

[6:11:36 PM](#) Stahlnecker provided an overview of park design and additions added.

[6:12:33 PM](#) Scanlon asked about the park and who maintains it. Stahlnecker confirmed City of Hailey owns and maintains the park. Stahlnecker clarified HOA responsibilities towards the park.

[6:13:28 PM](#) Fitzgerald asked about street parking. Stahlnecker clarified street parking on west side of Doc Bar and north side of Mica Street. Stahlnecker noted isolated area for parallel parking along Carbonate Street. Fitzgerald asked if had any feedback on Phase 1 to help guide Phase 2. Stahlnecker explained her connection to board of Sunbeam HOA and that they are very aware of comments received.

Smith will hold comments until after public comment.

[6:16:16 PM](#) Sauerbrey asked what elements are being installed by developer and what is to be done by the City. Stahlnecker clarified items to be done by the developer. Sauerbrey asked about cottage development plans. Stahlnecker confirmed that property would be held to current ordinance. Stahlnecker explained that the cottage developments would go in front of the planning and zoning commission. Stahlnecker asked if concern was that one subplot would be designed and not have a cohesive feel.

[6:20:06 PM](#) Chair Fugate asked if there are bike racks in the parks. Jacobsen stated there are a few in Phase 1 and that will have more in phase 2. Chair Fugate asked if there are cross walks planned. Stahlnecker confirmed there will be crosswalks, noting areas intended for cross walks. Davis confirmed if determined more needed in future city can install. Stahlnecker confirmed connection to pathway off Grays Starlight. Chair Fugate explained her appreciation of the park design. Chair Fugate expressed concerns of water use of dog wash. Stahlnecker clarified at pavilion would have a hose bib to allow for city to hose out the pavilion and at the restroom area would have a water fountain with a dog bowl, no dog wash.

[6:25:14 PM](#) Chair Fugate opened public comment.

[6:25:59 PM](#) Catherine Parris, thanked applicant team for park design. Has comments from others who could not make it tonight. My husband requested that really take into consideration speed along Carbonate –asked 15 MPH with a stop sign; Rob Thomas, address the bike path that it is a safety concern with increased pedestrian traffic along Carbonate Street. For El Dorado Lane, is it a dead end? That if do make it a dead end, that means even more traffic on Myrtle. Does have to wonder the equity about motorized traffic accessing Carbonate

**Due to power outage meeting adjourned. Sunbeam public hearing to be renoticed.**

#### **Staff Reports and Discussion**

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
  - August 19, 2024:
    - DR: Frosty Acres
    - DR PreApp: 1140 Storage

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On August 19, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15). The development consists of eight (8), two story, multifamily buildings comprising sixteen (16) dwelling units in total.

### FINDINGS OF FACT

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on July 31, 2024. No other notices were published, or mailings sent.

**Background and Project Overview:** The Application was submitted on July 18, 2024, and certified complete on July 30, 2024.

Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, requested approval for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15). The development consists of eight (8), two story, multifamily buildings, comprising of sixteen (16) dwelling units in total.

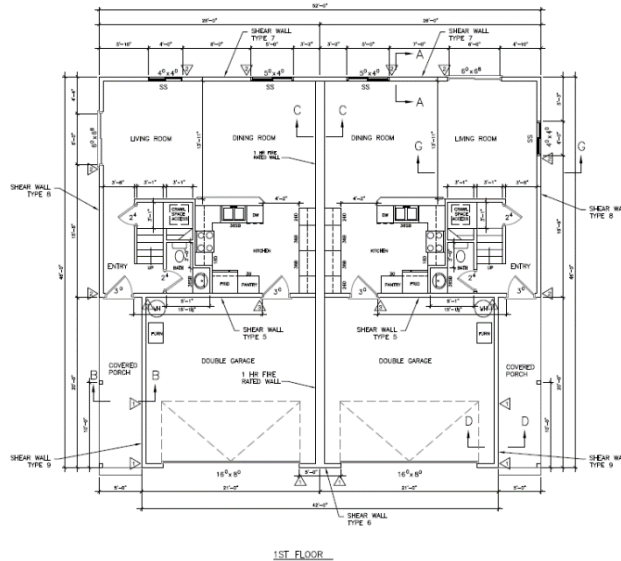
**Reasoned Statement:** These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

Notably, the primary issue of concern with this Application was the provision of specific guidelines related to the process requiring that pursuant Title 17, “Plans and drawings for all buildings, except single-family dwellings and accessory structures, shall be prepared and stamped by an Idaho licensed architect”. The Commission discussed this in great detail and suggested, as a best practice, that City Code align with Idaho State Code. As such, the Commission requested that City Staff initiate a text amendment to amend this section of Hailey’s Municipal Code, requiring and codifying an Idaho licensed design professional rather than an Idaho licensed architect to stamp/certify the required submittal documents of the Design Review process.

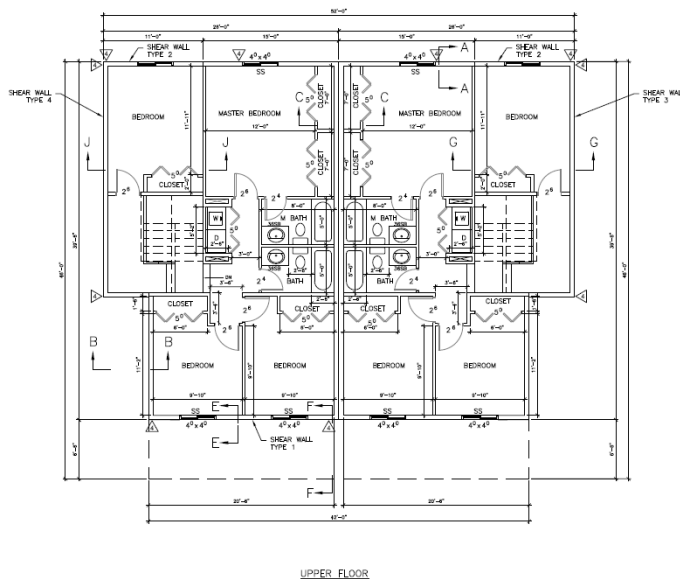
On August 19, 2024, the Commission unanimously approved the Design Review Application submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15).

- Eight (8) townhomes
- Sixteen (16) residential dwelling units are approximately 1,670 square feet in size.
- Deck space approximately 100 square feet in size (per unit)

- 68 onsite parking spaces, located within the garages and within the driveways, as well as additional parking between the buildings.
- **First Floor:**
  - Total living space: 676 square feet per unit
  - Living room, kitchen, dining room & bathroom
  - Double car garage
  - Covered porches



- **Second Floor:**
  - Total living space: 674 square feet per unit
  - 4 bedrooms, 2 bathrooms





Site access is located off the existing public street, Winterhaven Drive, via a new private drive. No parking or vehicular access is proposed from Parcel ZZ (Serenity Lane), as required and contemplated within the recorded Development Agreement.

**Design Review Preapplication:** On April 15, 2024, the Hailey Planning and Zoning Commission heard a Design Review Pre-Application for this project and made the following recommendations/suggestions:

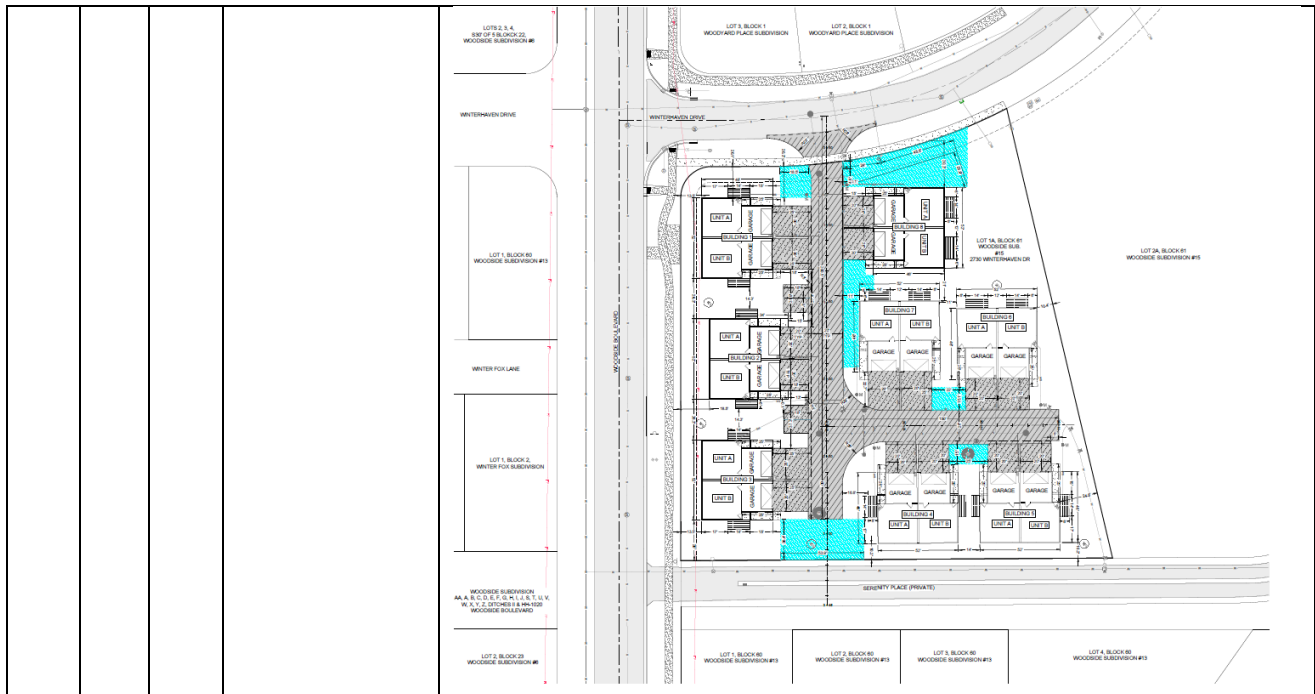
1. **Building Design, Materials, and Colors:** Each multifamily building is proposed to be various shades of grays, Exterior materials incorporate both vertical and horizontal board and batten siding with 8” lap siding (horizontal features) along the lower portion of the garage entry. There is also an 8” horizontal belly band along the upper portion of the buildings. Undulation and visual interest are further enhanced by various sized windows and roof parapets with Black Architectural Asphalt shingles. **The Commission suggested incorporating a horizontal band feature to help break up the first and second floors, as well as the incorporation of different color schemes per duplex building to better define the units. The Commission further suggested the utilization of warmer colors, rather than just brown and grey. The Applicant provided warmer colors as suggested and further notated the color change on the plan set.**
2. **Parking:** Parking requirements for multifamily development projects require 1.5 spaces per unit unless the units are 1,000 square feet or less in size. As noted, there are a total of 16 residential units proposed, of which none of the units are 1,000 square feet in size or less. Each residential unit exceeds 1,000 square feet in size, thereby, the Applicant is required to provide 1.5 spaces per unit. With 16 units in total, and each required to provide 1.5 onsite parking spaces, 24 onsite parking spaces are required for the multifamily development. The Applicant has depicted a total of 32 parking spaces within the proposed garages. An additional parking space has been provided within the driveway/in front of the garages. The overall onsite parking provided exceeds the minimum requirement for onsite parking. **The Commission requested that the Applicant consider providing an additional parking area(s) adjacent to the four-bedroom units. This parking area has been provided as shown on the attached plan set.**
3. **Usable Open and/or Park Space.** Pursuant to the Development Agreement, a total of 1.14 acres of park space and improvements shall be provided, proportionately across each lot. Prior to the issuance of the first building permit for any dwelling on any lot, the Owner(s) of Lots 1A, 2A, and 3A shall provide park space for each lot as described, plus any other improvements required pursuant Hailey’s Municipal Code. For Lot 1A, the following park requirement shall be met:
  - Lot 1A shall provide forty-two hundredths (0.42) acre of park space, or a park in-lieu fee paid.**The Commission agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty-two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.**

**Procedural History:** The Application was submitted on July 18, 2024, and certified complete on July 30, 2024. A public hearing for the project was scheduled before the Planning and Zoning Commission on

August 19, 2024, in the Council Chambers and virtually via Microsoft Teams, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i>
				<b>Water and Sewer:</b>
				<b>Building:</b> <i>No comments</i>
			<b>Streets, Landscaping, Other:</b> <i>Concrete specifications shall be called out on the plans for right-of-way sidewalks. City Standards for traffic and street signs shall also be met. The Applicant shall also install a winter parking restriction sign along Winterhaven Drive.</i>	
			<i>Findings: Compliance. This standard is either not applicable or has been met.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			Staff Comments	<i>N/A, no signage is proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<b>See Section 17.09.040 for applicable code.</b>
			Staff Comments	<i>The proposed project is located within the Limited Business (LB) Zoning District. The Hailey Municipal Code requires a minimum of one and a half (1.5) parking spaces per multifamily units that are larger than 1,000 sq. ft. in size. The project proposes a total of sixteen (16), 1,670 sq. ft. residential units, thereby requiring that at least twenty-four (24) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of 32+ onsite parking spaces to be located within the garages, driveways and an extra two (2) parking pads.</i>
			<i>Findings: Compliance. This standard is either not applicable or has been met.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b>  <b>A. Approval Required:</b> <i>No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission.</i> <i>Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</i>  <i>N/A. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<b>17.08C.040 General Standards</b> a. <b>All exterior lighting shall be designed, located and lamped in order to prevent:</b> 1. <b>Overlighting;</b> 2. <b>Energy waste;</b> 3. <b>Glare;</b> 4. <b>Light Trespass;</b>

				<p><b>5. Skyglow.</b></p> <p><b>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</b></p> <p><b>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</b></p> <p><b>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</b></p> <p><b>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing downcast 12" Wall Sconces, dark sky compliant fixtures. The proposed fixtures are to be located at the front &amp; rear of each townhouse building. The fixtures installed shall be dark sky compliant which has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<p><b>Zoning District: Limited Business (LB)</b></p> <p><b>Maximum Height: 35'</b></p> <ul style="list-style-type: none"> <li>- <b>Front Yard: 20</b></li> <li>- <b>Side Yards: 10</b></li> <li>- <b>Side Yard 10</b></li> <li>- <b>Rear Yard: 10</b></li> <li>- <b>Lot Coverage: No maximum</b></li> </ul>
			<i>Staff Comments</i>	<p><i>Zoning District(s): Limited Business (LB)</i></p> <p><i>Proposed Height: 25'-8"</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>- <i>Front: 20.1 feet</i></li> <li>- <i>Rear: 10.2 feet</i></li> <li>- <i>Side (East): 10.4 feet</i></li> <li>- <i>Side (West) Corner Lot- 13.5'. Where the required front yard setback exceeds the side yard setback in the zoning district in which a lot is located, the side yard setback along the street of a normal corner lot (not reverse corner lot) shall be not less than two-thirds (2/3) the front yard setback requirement.</i></li> </ul> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing to install a new five foot (5') wide sidewalk along the property frontage of Winterhaven Drive connecting to the existing sidewalk along Woodside Blvd. The sidewalk shall be installed, per City Standards, prior to issuance of a Certificate of Occupancy for the last remaining building. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.070(B) Required Water System Improvements</b>	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A - No alley access is proposed. Findings: Compliance. This standard is either not applicable or has been met.

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.
			Staff Comments	<i>The proposed multifamily project follows the general grid pattern of the Woodside Subdivision. The townhomes are oriented both north/south and east/west on the lot. Sun exposure is created by the separation of the units as well as the proposed landscaped open space for residents.</i> Findings: Compliance. This standard is either not applicable or has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be

				<p><b>preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p> <p><i>Staff Comments</i> N/A, as the site does not contain any existing mature landscaping. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p> <p><i>Staff Comments</i> The proposed site circulation has been designed to keep vehicular traffic access and onsite parking to the private access lane off of Winterhaven Drive. The onsite driveways and paver walkway lead to the entryways of each unit providing safe and convenient access. The proposed sidewalk along Winterhaven Drive will connect to the existing sidewalk along Woodside Blvd providing safe access and sufficient circulation to the parcel, as well as the greater surrounding area. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p> <p><i>Staff Comments</i> Each unit will have individual trash cans and recycle containers, which will be walked to the curb along Winterhaven Drive for weekly pickup. A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of. This has been made Condition of Approval. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p> <p><i>Staff Comments</i> N/A -There is no existing alley to be utilized for building services. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p><b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b></p> <p><i>Staff Comments</i> N/A- No vending machines are proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<p>All onsite parking is proposed to be located within the garages, the proposed driveways, as well as the extra parking pads and will be accessed via a private entrance located off Winterhaven Drive. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <p><b>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading</b></p>

				<p>space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</p>
			<i>Staff Comments</i>	<i>N/A, as the proposed use is residential. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>
			<i>Staff Comments</i>	<i>N/A, there is no existing alley, nor is one proposed. The site and onsite parking area can be accessed via the private drive off Winterhaven Drive. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p>
			<i>Staff Comments</i>	<p><i>Onsite snow storage areas are proposed for this parcel in the amount of 5,482 square feet, including the access aisles and driveways.</i></p> <p><i>The improved hardscape for the project is 16,062 square feet which requires 4,016 square feet of snow storage. The Applicant exceeds this requirement with 5,482 square feet of onsite snow storage.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i> Any landscaped areas where snow may be stored is proposed to be landscaped with grass only.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p><b>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>Staff Comments</i> The proposal is for eight (8), two-story townhouse buildings, comprising of sixteen (16) residential units. A variety of homes, single family and multifamily exist nearby, and within the greater Woodside Subdivision. The layout of the individual housing units, the articulation of the rooflines, and the materials complement the surrounding area. The Commission asked the Applicant to incorporate the proposed board and batten and the lap siding (mix it up) into each townhome to add more contrast.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> <div style="text-align: center;"> </div>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>Staff Comments</i> N/A, as the proposed building design is not a standardized corporate building design.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b></p> <p><i>Staff Comments</i>  <i>The proposed design, layout, and separation of the units, open space areas, and various exterior materials emphasize human scale, are pedestrian oriented and encourage human activity.</i></p> <p><i>A variety of landscaping and plant material will also be utilized, which further encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Staff Comments</i>  <i>Various materials and a horizontal band feature have been incorporated along the back elevation, which is visible from Woodside Boulevard, to reduce building mass and large building surfaces. The front elevation wall mass is broken up by various siding materials, various sized windows, and roof parapets.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i>  <i>N/A, as no expansion is planned at this time.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i>  <i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i>  <i>Building colors are shown on the elevations. Colors are broken up on various buildings to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</i></p> <p><i>Building 1: Vertical Board &amp; Batten 8" Lap- Kendall Charcoal (166) with same color trim, Black windows &amp; Black shingles, Light Gray front door &amp; Winchester Gray Trex deck</i></p> <p><i>Building 2: Vertical Board &amp; Batten 8" Lap- Snowbound (7004) with Light French Gray trim, White windows &amp; Black shingles, Light French Gray front door &amp; Winchester Gray Trex deck</i></p> <p><i>Building 3: Vertical Board &amp; Batten 8" Lap- Kingsport Gray (HC-86) with same trim and White windows, Black shingles, Revere Pewter front door &amp; Winchester Gray Trex deck</i></p> <p><i>Building 4: Vertical Board &amp; Batten 8" Lap- Revere Pewter (HC-172) with same trim and Black windows &amp; shingles, Snowbound front door &amp; Winchester Gray Trex deck</i></p>



*Building 5: Vertical Board & Batten 8" Lap- Kendall Charcoal (HC-166) with same trim and Black windows & shingles, Light French Gray front door & Winchester Gray Trex deck*

*Building 6: Vertical Board & Batten 8" Lap- Light French Gray (0055) with Kendall Charcoal trim, Black windows & shingles, Kendall Charcoal front door & Winchester Gray Trex deck*

*Building 7: Vertical Board & Batten 8" Lap- Kingsport Gray (HC-86) with same trim, White windows & Black shingles, Griffin (7026) front door & Winchester Gray Trex deck*

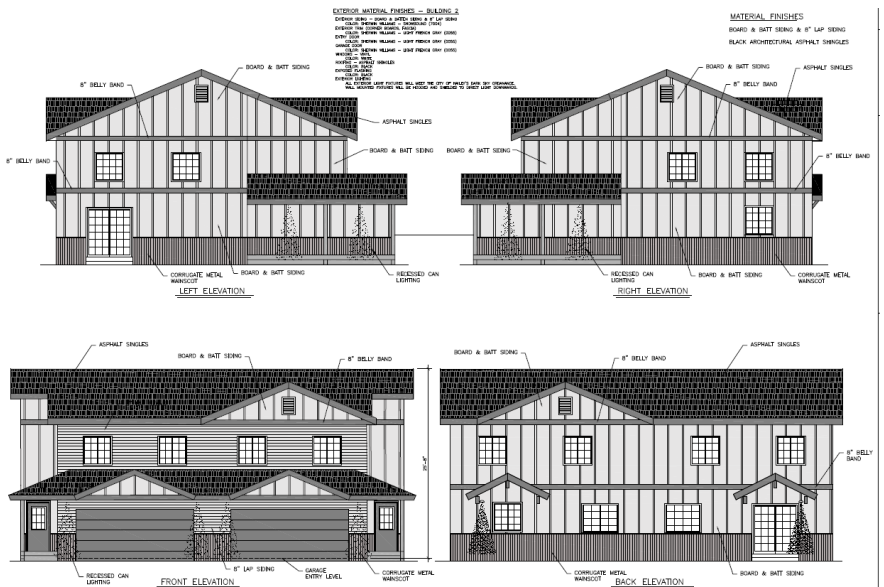
*Budling 8: Vertical Board & Batten 8" Lap- Snowbound (7004) with Light French Gray trim, White windows & Black shingles, Light French Gray door & Winchester Gray Trex deck.*

*The Commission suggested the Applicant shift the proposed townhome colors so there are not two (2) of the same panel colors next to one another. The Commission suggested that the building colors to change: 3 and 7 (Kingsport Grey) and 2 and 8 (Snowbound)*

*Findings: Compliance. This standard is either not applicable or has been met.*

Rockridge Townhomes Exterior materials and colors

Building Siding	House Color	Trim	Windows	Shingles	Front Door	Trex Deck
1 Vertical Board & Batton, 8" Lap	Kendall Charcoal HC-166	Kendall Charcoal HC-166	Black	Black	Light French Gray 0055	Winchester Grey
2 Vertical Board & Batton, 8" Lap	Snowbound 7004	Light French Grey	White	Black	Light French Gray 0055	Winchester Grey
3 Vertical Board & Batton, 8" Lap	Kingsport Gray HC-86	Kingsport Grey	White	Black	Revere Pewter HC-172	Winchester Grey
4 Vertical Board & Batton, 8" Lap	Revere Pewter HC-172	Revere Pewter	Black	Black	Snowbound 7004	Winchester Grey
5 Vertical Board & Batton, 8" Lap	Kendall Charcoal HC-166	Kendall Charcoal HC-166	Black	Black	Light French Gray 0055	Winchester Grey
6 Vertical Board & Batton, 8" Lap	Light French Gray 0055	Kendall Charcoal HC-166	Black	Black	Kendall Charcoal HC-166	Winchester Grey
7 Vertical Board & Batton, 8" Lap	Kingsport Gray HC-86	Kingsport Grey	White	Black	Griffin 7026	Winchester Grey
8 Vertical Board & Batton, 8" Lap	Snowbound 7004	Light French Grey	White	Black	Light French Gray 0055	Winchester Grey



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h
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**h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.**

			<i>Staff Comments</i>	<i>The proposed buildings are two (2) stories in height. The variety of colors utilized, and various siding provide depth, and human scale to the building façades. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li>ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii. Double glazed windows.</li> <li>iv. Windows with Low Emissivity glazing.</li> <li>v. Earth berming against exterior walls</li> <li>vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<p><i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> <li>- All windows will be double glazed</li> <li>- All windows will have low emissivity</li> <li>- Electric Vehicle charging wiring in garages</li> </ul> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p><i>The front and rear pedestrian entrances have covered porches, as well as snow clips which will retain snow and keep pedestrian access points clear. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<p><i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<p><i>NA, as no drive-through canopies are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<p><i>N/A, as a Master Signage Plan is not required of a single-tenant building. Findings: Compliance. This standard is either not applicable or has been met.</i></p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p><b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b></p> <p><i>Staff Comments</i> N/A - No Accessory Structure is proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<p><b>b. Accessory structures shall be located at the rear of the property.</b></p> <p><i>Staff Comments</i> N/A - No Accessory Structure is proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<p><b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b></p> <p><i>Staff Comments</i> N/A - No Accessory structure is proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<p><b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b></p> <p><i>Staff Comments</i> A six foot (6') tall cedar fence is proposed on three (3) of the property lines, excluding Winterhaven Drive. Further restrictions may apply to fencing along corners.</p> <p>The Commission asked the Applicant to reduce the proposed fence to four feet (4') in height to help with the mass of a larger fence. While the Applicant agreed to this, further review of fence location and height will be reviewed by Staff at the time of permit submittal, and regardless, Code will be met. This has been made a Condition of Approval.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	<p><b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b></p> <p><i>Staff Comments</i> N/A, as no roof-mounted mechanical equipment is proposed with this project; however, if so, all roof projections shall be screened from view of onsite parking, adjacent public streets, and adjacent properties.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<p><b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b></p> <p><i>Staff Comments</i> N/A, as no alternative energy sources are proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<p><b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b></p> <p><i>Staff Comments</i> All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles. All trash receptacles are proposed to be kept in the garages and taken out to the curb for pick up.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)3h</b>	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requested that, if applicable, transformer locations be shown on the Building Permit drawings. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)3i</b>	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<p><i>Drought tolerant native compatible plant materials are proposed. The Applicant is proposing native grass and road mix along the perimeter of the lot while keeping more of the maintained grasses within the interior of the lot. The following onsite landscaping is proposed:</i></p> <p><i>Trees (45 total trees):</i></p> <ul style="list-style-type: none"> <li>- 7 street trees, Norway Maple and Little leaf Linden Evergreen Trees 8"-10' or 3 caliper</li> <li>- 5 Deciduous Washington Hawthorn at 2,5" Caliper</li> <li>- 15 Small Evergreen Trees- Rocky Mountain Juniper, Bristlecone Pine and Rotrata Pine - at 6' or 1.5" caliper</li> <li>- 16 Street Trees 2.5 Caliper               <ul style="list-style-type: none"> <li>o 6- Norway Maple Trees</li> <li>o 5 Thornless Honeylocust Trees</li> <li>o 5 Amur Chokecherry Trees</li> </ul> </li> </ul> <p><i>Shrubs (115 total shrubs):</i></p> <ul style="list-style-type: none"> <li>- 30 Ashleaf Spirea, Neon Burst Dogwood at 5 Gallon</li> <li>- 85 Perking Contoneater, Diablo Ninebark, Snowmound Spires, Tor Birchleaf Spirea, Common Snowberry at 5 Gallon</li> </ul> <p><i>Groundcovers, Grasses, and Perennials (186 total groundcovers and perennials, 26,000 Sq. ft. grasses): 1 Gallon</i></p> <ul style="list-style-type: none"> <li>- Ornamental Grasses               <ul style="list-style-type: none"> <li>o Reed Grass, Flam Grass, Blue Oat Grass, Black Eye Susan,</li> </ul> </li> <li>- Perennials               <ul style="list-style-type: none"> <li>o Lavendar and Salvia</li> </ul> </li> </ul> <p><i>While appreciative of the thoughtful and varying plant materials proposed, the proposed 15 Small Evergreen Trees, Rocky Mountain Juniper, Bristlecone Pine and Rotrata Pine - at 1.5" caliper - do not meet City requirements, as outlined 17.06.080(A)4d. The landscaping plan shall be amended to reflect the increase in caliper size. This has been made a Condition of Approval. Findings: Compliance. This standard is either not applicable or has been met.</i></p>

☒	☐	☐	<p><b>17.06.080(A)4b</b></p> <p><i>Staff Comments</i></p>	<p><b>b. All plant species shall be hardy to the Zone 4 environment.</b></p> <p><i>Plant materials will be appropriate for the Zone 4 environment. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
☒	☐	☐	<p><b>17.06.080(A)4c</b></p> <p><i>Staff Comments</i></p>	<p><b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b></p> <p><i>It appears a drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water-wise system. The system is to be installed at the base of all plantings and trees. The irrigation systems shall not be placed against the pavement; they shall be positioned in a way where they will not spray water on the pavement or other hard-scape areas. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
☒	☐	☐	<p><b>17.06.080(A)4d</b></p> <p><i>Staff Comments</i></p>	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b></p> <p><i>Proposed landscaping is varied. A combination of trees, shrubs, groundcover, grasses and perennials will be utilized to soften the site, as well as create visual interest. While varied, the proposed Small Evergreen trees, Rocky Mountain</i></p>

				<p><i>Juniper, Bristlecone Pine and Rotrata Pine (15 in total) do not meet the minimum caliper size of 2.5". The Applicant shall revise the landscaping plan and illustrate compliance with City Standards. The newly revised landscaping plan shall be submitted prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p>
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located within the LI or SCI Zoning District. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p>
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p>
			<i>Staff Comments</i>	<i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p>
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p><b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b></p>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p><b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b></p>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p><b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b></p>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p><b>l. Landscaping should be provided within or in front of extensive retaining walls.</b></p>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p><b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b></p>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard is either not applicable or has been met.</i>

**Additional Design Review Requirements for Multifamily Buildings within the City of Hailey**

**1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<p><b>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</b></p> <p><i>Staff Comments</i>  <i>The proposed building complements the surrounding area and adjacent uses. The proposed residential use is within the Limited Business (LB) Zoning District.</i></p> <p><i>Integration of the buildings into the surrounding site and landscape is an imperative facet of the project. As such, a variety of landscaping and features provide screening for both residents and neighbors alike.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p><b>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b></p> <p><i>Staff Comments</i>  <i>The Applicant is proposing to install a new five foot (5') wide sidewalk along the property frontage of Winterhaven Drive connecting to the existing sidewalk along Woodside Blvd.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p><b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b></p> <p><i>Staff Comments</i>  <i>To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site. The proposed site circulation has been designed to keep vehicular traffic access and onsite parking to the private access lane off of Winterhaven Drive. The onsite driveways and paver walkway lead to the entryways of each unit, providing safe and convenient access. The proposed sidewalk will connect to the existing sidewalks providing safe access and sufficient circulation. There is a small, natural gathering space proposed for the residents of the units, the exterior open space encourages people to connect and enjoy the outdoors while reflecting on the curated surrounding land.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

**2. Building Design: 17.06.080 (D) 2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p> <p><i>Staff Comments</i>  <i>The proposed building design provides a design that responds to the varying character of the city.</i></p>

				<ul style="list-style-type: none"> <li>- <i>The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design.</i></li> <li>- <i>The proposed landscaping plan further separates the building from less intensive uses.</i></li> </ul> <p><i>The proposed residential use is located within the Limited Business (LB) Zoning Districts. This multifamily project creates a natural transition from single family use to higher-density residential use.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p> <p><i>Staff Comments</i> <i>The buildings achieve human scale by prominent entrances, site circulation connections and various exterior materials. The landscaping also maximizes human scale with the various trees, shrubs, groundcovers, grasses, and perennials, as proposed provides screening for both residents and neighbors. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<b>3. Parks, Pathways and other Green Space: 16.04.110 (D) (G)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.110 (D)	<p><b>D. Minimum Requirements: Private Green Space or Common Open Space: Use and maintenance of any privately owned green or common open space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council. Common open space in a cottage development shall serve only the occupants of the development in which it is located and shall meet the requirements of subsection 16.04.110D3: Minipark, as well as subsection 17.06.080F: Design Standards, Cottage Development.</b></p> <p><i>Staff Comments</i> <i>Pursuant the Development Agreement, Lot 1A shall provide forty-two hundredths (0.42) acre of park space for the subdivision, or pay a park in-lieu fee</i></p> <p><i>The Applicant and Staff have agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty- two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>G. Specific Green Space and Common Open Space Standards: If green space is required or offered as part of a subdivision, townhouse, cottage, or condominium developments, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting 1 or more of the criteria):</b></p> <p><b>1. Shall meet the minimum applicable requirements required by subsection D of this section. 2. Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent green space (both existing and potential future space).3. The use of the private green space shall be restricted to parks, pathways, trails or other recreational purposes, unless otherwise allowed by the city.4. The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b></p>



			<i>Staff Comments</i>	<p><i>Per the Development Agreement, Lot 1A shall provide forty-two hundredths (0.42) acre of park space.</i></p> <p><i>The Applicant and Staff have agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty-two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
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**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may

also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.

- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. **Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. **Water and Wastewater:**
    - i. All construction shall be to City Standards.
  - iii. **Streets:**
    - i. Final design and construction plans shall be to City Standards.
    - ii. Concrete specifications shall be called out on the plans set for right-of-way sidewalks.
    - iii. City Standards for traffic and street signs shall also be met.
    - iv. The Applicant shall install a winter parking restriction sign along Winterhaven Drive.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning and Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- j) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- k) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- l) The Applicant shall amend the landscaping plan to increase the caliper size of all trees to two-and-one-half inches (2 ½").
- m) The proposed five foot (5') wide sidewalk along the property frontage of Winterhaven Drive shall be installed prior to the issuance of a Certificate of Occupancy.
- n) The Applicant shall provide a cost estimate for the proposed 0.42 acres of required park space, and associated improvements, prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer.

- o) A Fence Permit shall be applied for prior to installation. Further review of fence location and height will be reviewed by Staff at the time of permit submittal. Code requirements will be met.
- p) The Applicant may submit required plan sets that have been stamped by an Idaho licensed professional rather than an Idaho licensed architect, contingent upon approval of the City-initiated text amendment that modifies Title 17 granting the allowance to do so.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Janet Fugate, Planning and Zoning Chair

Attest:

\_\_\_\_\_  
Jessica Parker, Building Coordinator, Deputy Treasurer

**Return to Agenda**



## Staff Report

### Hailey Planning and Zoning Commission

### Regular Meeting of September 3, 2024

**To:** Hailey Planning & Zoning Commission  
**From:** Robyn Davis, Community Development Director  
Emily Rodrigue, Community Development City and Resilience Planner

**Overview:** Consideration of a Preliminary Plat Subdivision Application of the Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, and represented by Opal Engineering and BYLA, wherein Sunbeam Subdivision Phase I, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement.

**Hearing:** September 3, 2024

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**Applicant:** Marathon Partners, LLC

**Project:** Preliminary Plat Application for Sunbeam Subdivision (Phase II)

**Location:** Sunbeam Subdivision Phase I, Parcels B and C

**Zoning/Size:** Limited Residential (LR-1) and Recreational Greenbelt (RGB); 20.99 acres

**Noticing and Procedure:** The notice for the first public hearing was published in the Idaho Mountain Express on July 16, 2024, and mailed to the Adjoiners on July 16, 2024. Two (2) public comments were received prior to this hearing. At approximately 6:30 PM on August 5, 2024 – one (1) hour after the start of the regularly scheduled Planning and Zoning Commission meeting start time – the Hailey City Hall building experienced an unexpected power outage due to severe storm activity in the area. Virtual meeting connectivity, internet, and indoor lighting were no longer available. Public comment for the Preliminary Plat Application for Sunbeam Phase II was underway when the outage occurred.

After the initial loss of power, the Commission Chair referenced a continuation of the project, on record, to August 19, 2024. On August 6, 2024, after consulting with the City Administrator and City Attorney, it was determined by Staff that a full re-noticing for the Sunbeam Subdivision Phase II Preliminary Plat Application would be most appropriate, as virtual attendees of the August 5, 2024 meeting (of which there were numerous) were not able to receive confirmation of a continuation to a date certain for the project after the outage on August 5, 2024.

Therefore, a second notice for the re-scheduled Public Hearing was published in the Idaho Mountain Express on August 15, 2024 and mailed to the Adjoiners on August 15, 2024.

**Background and Application:** The Applicant, Marathon Partners, LLC, received approval for the Planned Unit Development (PUD) and Preliminary Plat Applications for Phase I of the Sunbeam Subdivision on May 19, 2020. The PUD Agreement, an agreement between Marathon Partners, LLC, and the City of Hailey, authorized the Applicant to develop the large (54.38 acres), vacant parcel nestled between Old Cutters Subdivision to the north, and Deerfield Subdivision to the south, as follows:

**Phase I:** 70 lots/sublots, 85 units in total

- 18 Cottage Units (3 cottage parcels)
- Park Space: 4.54-acre park integrated into the existing Curtis Park, and a 6'-wide pedestrian trail across the northeast corner of Lot 32.
- Conveyance of Well Site

**Phase II:** 42 lots/sublots, 62 units in total

- 20 Cottage Units (3 cottage parcels)
- Park Space: 3.34-acre park integrated into the park space developed in Phase I.

**Total Number of Units Proposed (Phases I and II):** 147 residential units.

**Total Number of Lots Proposed (Phases I and II):** 115 lots/sublots.

**Total Amount of Park Space Proposed (Phase I and II):** 7.88-acre Park/Open Space.

All required components and infrastructure of Phase I are complete (streets, sidewalks, utilities, street trees and street enhancements, and improved park space). All lots have been sold, and construction is currently underway on several of the single-family homes, as well as all of the cottage parcels entitled within this phase (Panorama Point – 10 units; Sunny Townhomes – 8 units). The park space for Phase I, or the 4.54 acre (197,807 square feet) public park, has also been constructed and has been an extremely valuable benefit to the general public, as well as the residents of the subdivision.

**Application:** Now, the Applicant is proposing to complete Phase II, which, if constructed accordingly, would fulfill the PUD Agreement by and between the City of Hailey and Marathon Partners, LLC. The Applicant is proposing to buildout Phase II as contemplated within the approved PUD, or -

**Phase II:** 42 lots/sublots, 62 units in total

- 20 Cottage Units (3 cottage parcels)
- Park Space: 3.34-acre park integrated into the park space developed in Phase I

Marathon Partners, LLC, is proposing to subdivide the remaining land (20.99 acres) into 42 single-family lots, and 20 sublots. The density, and total number of lots and sublots proposed within this phase comply with the approved PUD Agreement.

In Phase I, the Developer chose not to subdivide the cottage lots, but rather, have property owners proceed through the Subdivision and/or Design Review entitlement processes separately. In Phase II, the Developer has chosen to subdivide the parcels earmarked for cottage developments (3 cottage townhouse parcels) into sublots and sell each individual sublot separately. While a different process than that of Phase I, this change in strategy also complies with the approved PUD Agreement, as the overall density and lot/sublot totals remain as negotiated.

**Park/Open Space:** Furthermore, Marathon Partners, LLC, is proposing to naturally integrate an additional open space parcel, approximately 3.34 acres (145,406 square feet) in size, with the existing park/open space; also contemplated within the approved PUD. The total park/open space contribution between the two phases is 7.88 acres. The park area contribution complies with the approved PUD and further exceeds the City's park contribution requirement, as outlined in Title 16.

Staff strongly desire to see Sunbeam’s Phase II park space incorporate active recreational uses that provide benefit to the broader Hailey community, as well as the residents of Sunbeam Subdivision. Upon completion, the Sunbeam Park will be the largest park in the City of Hailey, centrally located and a short bike or drive from north Hailey (Old Cutters, Northridge neighborhoods), Quigley Canyon, Wood River High School/Community Campus, and downtown. The design and function of Sunbeam Park will impart a legacy effect on the character of Hailey; Staff want to ensure that this legacy is embraced by residents and visitors both now and into the future.

The Applicant Team has worked diligently with City Staff to craft a park proposal that incorporates broad recreational benefits, integrates with Phase I park space and nearby Curtis Park, and provides amenities and features that are commensurate with the full scope of the complete Sunbeam Park. At this time, the Applicant is proposing the following park features/amenities for Phase II:

- Extension of existing 8’-wide pedestrian and bicycle path, providing new connection between Phase I’s existing pedestrian/bicycle pathway and the northern extent of Phase II’s park space (*This is described as a “multimodal loop” within the Applicant’s submitted plan sets, shown in red*).
- Extension of existing 5’-wide concrete path/sidewalk, connecting the existing gravel parking area/ADA parking, proposed restroom location, existing play area/tables/benches, and the proposed pavilion area (*This is described as a “connector” within the Applicant’s submitted plan sets, shown in dark blue*).
- Construction of a new gravel adventure trail loop, connecting the existing parking area with the northern half of the complete Sunbeam Park. The adventure trail will meander through extensive landscaping planned for Phase II, as well as a series of locations/”activity pads” that can be transformed into program opportunity sites in the future (bouldering features, art installations, creative seating, etc.) (*This is described as a “pedestrian trail” within the Applicant’s submitted plan sets, shown in light green*).
- Two (2) new play lawn areas, including at least four (4) dedicated shade trees incorporated throughout the play lawn areas.
- Parking area expansion along San Badger Drive, including dedicated parking for service and/or food trucks, and a potential future parking expansion area, as requested by City Staff and shown on the Applicant’s submitted plan sets.
- Additional gravel street parking area, located along Carbonate Street and adjacent to the existing recreational field.
- Large pavilion structure positioned at the center of Sunbeam Park and adjacent to the parking area; concrete pad and timber framing proposed. Feature requested by City Staff, recommended by Parks and Lands Board, and supported by the Applicant Team.

○

This park space plan was presented to the Hailey Parks and Lands Board on Wednesday, July 24, 2024, at which time the Board discussed the proposed Phase II park plan with the Applicant Team. The Board voted unanimously to approve the plan, including – but not limited to - all features shown in the plan set and discussed herein. The Board also provided a formal recommendation for approval by the Hailey City Council and Planning and Zoning Commission for the Phase II park plan, following the July 24<sup>th</sup> meeting.

**Density, Waivers, and Buildout of Phase II:** As a way to reckon with traditional (single-family dwellings accompanied by large backyards) development projects, City Staff and the Applicant negotiated a more creative design and approach via a PUD Agreement. This agreement allowed flexibility in development, reputed archaic zoning requirements that further perpetuated low density developments, and granted waivers of the zoning and/or subdivision code to better implement and support alternative uses for residential lands in Hailey.

The waivers granted included the inclusion of:

- a variety of lot sizes
- a variety of lot widths
- reduced parking for cottage developments, and
- the ability for private streets to service more than five (5) residential units

Accounting for the waivers above, Phase I and Phase II are expected to develop as follows:

Standard	Approved Waiver
§17.05.040 LR-1 Minimum Lot Size: 8,000 square feet	24 lots, 38 cottage sublots Phase I: 11 lots, 18 cottage sublots Phase II: 13 lots, 20 cottage sublots
§17.05.040 LR-1 Minimum Lot Width: 75 feet	29 lots, 38 cottage sublots Phase I: 12 lots, 18 cottage sublots Phase II: 17 lots, 20 cottage sublots
§16.04.060 D 1 Flag Lot Per Subdivision	2 (1 in Phase I, 1 in Phase II)
§16.04.020 L1 Private Road Serves Up to 5 Units	Private streets for ingress to and egress from cottage lot whether or not serving more than 5 residential dwelling units.
§16.04.020 L1 Units Accessed by Private Street Must provide 2 additional parking spaces per units (4 total).	Two parking spaces per cottage lot accessed from a private street.
	Allowance of parking in City Streets.

**Procedural History:** The project, known as Sunbeam Subdivision Phase II, is located in the Limited Residential (LR-1) Zoning District. This parcel was previously known as and annexed into the City of Hailey (October 13, 1981) as Hidden Meadows Subdivision. Hailey Ordinance No. 439 describes the annexation process on file at the Community Development Department.

Sunbeam Subdivision Phase I was submitted on November 1, 2019, and certified complete on November 19, 2019. A public hearing before the Planning and Zoning Commission was held on January 21, 2021, in the Council Chambers of Hailey City Hall. The Planning and Zoning Commission continued the item to February 18, 2020. A second public hearing before the Planning and Zoning Commission was held on February 18, 2020. The Planning and Zoning Commission continued the item to March 2, 2020. A public hearing before the Planning and Zoning Commission was held on March 2, 2020, in the Council Chambers of Hailey City Hall, at which time the Commission unanimously recommended approval of the



plat to the Hailey City Council. The Hailey City Council reviewed the proposed plat and associated PUD on April 27, 2020, May 5, 2020, and May 19, 2020. The Hailey City Council unanimously approved both the Preliminary Plat and Planned Unit Development Applications on May 19, 2020.

The current Application – Sunbeam Subdivision Phase II – was submitted on January 19, 2024, and certified complete on January 25, 2024. While the Applicant intended for a public hearing before the Planning and Zoning Commission to be held on March 4, 2024, park space and civil engineering design details required further discussion and design amendments, and a public hearing was not held. These amendments were addressed throughout the spring and early summer of 2024. With all project plans finalized, a public hearing will now be held on August 5, 2024 in the Council Chambers of City Hall and virtually via Microsoft Teams.

<b>Standards of Evaluation for a Subdivision</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.050</b>	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<p><b>Engineering:</b> <i>All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.</i></p>
			<b>Life/Safety:</b> <i>No comments.</i>	
			<p><b>Water and Wastewater:</b> <i>All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.</i></p> <p><u>Water:</u></p> <ul style="list-style-type: none"> <li>• <i>The Applicant Team shall connect the water valve, located directly south of the north/south intersection of Lots 24 and 25, to the water main located within the Carbonate Street right-of-way. This has been made a Condition of Approval.</i></li> </ul> <p><i>The Water and Wastewater Divisions have provided detailed comments and feedback to the Applicant Team, since their original plan set submission in early 2024. Division Managers do not have any further comments at this time.</i></p>	
			<b>Building:</b> <i>No comments</i>	
			<p><b>Streets:</b> <i>All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.</i></p> <p><i>The Streets Division Manager has provided detailed comments and feedback to the Applicant Team, since their original plan set submission in early 2024. The Streets Division Manager does not have any additional comments at this time.</i></p>	

			<p><b>Parks and Lands Board:</b> <i>At the July 24, 2024 Parks and Lands Board regularly scheduled meeting, the Board voted unanimously to recommend approval of the Sunbeam Park Plan for Phase II by the Planning and Zoning Commission, and the Hailey City Council, which includes the improvements as presented by the Applicant Team, and identified as follows:</i></p> <ul style="list-style-type: none"> <li>• <i>The creation of a Master Plan for Phase II park development, to include updated landscaping plans, all amenities and/or features planned for installation during Phase II build-out, and areas/future uses in the park as contemplated by the Development Team and City Staff.</i></li> <li>• <i>Included within the within the Master Plan and designated for Phase II build-out:</i> <ul style="list-style-type: none"> <li>• <i>Depiction of and installation sites for shade trees within the native lawn/play lawn interface.</i></li> <li>• <i>Pavilion structure, including specific location, size, capacity, and intended materials/design.</i></li> </ul> </li> </ul> <p><i>This recommendation is discussed in further detail throughout this report.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>16.04.010</b> Development Standards</p>	<p><b>Applicability:</b> The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.</p>
			<p><i>Staff Comments</i></p>	<p><i>Please refer to the specific standards as noted herein.</i></p>
<b>16.04.020: Streets:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	<p><b>Streets:</b> Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Development Standards:</b> All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe, and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.</p>
			<p><i>Staff Comments</i></p>	<p><i>Phase I included street connections to Quigley Road, San Badger Drive, and Gray's Starlight Drive. Within the approved PUD, Carbonate Street, Doc Bar Drive, and El Dorado Lane were contemplated as through connections, of which, the Applicant is proposing to complete in Phase II. An alley, 26' in width, and Mica Street, a public street, 60' in width, are also proposed to service and better integrate Phase I and Phase II.</i></p> <p><i>All streets proposed in Phase II are to be public streets, 60-feet in width, except for the parking access lane, which is proposed to meet the standard width of 26'.</i></p>

				<p><i>A Traffic Impact Study was submitted and reviewed during the entitlement process for Phase I. The study addressed the potential traffic impacts associated with the proposed subdivision, as well as offered mitigation measures for existing conditions at key intersections and roadways near the site.</i></p> <p><i>The City hired an independent traffic engineer (Stanley Engineering) to review the Traffic Impact Study, Key Findings, and Recommendations supplied by Hales Engineering. Stanley Engineering concurred with the report conclusions, which are on file in the Community Development Department. Please see also the Traffic Study summary in Section 16.04.070 of this report.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p><b>Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.</b></p>
			Staff Comments	<p><i>N/A, as no cul-de-sacs or dead-end streets are proposed. However, Parcel G represents a 26' wide parking access lane to serve Sublots 1-7. This parking access lane dead-ends to the west, closest to Doc Bar Drive. While not a public or private street, this parking access lane was contemplated by both Public Works and Streets Division Managers, who concurred that a dead-end design would best promote safety and appropriate traffic flow through the Subdivision, given the proposed through connection of El Dorado Lane, directly across from the terminus of Parcel G.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p><b>Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions, or other factors that could limit access.</b></p>
			Staff Comments	<p><i>Phase I required street connections to Quigley Road, San Badger Drive and Gray's Starlight Drive. Phase II, and the approved PUD, contemplates street connections to Carbonate Street, El Dorado Lane, and Doc Bar Drive. More than one access is proposed to eliminate vehicle congestion, and further encourage access and connectivity through the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p><b>Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</b></p>
			Staff Comments	<p><i>It appears that all proposed streets intersect at 90-degree angles and that the proposed streets are separated by 250-890'. Traffic calming measures have also been incorporated within the development – short street sections on Mica Street, incorporation of a 26'-wide parking access lane with a dead-end</i></p>

				<p><i>terminus on the segment adjacent to Doc Bar Drive and El Dorado Lane, and minimal straight street sections.</i></p> <p><i>The Applicant is requesting that, Pursuant Section 16.05.010: Minimum Improvements Required, the City Engineer and City Council will allow for slightly larger intersection separation distances on Carbonate Street and Sunbeam Street. The Commission found the Applicant’s request appropriate, and that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p><b>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</b></p>
			<i>Staff Comments</i>	<p><i>All streets within the subdivision are proposed as public streets. Each street varies in length, right-of-way width and alignment in order to service the proposed subdivision, its lots, and the park/open space.</i></p> <p><i>The City Engineer has analyzed the final design for streets within the subdivision, finding that all centerlines, road curvatures, and traffic calming measures are appropriate for the subdivision.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	<p><b>Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.</b></p>
			<i>Staff Comments</i>	<p><i>The public streets proposed in Phase II (Doc Bar Drive, Carbonate Street, Mica Street, and El Dorado Lane) meet the minimum City standards of 60’ in width. All are consistent with Title 16 and 18.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	<p><b>Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed roadway widths are in accordance the adopted City Standards for road construction.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	<p><b>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor is there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</b></p>
			<i>Staff Comments</i>	<p><i>The subject property is relatively flat. Per the Applicant, no road slopes are proposed to be greater than 6%. Slopes are proposed to be a minimum of 0.5%. Road cross slopes are proposed to be 2.5%.</i></p>

				<i>The Applicant is requesting that, Pursuant Section 16.05.010: Minimum Improvements Required, the City Engineer and City Council will allow for flatter slopes, as it will result in less cut/fill activity and unnecessary peaks and valleys. Both the Commission and Council concurred with this recommendation within Phase I.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<b>Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.</b>
			<i>Staff Comments</i>	<i>Drywells and storm system improvements are proposed along all public streets. The Streets Division will assess the need for additional drainage to better address seasonal (rain on snow) events from any undeveloped portion of Phase I and Phase II.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<b>Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.</b>
			<i>Staff Comments</i>	<i>Street Signage is proposed. The Streets Division recommends that the type and location of street signs be incorporated into the plan prior to final design. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	<b>Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.</b>
			<i>Staff Comments</i>	<i>Proposed street names have been approved by City Staff and by Blaine County. The proposed subdivision name has also been approved by the Blaine County Assessor.</i>
			L.	<b>Private Streets:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	<b>Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.</b>
			<i>Staff Comments</i>	<i>N/A. No private streets are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	<b>Private streets, wherever possible, shall provide interconnection with other public streets and private streets.</b>
			<i>Staff Comments</i>	<i>While it was contemplated that the cottage lots may include private streets within the approved PUD, no private streets are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	<b>The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.</b>

			<i>Staff Comments</i>	<i>While it was contemplated that the cottage sublots may include private streets within the approved PUD, no private streets are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	<b>Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.</b>
			<i>Staff Comments</i>	<i>While it was contemplated that the cottage sublots may include private streets within the approved PUD, no private streets are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	<b>Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.</b>
			<i>Staff Comments</i>	<i>While it was contemplated that the cottage sublots may include private streets within the approved PUD, no private streets are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	<b>Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.</b>
			<i>Staff Comments</i>	<i>While it was contemplated that the cottage sublots may include private streets within the approved PUD, no private streets are proposed at this time.</i>
			M.	<b>Driveways:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	<b>Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.</b>
			<i>Staff Comments</i>	<i>Minimal pathway crossings are preferred. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 2.	<b>Driveways shall be constructed with an all-weather surface and shall have the following maximum roadway widths: a) Accessing one residential unit: twenty feet (20’) b) Accessing two residential units: thirty feet (30’) No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</b>
			<i>Staff Comments</i>	<i>No driveway materials are proposed at this time. All driveway materials and roadway widths shall conform to this standard.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 3.</b>	<b>Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.</b>
			<i>Staff Comments</i>	<i>It appears that no driveway would exceed 150' in length. If so, the International Fire Code shall be met, and the Fire Department will review for said compliance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 4.</b>	<b>Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.</b>
			<i>Staff Comments</i>	<i>This is preferred by the City; however, a plat note addressing driveway maintenance to multiple residential dwelling units is not currently included in this project's Preliminary Plat. The Applicant shall ensure that the parking access lane (Parcels G and H) are maintained by the Sunbeam HOA and/or through a specific plat note. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 5.</b>	<b>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</b>
			<i>Staff Comments</i>	<i>The Applicant has shown a preliminary plat identifying Parcels G and H, which are indicated as parking access lanes and provide vehicular access to Sublots 1-20. However, no plat notes indicate that these parcels are unbuildable or a dedicated parking access easement. The Applicant shall include a plat note, addressing Parcels G and H as unbuildable lots and parking access lanes, prior to receiving any final plat approval for Sunbeam Phase II. This has been made a Condition of Approval.</i>  <i>Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 6.</b>	<b>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</b>
			<i>Staff Comments</i>	<i>Driveways will not impact existing infrastructure and appear compatible with existing and planned residential units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>N.</b>	<b>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<i>Staff Comments</i>	<i>All proposed streets are 60' in width, except for the 26'-wide parking access lane, which complies with City standards. While it was contemplated that the cottage lots may include private streets within the approved PUD, no private streets are proposed at this time. The proposed streets comply with IFC Requirements for fire access to interior lots.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>O.</b>	<b>Fire Lanes: Required fire lanes, whether in private streets, driveways, or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<i>Staff Comments</i>	<i>All proposed streets are 60' in width, except for the 26'-wide parking access lane, which complies with City standards. While it was contemplated that the cottage sublots may include private streets within the approved PUD, no private streets are proposed at this time.</i>

				No fire access lanes are proposed. The proposed streets and parking access lane comply with IFC Requirements for fire access to interior lots.
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</b></p> <p><i>Staff Comments</i> A multi-use path, which functions as a sidewalk, runs along San Badger Drive, connecting Old Cutters Subdivision with Quigley Road. The City sees this as a desirable connection. This path also runs through the proposed park, connecting to Carbonate Street. A separated multi-use asphalt path has also been constructed adjacent to Quigley Road for the project frontage.</p> <p><i>Details of the proposed pathway/sidewalks, as well as drainage shall be addressed via the following Conditions of Approval:</i></p> <ol style="list-style-type: none"> <li>1. Native grass area between pathway and road may be problematic with weeds on a limited landscape budget. It is preferred that the HOA maintain these areas.</li> <li>2. Details for the new pathway/existing Old Cutters sidewalks for the tie in at Doc Bar Drive shall be provided.</li> <li>3. Drywell details and other construction related details shall be provided at final design.</li> </ol> <p><i>The above comments have been made Conditions of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p><b>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b></p> <p><i>Staff Comments</i> Please refer to Section 16.04.030(A) for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p><b>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</b></p> <p><i>Staff Comments</i> Please refer to Section 16.04.030(A) for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p><b>Sites located adjacent to a public street or private street that are not currently through streets, regardless of whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</b></p> <p><i>Staff Comments</i> During Phase I of the project, a 10'-wide separated multi-use asphalt path was constructed through the park/open space, providing pedestrian access to Carbonate Street (an existing dead-end street). The asphalt path also runs the length of San Badger Drive (western side of the proposed street). This pathway allows for connectivity to the existing subdivision, Old Cutters Subdivision. This connection is highly desired.</p> <p><i>The Applicant has incorporated sidewalks to island-like blocks within the proposed subdivision. The Applicant's intent is to include enough sidewalk to walk around each block on the sidewalk.</i></p> <p><i>Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff.</i></p>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	N/A
<b>16.04.040: Alleys and Easements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	N/A, as this development is not located in the Business or Limited Business District.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<b>The minimum width of an alley shall be twenty-six (26') feet.</b>
			Staff Comments	A 26'-wide access lane is proposed running east to west from San Badger Drive towards El Dorado Lane, although this feature is not considered an alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<b>All alleys shall be dedicated to the public or provide for public access.</b>
			Staff Comments	N/A, as no public alleys are proposed for this development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	<b>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</b>
			Staff Comments	Where possible, infrastructure will be installed underground and within the platted parking access lane/.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	N/A, as no alleys in commercial areas are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	<b>Dead-end alleys shall not be allowed.</b>
			Staff Comments	N/A, as no dead-end alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	N/A, as no alleys are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<b>Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	<b>To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-</b>

				<p><b>motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman’s access.</b></p> <p><i>Staff Comments</i> Though the proposed subdivision does not border the Big Wood River, the following easements are shown on the plat for Phase I: 1. Snow storage and public utility easements along all frontages.2. A 20’ private irrigation easement along the north and east boundaries to continue to provide irrigation to existing conifers until all lots are purchased. 3. A 15’ wide sewer easement (located in Block 2, within El Dorado Lane, Phase II), shown graphically and noted in the plat notes. 4. The 20’ wide Hiawatha Canal easement along the west property boundary. This has been modified to encompass all of the canal.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p><b>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</b></p> <p><i>Staff Comments</i> N/A, as no natural resource, riparian area, hazardous area, or other limitation requires an easement for the proposed subdivision.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p><b>To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk, and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</b></p> <p><i>Staff Comments</i> Snow storage easements are proposed along all lot frontages.</p>
<b>16.04.050: Blocks</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	<p><b>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</b></p> <p><i>Staff Comments</i> All proposed blocks are shown on the Preliminary Plat.</p>
<b>16.04.060: Lots</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	<p><b>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The</b></p>

				<p><b>City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</b></p> <p><i>The approved PUD Agreement allows for varied lot sizes, which are proposed within the zoning district. The overall density of the project is less than the 177 lots, which could be created if the Limited Residential (LR-1) Zoning District minimum lot size of 8,000 square feet was utilized.</i></p> <p><i>See also Section 16.04.070 of this Staff Report for additional suggested restrictions on irrigated areas. The Commission found these restrictions appropriate, as the project impacts water pressure in other City neighborhoods, and because water conservation is a desired goal for the City of Hailey. Irrigation water conservation will lessen impacts to water pressure and water use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</b></p> <p><i>One (1) lot in Phase II is more than double the minimum size of the Limited Residential Zone District (minimum size is 8,000 square feet). This lot (Lot 11) has public street frontage along Doc Bar Drive, as well as an adjoining property segment with Parcel D – an alley – serving Block 9 of the adjacent Old Cutters Subdivision. Future re-subdivision may be achieved on this lot through an alley access agreement with the Old Cutters Subdivision, through the creation of a flag lot, or by other means approved by the City Staff. At this time, City Staff are amenable to the entirety of Phase II’s lot arrangement.</i></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p><b>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</b></p> <p><i>N/A, as no double frontage lots are proposed.</i></p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p><b>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</b></p> <p><i>Park and open space are delineated; no unbuildable lots are proposed.</i></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p><b>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be</b></p>

				<p>included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p> <p><i>Staff Comments</i>                  At this time, the Applicant is not proposing any flag lots in Phase II. However, the Sunbeam PUD Agreement grants the Developer one (1) flag lot in Phase II, if they choose to incorporate such a lot.</p> <p>Please refer to Section 16.04.060(A) regarding lots that are more than twice the minimum lot size.</p>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p> <p><i>Staff Comments</i>                  All lots will have frontage on either a public street, or on the parking access lane serving sublots 1-20. This was negotiated and permitted via the recorded PUD Agreement prior to the recordation of Phase I.</p>		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.</p> <p><i>Staff Comments</i>                  N/A, as this project is not located within the Townsite Overlay (TO) Zone District.</p>		
<b>16.04.070: Orderly Development</b>						
<b>Compliant</b>			<b>Standards and Staff Comments</b>			
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</b></p> <p><i>Staff Comments</i>                  The proposed project will consist of two (2) phases of development:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <i>Phase I: 70 Lots, 85 units total</i>                      18 Cottage Units                      12 single family lots less than 8,000 sq. ft.                      55 single family lots greater than 8,000 sq. ft.                 </td> <td style="width: 50%; vertical-align: top;"> <i>Phase II: 45 Lots, 62 units total</i>                      20 Cottage Units                      12 single family lots less than 8,000 sq. ft.                      30 single family lots greater than 8,000 sq. ft.                 </td> </tr> </table> <p><b>Total Number of Units Proposed: 147 units</b>  <b>Total Number of Lots Proposed: 115 Lots</b></p> <p>A 4.54-acre (197,807 square feet) park space parcel was completed in Phase I to benefit the general public and satisfy the City’s Park Contribution. Phase II will provide an additional 3.34 acres of park space development, creating a contiguous 7.88-acre public park.</p>	<i>Phase I: 70 Lots, 85 units total</i> 18 Cottage Units 12 single family lots less than 8,000 sq. ft. 55 single family lots greater than 8,000 sq. ft.	<i>Phase II: 45 Lots, 62 units total</i> 20 Cottage Units 12 single family lots less than 8,000 sq. ft. 30 single family lots greater than 8,000 sq. ft.
<i>Phase I: 70 Lots, 85 units total</i> 18 Cottage Units 12 single family lots less than 8,000 sq. ft. 55 single family lots greater than 8,000 sq. ft.	<i>Phase II: 45 Lots, 62 units total</i> 20 Cottage Units 12 single family lots less than 8,000 sq. ft. 30 single family lots greater than 8,000 sq. ft.					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p><b>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved</b></p>		

				<p><b>and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</b></p>
			<p><i>Staff Comments</i></p>	<p><i>A phasing Plan was contemplated and included within the Sunbeam PUD Agreement. Phase I requirements have been met and/or constructed. Phase II requirements include a 3.34-acre park, forty-two (42) single family lots, and three (3) cottage lots containing twenty (20) cottage units. The Applicant has proposed a 3.34-acre park, forty-two (42) single family lots, and twenty (20) cottage sublots (Blocks 5-7), which will host one (1) cottage unit each. The completed and proposed phasing activities are amenable to City Staff.</i></p>
☒	☐	☐	<p>C.</p>	<p><b>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</b></p> <ul style="list-style-type: none"> <li>a) <b>Provision of on-site or off-site street or intersection improvements.</b></li> <li>b) <b>Provision of other off-site improvements.</b></li> <li>c) <b>Dedications and/or public improvements on property frontages.</b></li> <li>d) <b>Dedication or provision of parks or green space.</b></li> <li>e) <b>Provision of public service facilities.</b></li> <li>f) <b>Construction of flood control canals or devices.</b></li> <li>g) <b>Provisions for ongoing maintenance.</b></li> </ul>
			<p><i>Staff Comments</i></p>	<p><b>a) Provision of on-site or off-site street or intersection improvements.</b>  <i>A Traffic Impact Study was prepared by traffic consultant, Hales Engineering, in 2019 and prior to completion of Sunbeam Subdivision Phase I. A peer review was conducted by Stanley Engineering, and numerous comments were incorporated into the draft that was presented to the Commission.</i></p> <p><i>This study addressed the traffic impacts associated with the proposed Sunbeam Subdivision. Included within the analyses for this study were the traffic operations and recommended mitigation measures for existing conditions, as well as project conditions (conditions after development of the proposed project) at key intersections and roadways near the site. Future 2024 and 2030 conditions were also analyzed. The evening peak hour level of service (LOS) was computed for each study intersection. The results of this analysis are shown in Table ES-1 of the report.</i></p> <p><i>Assumptions: The development will consist of 147 single-family homes. It was assumed that 90 homes would be constructed immediately, a total of 120 homes would be constructed within the next five years, and that all 147 homes would be built by 2030.</i></p> <p><i>The following intersections were studied:</i></p> <ul style="list-style-type: none"> <li>· <i>Main Street (SH-75) / Myrtle Street</i></li> <li>· <i>2nd Avenue / Myrtle Street</i></li> <li>· <i>5th Avenue / Myrtle Street</i></li> <li>· <i>Buttercup Road / Myrtle Street</i></li> <li>· <i>Project Access (Doc Bar Drive) / Myrtle Street</i></li> </ul>

				<ul style="list-style-type: none"> <li>· Project Access (San Badger Drive) / Myrtle Street</li> <li>· El Dorado Lane / Mother Lode Loop</li> <li>· Carbonate Street / 6th Avenue</li> <li>· Main Street (SH-75) / Bullion Street</li> <li>· 5th Avenue / Bullion Street</li> <li>· 2nd Avenue / Croy Street</li> <li>· 4th Avenue / Croy Street</li> <li>· 8th Avenue / Croy Street</li> <li>· Eastridge Drive / Quigley Road</li> <li>· Project Access (Carbonate Street) / Quigley Road</li> <li>· Buckhorn Drive / Quigley Road</li> </ul> <p><i>The report projects the following total traffic volumes:</i></p> <p><i>Phase 1 (Per ITE Trip Gen)</i>  <i>Daily Trips: 944</i>  <i>Morning Peak Hour Trips: 71</i>  <i>Evening Peak Hour Trips: 92</i></p> <p><i>Phase I and Partial Phase II (Per ITE Trip Gen) Daily Trips: 1,230 Morning Peak Hour Trips: 91 Evening Peak Hour Trips: 122</i>  <i>Buildout, Phases I and II (Per ITE Trip Gen)</i>  <i>Daily Trips: 1,464</i>  <i>Morning Peak Hour Trips: 108</i>  <i>Evening Peak Hour Trips: 146</i></p> <p><i>Enter/Exiting Distribution (Per ITE Trip Gen) Daily Trips: 50/50 Morning Peak Hour Trips: 25/75 Evening Peak Hour Trips: 63/37</i></p> <p><i>The report proposes that the trips will be distributed as follows:</i></p> <p><i>Directional Trip Distribution: 60% North, 40% South</i></p> <p><i>Phase I (See Figure 4 of Traffic Study)</i>  <i>North: Gray's Starlight- 20%</i>  <i>San Badger- 40%</i>  <i>South: Quigley Road- 40%</i></p> <p><i>Phase I and Partial Phase II (See Figure 5 of Traffic Study)</i>  <i>North: Gray's Starlight- 15%</i>  <i>San Badger- 20%</i>  <i>Doc Bar- 20%</i>  <i>El Dorado- 5%</i>  <i>South: Quigley - 35%</i>  <i>Carbonate- 5%</i></p> <p><i>Buildout, Phases I and II (See Figure 6 of Traffic Study)</i>  <i>North: Gray's Starlight- 15%</i>  <i>San Badger- 20%</i>  <i>Doc Bar- 20%</i>  <i>El Dorado- 5%</i>  <i>South: Quigley - 35%</i>  <i>Carbonate- 5%</i></p>
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			<p>The complete Traffic Impact Study, dated February 11, 2020, can be found at the link provided: <a href="https://www.haileycityhall.org/meetings/documents/20200212FINALTISSunbeamSubdivision.pdf">https://www.haileycityhall.org/meetings/documents/20200212FINALTISSunbeamSubdivision.pdf</a></p> <p><b>Summary of Key Findings and Recommendations:</b></p> <p>1. <u>Myrtle Street and Main Street</u>: The Main Street (SH-75) / Myrtle Street intersection is currently operating at a poor LOS and is anticipated to continue to operate poorly in all scenarios (the intersection is failing due the fact that Main Street carries a very heavy volume, with few gaps for traffic from Myrtle Street to enter Main Street). <i>Staff Comment: Over the long term, the City of Hailey plans to pursue a traffic light at Myrtle Street and Main Street to create an alternative to the light at Bullion Street.</i></p> <p>At this time the minor street volumes are too low to warrant a traffic signal at the intersection, even with the buildout of this project. <i>Staff Comment: The City will pursue a signal at this intersection despite the “warrant” constraints.</i></p> <p>The City of Hailey could consider striping a left-turn lane and a shared through/right turn lane on the westbound and eastbound approaches of the Main Street (SH-75) / Myrtle Street intersection to reduce delays and queuing.</p> <p>2. <u>Main Street and Bullion street</u>: The study confirms the results of the Quigley Traffic Study, that the intersection of Main Street and Bullion Street is heavily impacted due to the lack of additional signalized intersections in the downtown. Based on queuing in the future (2024) background analysis, City of Hailey could consider changing the westbound and eastbound left-turn phasing at the Main Street (SH-75) / Bullion Street intersection to reduce queueing. Changing the timing of the traffic light to allow westbound permissive protected and eastbound permissive left-turn phasing instead of protected-only left turn phasing may help reduce queue lengths for both approaches.</p> <p>By future (2030) background conditions, the Main Street (SH-75) / Bullion Street signalized intersection is anticipated to operate at LOS E. City of Hailey could consider installing a right-turn pocket on the eastbound approach of the Main Street (SH-75) / Bullion Street intersection. It is anticipated that the Main Street (SH-75) / Bullion Street intersection would operate at LOS D (40.1 sec. of delay per vehicle) with the proposed turn pocket. <i>Staff Comment: This turn pocket will further reduce parking. A better solution may be to pursue traffic lights at both Myrtle Street and Elm Street on Main Street.</i></p> <p>Based on review of the Traffic Impact Study and observation of neighborhood traffic patterns, the Commission and City Staff concurred that discussion regarding the need to improve Seventh Avenue could take place during Phase II of the subdivision. The Public Works Director recommended that, ultimately,</p>
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			<p><i>Seventh Avenue should be improved even though the Traffic Impact Study did not show it to be crucial for circulation.</i></p> <p><b>b) Provision of other off-site improvements.</b> <i>As noted in Section 16.05.040 of this report, a new City well is needed, as this project impacts water pressure in existing neighborhoods (Northridge Subdivision). As part of the entitlement process for Sunbeam Phase I, and as contemplated within the Planned Unit Development Agreement, the Applicant has completed the following:</i></p> <ol style="list-style-type: none"><li><i>1) Conveyed a portion of the Owner’s surface irrigation Water Right No. 37-21112 (amount equivalent to 30 irrigable acres). The conveyance shall be made at the time of recordation of the plat for Phase 2.</i></li><li><i>2) Dedicated land to the City of Hailey to be utilized as a future well site. The well and building shall be developed at the expense of the City in accordance with a design, including sound mitigation measures.</i></li></ol> <p><i>Water consumption was also a point of discussion with a new subdivision that contains larger lots. Hailey’s Resiliency Program is based on a three-legged stool of “Energy, Water and Waste”.</i></p> <p><i>Water is an integral part of that stool. To further reduce consumption of municipal water, the following irrigation restrictions apply:</i></p> <ol style="list-style-type: none"><li><i>A. For lots less than or equal to 8,000 square feet, a maximum of forty percent (40%) of the total land area of each residential lot may be turf.</i></li><li><i>B. For lots greater than 8,000 square feet and less than or equal to 12,000 square feet, a maximum of thirty-five percent (35%) of the total land area of each residential lot may be turf up to a maximum of 3,500 square feet.</i></li><li><i>C. For lots greater than 12,000 square feet and less than or equal to 14,000 square feet, a maximum of thirty percent (30%) of the total land area of each residential lot may be turf up to a maximum of 3,500 square feet.</i></li><li><i>D. For lots greater than 14,000 square feet, a maximum of twenty-five percent (25%) of the total land area of each residential lot may be turf.</i></li><li><i>E. Promotes a low water use landscape through the use of drought tolerant plants either from an approved list or as recommended by a landscape design professional.</i></li><li><i>F. Each residential irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.</i></li></ol> <p><i>The above restrictions have been listed as plat notes on both Phase I and Phase II Plats of the Sunbeam Subdivision.</i></p>
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				<p><b>c) Dedications and/or public improvements on property frontages.</b>  <i>During Phase I, the Applicant proposed to develop the portion of the multi-use separated Quigley Road pathway on the property frontage. This pathway segment has been constructed, with the understanding that Mountain Rides requested land area for a future bus stop in this location, as part of the approved Sunbeam PUD Development Plan.</i></p> <p><i>While Mountain Rides presented this request prior to Phase I deliberations and the 2020 COVID-19 pandemic, long-range route expansion plans for Mountain Rides in the vicinity of Sunbeam Subdivision are now less certain, the Applicant Team has still accommodated for future bus stop areas within both the San Badger right-of-way (70' in width) and along the north side of Quigley Road, directly adjacent to Sunbeam Subdivision. While built infrastructure like bus shelters, concrete pads, lighting, bike racks, etc. has not been installed, sufficient land area for future installation of these features has been provided within the preliminary plat's right-of-way design. Staff confirmed the integration of such land area, and Mountain Rides' continued interest in future transit infrastructure, after publishing the August 5, 2024 version of this Staff Report. This September 3, 2024 Staff Report reflects this project development, and the Conditions of Approval have been updated as such.</i></p> <p><b>d) Dedication or provision of parks or green space.</b>  <i>See multiple Standards of Review in this report regarding the park space dedication, and the amount of park space in excess of City Standards.</i></p> <p><b>e) Provision of public service facilities.</b>  <i>See previous comments regarding a city well site and bus stops needed both on and off-site.</i></p> <p><b>f) Construction of flood control canals or devices.</b>  <i>This property has experienced occasional sheet flooding during rain on snow events when the ground is frozen. The impact and frequency of these events do not warrant further construction of flood control canals or devices.</i></p> <p><b>g) Provisions for ongoing maintenance.</b>  <i>Roads within the subdivision will become public roads maintained by the City of Hailey. The park land will be dedicated to Hailey and maintained by the Parks Division. A Right-of-Way Maintenance Agreement (Instrument # 682178) for Phase I was developed and approved during the Final Plat approval process for Phase I. Staff desire to see an extension of such agreement apply to Phase II as well.</i></p> <p><i>The Applicant shall work internally with City Staff to develop a Right-of-Way Maintenance Agreement for Phase II of Sunbeam Subdivision, or modify the Phase I agreement to include right-of-way maintenance for Phase II. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p><b>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</b></p>

				<ol style="list-style-type: none"> <li>1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</li> <li>2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</li> <li>3. Water main lines and sewer main lines shall be designed in the most effective layout feasible.</li> <li>4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</li> <li>5. Park land shall be most appropriately located on the Contiguous Parcels.</li> <li>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</li> <li>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</li> </ol> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>N/A, as no contiguous parcel is owned by the Applicant.</i>

**16.04.080: Perimeter Walls, Gates, and Berms**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	<i>N/A, as it appears no perimeter walls, gates or landscape berms are proposed.</i>

**16.04.090: Cuts, Fills, Grading and Drainage**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	<i>The site is flat and free of vegetation. No floodplain exists and the parcel is currently utilized as irrigated agricultural land with appurtenant water rights. Due to the site's historic agricultural land use (clear of trees and rocks, well-drained soil), the soil composition is favorable for residential construction, street construction, and the creation of park space.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<i>Staff Comments</i>	<i>At this time, the City Engineer has not required that a Soils Report be prepared and/or submitted.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p><b>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</b></p> <ul style="list-style-type: none"> <li>a) Proposed contours at a maximum of two (2) foot contour intervals;</li> <li>b) Cut and fill banks in pad elevations;</li> <li>c) Drainage patterns;</li> <li>d) Areas where trees and/or natural vegetation will be preserved;</li> <li>e) Location of all street and utility improvements including driveways to building envelopes; and</li> <li>f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.</li> </ul>
			<i>Staff Comments</i>	<i>Preliminary grading, drainage, landscaping, street and utility improvements have been shown on the Civil Plans and/or Landscaping Plans. City Staff have conducted an initial review and any comments and/or concerns are noted herein.</i>
			B.	<b>Design Standards: The proposed subdivision shall conform to the following design standards:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	<p><b>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</b></p>
			<i>Staff Comments</i>	<i>While very little grading will be necessary for the residential lots, as the site is relatively flat, the proposed Phase II park plan shows a variety of undulations and grade changes. The Applicant shall provide a grading plan for Phase II park space, prior to beginning any park space improvements. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p><b>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</b></p>
			<i>Staff Comments</i>	<i>N/A, as none exist onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p><b>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</b></p>
			<i>Staff Comments</i>	<i>Erosion control and re-vegetation shall be included in the final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	<p><b>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</b></p> <ul style="list-style-type: none"> <li>a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing &amp; Materials (ASTM).</li> </ul>

				<p>c) <b>Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</b></p> <p>d) <b>Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</b></p> <p>e) <b>Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</b></p>
			<i>Staff Comments</i>	<i>Proposed grading appears to meet standards; further review by the City Engineer and Streets Division Manager will take place during final design, as well as during project initiation</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	<p><b>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm-water Discharge from Construction Activity” for all construction activity affecting more than one acre.</b></p>
			<i>Staff Comments</i>	<i>The developer has provided storm sewers and drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable federal, state, and local regulations. ,as reviewed by the City Engineer and Public Works and Streets Division Managers.</i>
<b>16.04.100: Overlay Districts</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	<b>Flood Hazard Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p><b>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</b></p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p><b>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</b></p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<p><b>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</b></p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Hillside Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	<p><b>Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.</b></p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<b>Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 3.</b>	<b>All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<b>16.04.110: Parks, Pathways and Other Green Spaces</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
? <input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p><b>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</b></p>
			<i>Staff Comments</i>	<p><i>The Sunbeam Subdivision was originally proposed for development in two (2) phases. To fulfill the Park Area Requirements, the Applicant first dedicated a 197,807 square foot (4.54 acre) park to the City in Phase I of Sunbeam’s development. This park space is complete, and it includes a variety of trees, shrubs, picnic table(s), trash container(s), dog station(s), bike rack(s), park bench(es), play field, slide and sledding hills, and an interconnected pathway and trail system (see image below for further details).</i></p> <p><i>In addition to the Park Space from Phase I, the Applicant is now proposing to develop an additional 145,408 square feet (3.34 acre) of park space in Phase II. Initial Phase II park plans submitted by the Applicant included native lawn and active play lawn space, landscaping, and a basic pathway system that integrated with Phase I park pathways. City Staff expressed their desire to see a more comprehensive park plan that included additional amenities/features, commensurate with the scale of Sunbeam Park at full completion. The Applicant Team retracted their project from the public hearing process upon receiving this feedback from City Staff in March 2024, and they spent considerable time and effort during the spring and early summer of 2024 to revise their park plans.</i></p> <p><i>After numerous meetings, discussions, and plan iterations, the Applicant Team have submitted a park design plan that includes the following features:</i></p> <ul style="list-style-type: none"> <li><i>• Extension of existing 8’-wide pedestrian and bicycle path, providing new connection between Phase I’s existing pedestrian/bicycle pathway and the northern extent of Phase II’s park space (This is described as a “multimodal loop” within the Applicant’s submitted plan sets, shown in red).</i></li> <li><i>• Extension of existing 5’-wide concrete path/sidewalk, connecting the existing gravel parking area/ADA parking, proposed restroom location, existing play area/tables/benches, and the proposed pavilion area (This is described as a “connector” within the Applicant’s submitted plan sets, shown in dark blue).</i></li> <li><i>• Construction of a new gravel adventure trail loop, connecting the existing parking area with the northern half of the complete Sunbeam Park. The adventure trail will meander through</i></li> </ul>

				<p><i>extensive landscaping planned for Phase II, as well as a series of locations/"activity pads" that can be transformed into program opportunity sites in the future (bouldering features, art installations, creative seating, etc.) (This is described as a "pedestrian trail" within the Applicant's submitted plan sets, shown in light green).</i></p> <ul style="list-style-type: none"> <li>• <i>Two (2) new play lawn areas, including at least four (4) dedicated shade trees incorporated throughout the play lawn areas.</i></li> <li>• <i>Parking area expansion along San Badger Drive, including dedicated parking for service and/or food trucks, and a potential future parking expansion area, as requested by City Staff and shown on the Applicant's submitted plan sets.</i></li> <li>• <i>Additional gravel street parking area, located along Carbonate Street and adjacent to the existing recreational field.</i></li> <li>• <i>Large pavilion structure positioned at the center of Sunbeam Park and adjacent to the parking area; concrete pad and timber framing proposed. Feature requested by City Staff, recommended by Parks and Lands Board, and supported by the Applicant Team.</i></li> </ul> <p><i>These new amenities/features are desirable to City Staff, in addition to having received a public hearing process and letter of recommendation from the Hailey Parks and Lands Board (recommendation attached hereto).</i></p> <p><i>The total park/open space contribution proposed between the two phases is 7.88 acres. The contribution exceeds the City's Park Contribution requirement for this subdivision, calculated to be approximately 3.66 acres.</i></p>
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Sunbeam Subdivision Park Space, Phase 1




Sunbeam Subdivision Park Space, Phase II

			<b>A. 1.</b>	<b>Parks:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1. a.	<p><b>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</b></p> <p><b>P = x multiplied by .0277</b></p> <p><b>“P” is the Parks contribution in acres</b></p> <p><b>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</b></p>
			<i>Staff Comments</i>	<p><i>Mathematical calculations of this formula for the submitted plat result in the following requirements:</i></p> <p><b>Project Buildout with Number of Units:</b>  <i>Project Buildout: 132 x .0277 = 3.66 acres (159,429.6 square feet)</i>  <i>Proposed size of Park Parcel – Phase II: 3.34 acre (145,408 square feet)</i></p> <p><i>Total park space for Sunbeam, including existing Phase I and proposed Phase II: 7.88 acres.</i></p> <p><i>The total park/open space proposed is approximately 4.66 acres in excess of the required park space, per the Hailey Municipal Code. This is an additional benefit to the City, which is described in more detail in the original Sunbeam PUD Staff Report.</i></p>



				 <p>Phase I: Greyscale                  Phase II: Color</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	<p><b>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</b></p>
			Staff Comments	<p><i>N/A, as the subdivision is located within the Limited Residential (LR-1) Zone District.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p><b>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</b></p>
			Staff Comments	<p><i>N/A, as no paths are located on the property to be subdivided nor on City property adjacent to the proposed project.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p><b>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</b></p>

				<p>a) <b>By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or</b></p> <p>b) <b>By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</b></p> <p>c) <b>Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</b></p> <p>d) <b>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</b></p>
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<b>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</b>
			<i>Staff Comments</i>	<i>The Hailey Parks and Lands Board discussed the Sunbeam Park proposal at their regularly scheduled meeting on July 24, 2024. A recommendation was provided to City Staff, which outlined the Board’s desire for a pavilion, restroom “pad”/infrastructure for future installment and screening of portable restrooms, shade trees, and a fully realized Master Plan for future programmatic uses, which the City could build-out as time and money allow.</i>
			D.	<b>Minimum Requirements:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	<b>Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.</b>
			<i>Staff Comments</i>	<i>All private green space in Phase II of the Sunbeam Subdivision is limited to that which exists within each lot to be entitled. No additional private green space for signage, Homeowners Association member benefit, or other similar uses is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 2.	<b>Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which</b>

			<p>at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.</p>
		<p><b>Staff Comments</b></p>	<p>Submitted landscape plans propose a variety of trees and shrubs, an irrigation system, drought-tolerant grass, play field, a pavilion, portable restroom pad, area for overflow parking and/or food truck staging, fitness stations benches, and gravel and concrete trails/pathways (with connections to existing pathways from the Phase I park space).</p>  <p>The Applicant is also proposing the following trees to be incorporated within the park during Phase II of the project:</p> <ul style="list-style-type: none"> <li>- Ten (10) Sugar Maple of 3" caliper</li> <li>- Ten (10) Russian Hawthorn of 2" caliper</li> <li>- Ten (10) Swamp White Oak of 4" caliper</li> <li>- Ten (10) Black Locust of 2" caliper</li> <li>- Ten (10) Japanese Tree Lilac of 2" caliper</li> </ul> <p>The following shrubs are also proposed to be incorporated within the park during Phase II of the project:</p> <ul style="list-style-type: none"> <li>- Twenty-seven (27) Canadian Serviceberry</li> <li>- Forty (4) Nanking Cherry</li> <li>- Eight (8) Chokecherry</li> <li>- Twenty-seven (27) Skunkbush Sumac</li> <li>- Twenty-four (24) Flame Willow</li> </ul>

			<p><i>Per the Hailey Municipal Code, Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of two and a half (2.5") inch caliper or larger.</i></p> <p><i>In Phase II, the Applicant is proposing a total park space of 3.34 acres in size; therefore, a total of 50 trees are required.</i></p> <p><i>The Applicant is proposing a total of 50 trees. Of the 50 trees required, eight (8) trees shall be of two and a half (2.5") inch caliper or larger. The Applicant is proposing twenty (20) trees of two and half (2.5") inch caliper or larger. The standard for caliper size/tree planting ratio has been met.</i></p> <p><i>The Hailey Municipal Code further states that a maximum of 20% of any single tree species may be used (10 trees in total). The Applicant is proposing a total of 10 trees for each of the selected species (Quercus Alba). This Code requirement has been met.</i></p> <p><i>Water conservation will be incorporated into the Maintenance Agreement developed for the public rights of way (see Conditions of Approval).</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>D. 3.</b></p> <p><b>Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.</b></p> <p><i>Staff Comments</i> N/A, as no mini park is proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>D. 4.</b></p> <p><b>Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.</b></p> <p><i>Staff Comments</i> N/A, as no park/cultural space is proposed at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>D. 5.</b></p> <p><b>Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</b></p>

			<i>Staff Comments</i>	<i>N/A, as no pathways are proposed in a separate right-of-way. All pathways are proposed to be constructed in either road rights-of-way or within the park/open space parcels.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<b>Specific Park Standards: All Parks shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	<b>Shall provide safe and convenient access, including ADA standards.</b>
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	<b>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents, or employees of the development.</b>
			<i>Staff Comments</i>	<i>No gates or restricted access are proposed. Whether private or public, the remaining park space shall be dedicated as public space to benefit the development and allow for public access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 4.	<b>Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways, and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</b>
			<i>Staff Comments</i>	<i>The size of the proposed park space is configured in such a way that is welcoming to intended users. The proposed park space shall be dedicated as public space to benefit the development, allow for public access, shall be unbuildable, and shall not be subdivided. It is accessible from Carbonate Street and San Badger Drive for non-resident users.</i>  <i>The proposed parcel is not located in drain ways, floodways, or wetland areas. No non-recreational buildings are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 5.	<b>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</b>
			<i>Staff Comments</i>	<i>The proposed park space does not appear to have a negative impact on adjacent properties and appears to enhance the character of the area. A slight landscape buffer is also proposed to separate the park space from the neighboring properties to the north.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	<b>Shall require low maintenance or provide for maintenance or maintenance endowment.</b>
			<i>Staff Comments</i>	<i>The Applicant Team is proposing low maintenance landscaping, including turf, which will require trimming and mowing. A Maintenance Plan shall be provided. This has been made a Condition of Approval. Water rights are also proposed to be dedicated to service the new park. However, a backup system will likely be required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	<b>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 1.	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<i>Staff Comments</i>	<i>All pathways and/or sidewalks are proposed to be constructed in either road rights-of-way or within the park/open space parcels. Said pathways provide connectivity to adjacent neighborhoods, as well as circulation within the subdivision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 2.	<b>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</b>
			<i>Staff Comments</i>	<i>All pathways and/or sidewalks are proposed to be constructed in either road rights-of-way or within the park/open space parcels. Said pathways provide connectivity to adjacent neighborhoods, as well as circulation within the subdivision.</i>
			G.	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 1.	<b>Shall meet the minimum applicable requirements required by section 4.10.04 of this section.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<i>Staff Comments</i>	<i>The proposed park space (Phase II) complements that of the completed open space (Phase I), creating one large, cohesive park. The park space nicely integrates and complements Curtis Park, an existing City park that abuts the proposed development. The proposed design is contiguous and interconnecting with the proposed open space and Curtis Park.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	<b>The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional private green space is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<i>Staff Comments</i>	<i>Draft C.C. &amp; Rs have been submitted. Maintenance shall be managed and funded by the Subdivision's HOA, should any private space be proposed in the future.</i>
			H.	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A, as no in-lieu contributions are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 2.	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances.</b>

				<b>The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 3.	<b>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction, and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 4.	<b>In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<b>16.05: Improvements Required:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<b>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</b>
			<i>Staff Comments</i>	<i>The Applicant intends to construct all necessary infrastructure to City Standards and procedures, if the project is approved. This includes sidewalks, curb and gutter (where applicable), truncated domes at pedestrian crosswalks and intersections, street trees, irrigation, drywells, and catch basins. It is also an option for the Applicant Team to pay in-lieu fees for any right-of-way infrastructure that is not planned for completion in the Subdivision’s build-out. This option was exercised by the Applicant during Phase I, where concrete sidewalks (no curb and gutter) were developed on certain sides of public streets in the Subdivision, an asphalt pathway was installed along San Badger Drive and within Phase I park space, and the Quigley Road pathway was installed along Sunbeam’s Quigley Road frontage. Please refer to the Sunbeam Subdivision, Preliminary Plat Phase I Staff Report to City Council (May 19, 2020) for further discussion of sidewalk design and placement and asphalt pathway construction deliberations for Phase I.</i>

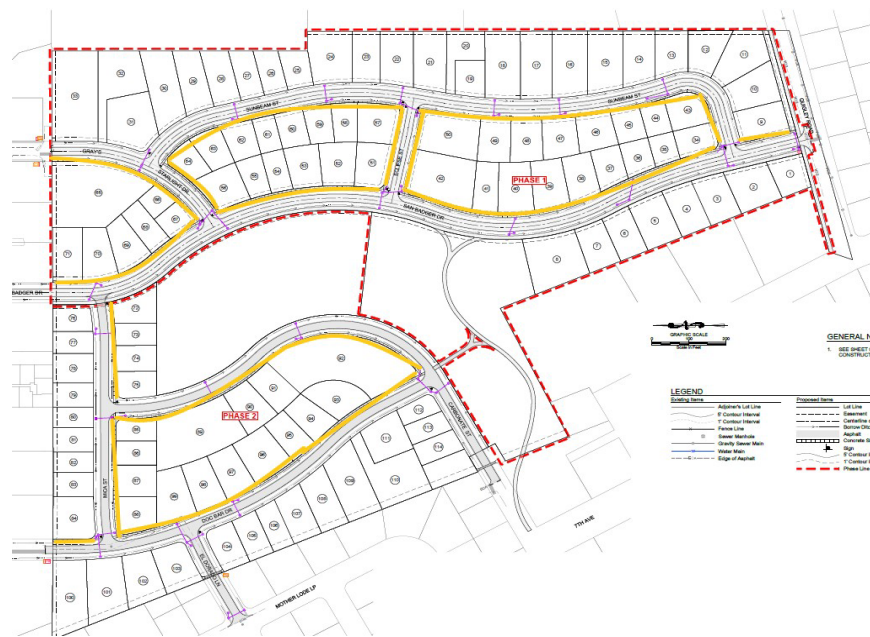
				<p><i>Ultimately, the cost of construction for the asphalt pathways completed in Phase I exceeded the calculated sidewalk in-lieu fees. As discussed by Council and approved within the April 26, 2021 Findings of Fact for Sunbeam Phase I, Final Plat, the cost for onsite pathways in excess of the calculated sidewalk in-lieu fees was to be carried forward to Phase II as a credit against future sidewalk in-lieu fees. This carry forward credit is in the amount of \$14,292.36. The Applicant may utilize this credit toward the calculated in-lieu fees for any sidewalks/right-of-way infrastructure not constructed by the Applicant Team in Phase II.</i></p> <p><i>The Applicant shall supply City Staff with a contractor estimate for all required sidewalk/right-of-way improvements required for Phase II, to be approved by the City Engineer, and all payments for associated in-lieu fees shall be made prior to recordation of Sunbeam Subdivision Phase II's Final Plat. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</b></p> <p><i>Staff Comments</i> <i>This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p><b>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</b></p> <p><i>Staff Comments</i> <i>This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p><b>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.</b></p> <p><i>Staff Comments</i> <i>This standard will be met.</i></p>
<b>16.05.020: Streets, Sidewalks, Lighting, Landscaping</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p><b>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</b></p> <p><i>Staff Comments</i> <i>All public infrastructure shall meet City specifications. No streetlights are proposed at this time.</i></p> <p><i>In the Applicant's original proposal, in-lieu of concrete sidewalks, a 10'-wide separated multi-use asphalt path was proposed. For Phase I, this path</i></p>



paralleled Starlight Drive and Carbonate Street to the west. The path also meandered through the proposed park/open space. A separated multi-use asphalt path was also proposed adjacent to Quigley Road for the project frontage (see comments noted above regarding the completion of this path and contributions from Quigley Farm Development above).

Upon their initial review the Commission recommended that the Applicant refine the proposed Phase I plat to consider the following:

- **Consider additional sidewalks within the proposed subdivision.** This was a common discussion point at the January 21, 2020 public hearing. Sidewalks, site circulation and pedestrian-friendly subdivisions were noted in public comment. The Applicant modified the Application to incorporate sidewalks surrounding island-like blocks within the proposed subdivision. The Applicant’s intent was to include enough sidewalk to walk around each block on the sidewalk. A multi-use path, which functions as a sidewalk, runs along San Badger Drive, connecting Old Cutters Subdivision with Quigley Road. This path also runs through the proposed park, connecting to Carbonate Street



At the February 18, 2020 hearing, the Commission commended the Applicant Team for the addition of sidewalks and their ability to better meet the needs of the residents of Hailey.

Additionally, the Applicant proposed to develop the portion of the multi-use separated Quigley Road pathway along the property frontage, which the Commission concurred with. Mountain Rides also requested land area for a future bus stop in this location, which would result in a slight redesign of the path such that it be located behind a future bus stop.

While Mountain Rides presented this request prior to Phase I deliberations and the 2020 COVID-19 pandemic, long-range route expansion plans for Mountain Rides in the vicinity of Sunbeam Subdivision are now less certain. The Applicant Team has still accommodated for future bus stop areas within both the San Badger right-of-way (70' in width) and along the north side of Quigley Road, directly adjacent to Sunbeam Subdivision. While built infrastructure like bus shelters, concrete pads, lighting, bike racks, etc. has not been installed, sufficient land area for future installation of these features has been provided within the preliminary plat's right-of-way design. Staff confirmed the integration of such land area, and Mountain Rides' continued interest in future transit infrastructure, after publishing the August 5, 2024 version of this Staff Report. This September 3, 2024 Staff Report reflects this project development, and the Conditions of Approval have been updated as such.

In Phase II, the Applicant is proposing to construct concrete sidewalk within Blocks 1 and 4-7, although sidewalks are not proposed on both sides of the proposed public streets. Proposed sidewalk segments for Phase II are shown below in red:



The Applicant shall supply City Staff with a contractor estimate for all required sidewalk/right-of-way improvements required for Phase II, to be approved by the City Engineer, and all payments for associated in-lieu fees shall be made prior to recordation of Sunbeam Subdivision Phase II's Final Plat

For further details, comments and/or concerns noted by City Staff with regard to Streets, Sidewalks, Lighting and Landscaping, please refer to Section 17.06.050.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p><b>Street Cuts:</b> Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Any and all proposed street cuts shall be per this standard and shall be approved by the Streets Division prior to construction.</i></p> <p><i>All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<p><b>Signage:</b> Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.</p>
			<i>Staff Comments</i>	<p><i>All proposed street names have been reviewed and approved by the City and the Assessor's Office.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<p><b>Streetlights:</b> Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no streetlights are required nor shown and/or proposed.</i></p>
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.030</b>	<p><b>Sewer Connections:</b> The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p><i>Sewer services are shown from each lot and connecting into an eight (8") inch sewer main. Connection details to the existing sewer system shall be approved by the Wastewater Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i></p> <p><i>Other recommendations and/or comments made by the Wastewater Division include:</i></p>

				<ol style="list-style-type: none"> <li>1. As stated in prior reviews, the sewer effluent will need to be split so a portion transmits southerly, and a future portion transmits westerly. A sewer profile shall be provided for review.</li> <li>2. A minimum 6" sewer service is recommended for future redevelopment parcels 14. This will be required at final design.</li> </ol>
<b>16.05.040: Water Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</b></p>
			<i>Staff Comments</i>	<p><i>Water services are shown from each lot and connecting into an eight (8") inch water main. Connection details to the existing water system shall be approved by the Water Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i></p> <p><i>Please refer to Section 16.04.070(C) regarding municipal potable water use relative to water conservation.</i></p> <p><i>Brief Recap: The 2020 Northridge Pressure Study determined the minimum pressure in the Northridge/Old Cutters area was 32-36 psi and recommended solutions that would result in a projected increase to 45 psi (DEQ required minimum pressure is 40 psi). The recommended improvements are proposed to be incorporated into a pending Capital Improvement Plan project list for completion in the near future.</i></p> <p><i>The SPF Water Analysis for the proposed Sunbeam Subdivision, dated February 3, 2020, used the 2020 Northridge Pressure Study Model to assess impacts with the assumption that recommended improvements are in place. This analysis determined that the addition of Sunbeam Subdivision, with the proposed irrigation demands, would reduce the “to be achieved” Northridge/Old Cutters water pressure from 45 psi down to 43 psi upon completion of both phases. The SPF Analysis also determined that fire flows are acceptable and may be slightly improved over existing conditions.</i></p> <p><i>The 2015 Facilities Planning Study Capital Improvement Project #10 is construction of a new well at an estimated cost of \$732,000 excluding land acquisition. The recently completed 2020 Northridge Pressure Study also recommended commencing the process of constructing a new well</i></p>

				(Alternatives 4A/B/C) with the estimated cost of approximately \$1.05 million excluding land and water right acquisition. As such, the Applicant contributed monetary funds and land for the development of a new well. Both the Commission and Council found these contributions adequate, further complying with the standards noted herein.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<i>Staff Comments</i>	<i>N/A, as this project is not within the Townsite Overlay (TO) District.</i>
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<b>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</b>
			<i>Staff Comments</i>	<i>Drainage details have been submitted. Review of drainage calculations will take place during final design. Design appears to be sufficient for anticipated runoff.</i>
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<b>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</b>
			<i>Staff Comments</i>	<i>Utilities will be constructed and installed underground. This has been made a Condition of Approval.</i>
<b>16.05.070: Parks, Green Space</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	<b>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further detail.</i>
<b>16.05.080: Installation to Specifications; Inspections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<b>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</b>
			<i>Staff Comments</i>	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure compliance with the Hailey Municipal Code.</i>  <i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i>
<b>16.05.090: Completion; Inspections; Acceptance</b>				

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p><b>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</b></p> <p><i>Staff Comments</i> This standard shall be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p><b>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</b></p> <p><i>Staff Comments</i> N/A, as completion of all major infrastructure by the Developer is preferred over bonding.</p>
<b>16.05.100: As Built Plans and Specifications</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	<p><b>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)</b></p> <p><i>Staff Comments</i> As built drawings will be required. This standard will be met.</p>

The Commission recommends approval of the Sunbeam Preliminary Plat Subdivision (Phase II), subject to the following Conditions:

**General Conditions:**

1. This project is a phased project and is a Planned Unit Development (PUD). This approval is for Phase II of the overall plan.
2. All Fire Department and Building Department requirements shall be met.
3. Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
4. All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
5. The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a Phasing Agreement.
6. Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
7. Any Application Development Fees shall be paid prior to recordation Final Plat.
8. The Applicant shall obtain a Site Alteration Permit prior to any development occurring.
9. The Applicant shall submit an Erosion Control Plan prior to recordation of Final Plat.
10. The Applicant shall submit a Site Alteration Permit prior to construction.

**Streets and Right-of-Ways:**

11. All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards

where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:

- A. The Applicant shall submit a Street Signage Plan, Traffic Control Plan, and Construction Staging Plan at final design.
- B. The Applicant shall supply City Staff with a contractor estimate for all required sidewalk/right-of-way improvements required for Phase II, to be approved by the City Engineer, and all payments for associated in-lieu fees shall be made prior to recordation of Sunbeam Subdivision Phase II's Final Plat.
- C. The Applicant shall work internally with City Staff to develop a Right-of-Way Maintenance Agreement for Phase II of Sunbeam Subdivision, or modify the Phase I agreement to include right-of-way maintenance for Phase II.
- D. All proposed roads within the development shall be dedicated public streets according to City Standard 12.04.010, shall allow public parking and be subject to all other uses and restrictions identified in City Code, with the exception of any parking access lanes approved as part of development of cottage lots.
- E. The Applicant shall include a plat note, addressing Parcels G and H as unbuildable lots and parking access lanes, prior to receiving any final plat approval for Sunbeam Phase II.
- F. Vision triangles shall be unobstructed at intersections. This shall be shown on the Civil Plans at final design.
- G. The Applicant shall ensure that the parking access lane (Parcels G and H) are maintained by the Sunbeam HOA and/or through a specific plat note .
- H. The Subdivision's HOA shall keep the 10'-wide multi-use path along San Badger Drive free of snow year-round commencing at the time of Phase II final plat recordation.
- I. All utilities shall be installed underground.
- J. A portion of Doc Bar Drive within the Old Cutters Subdivision is unpaved. The Applicant shall pave this portion of the street prior to final plat approval of Phase II.
- K. Canal crossing/Culvert details for the pathway canal shall be provided at final design.
- L. Drywell and other construction details shall be provided at final design.
- M. The Sunbeam HOA shall maintain the native grass area between pathway and road.
- N. Details for the new pathway/existing Old Cutters sidewalks for the tie in at Doc Bar Drive shall be provided.
- O. Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.

**Water and Wastewater:**

12. All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards

where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:

- A. Water valve locations shall be provided at final design.
- B. The Applicant Team shall connect the water valve, located directly south of the north/south intersection of Lots 24 and 25, to the water main located within the Carbonate Street right-of-way.
- C. Proposed tree plantings shall not be located within 5' feet of the water main, water services or water vaults. Trees located within 5-10' of water mains shall be the Applicant's responsibility to replace if damaged due to water main repair or maintenance.
- D. Water mains shall be located a minimum of 5' feet from the property lines or other obstructions (i.e., trees, etc.).
- E. The sewer effluent shall be split so Phase I transmits southerly and Phase II portion transmits westerly. A sewer profile shall also be provided at final design.
- F. A minimum 6" sewer service shall be installed for future redevelopment parcels (i.e., Lots 8, 42, 50 and 65).

**Parks and Open Space:**

- 13. Final design for the Phase II Park, including detailed review of improvements, shall be approved by the City Council prior to preliminary plat approval.
- 14. The Applicant shall provide a grading plan for Phase II park space, prior to beginning any park space improvements.
- 15. The Applicant shall develop and construct the Phase II park with all design elements, amenities, and/or features shown on the submitted Phase II park plans, unless a change request is granted by City Staff and documented in the project file.

**Motion Language:**

**Approval:** Motion to approve the Preliminary Plat Subdivision Application of the Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, and represented by Opal Engineering and BYLA, wherein Sunbeam Subdivision Phase II, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement, finding that the application meets all City Standards, and that Conditions (1) through (15) are met.

**Denial:** Motion to deny the Preliminary Plat Application of the Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, wherein the Sunbeam Subdivision Phase II, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement, finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].



# SUNBEAM SUBDIVISION, PHASE 2

## HAILEY, IDAHO

### JANUARY 2024

#### GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPW 802, TYPE I (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPW 802, TYPE II (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPW 703.3.5), AND POST POUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPW STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED. AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- BOUNDARY INFORMATION SHOWN HEREON IS PER A FINAL PLAT OF SUNBEAM SUBDIVISION PHASE 1. EXISTING CONDITIONS ARE BASED UPON A SURVEY BY GALENA ENGINEERING AT THE IN LOCATIONS (EL DORADO LANE, CARBONATE STREET, AND DOC BAR DRIVE). OTHER EXISTING CONDITIONS ARE APPROXIMATE PER AS-BUILT CONDITIONS OF SUNBEAM SUBDIVISION PHASE 1. EXISTING CONDITIONS SURVEY AT MICA STREET CONNECTION TO SAN BODGER DRIVE TO BE COMPLETED PRIOR TO CONSTRUCTION DESIGN.



VICINITY MAP  
N.T.S.

#### LEGEND

EXISTING ITEMS	PROPOSED ITEMS
BOUNDARY LINE	PROPERTY LINE
ADJOINER'S LOT LINE	PROPOSED VACATED LOT LINE
CENTERLINE OF RIGHT OF WAY	EASEMENT, TYPE AND WIDTH AS SHOWN
EASEMENT, TYPE AND WIDTH AS SHOWN	CENTERLINE
5' CONTOUR INTERVAL	5' CONTOUR INTERVAL
1' CONTOUR INTERVAL	1' CONTOUR INTERVAL
FLOW LINE	ASPHALT
SECTION LINE	CONCRETE SIDEWALK
FENCE LINE	GRAVEL
SEWER MAIN	ADA ACCESS TRUNCATED DOME
SEWER SERVICE	8" WATER MAIN
SEWER MANHOLE	6" WATER SERVICE
8" WATER MAIN	WATER METER
WATER SERVICE	WATER VALVE
WATER METER	WATER MAIN FITTINGS
WATER VALVE	SEWER MAIN
STORM DRAIN	SEWER SERVICE
CATCH BASIN	SEWER MANHOLE
DRY WELL	STORM DRAIN
FIRE HYDRANT	CATCH BASIN
WATER MAIN FITTINGS	DRYWELL
CULVERT	FLOW LINE
ASPHALT	CULVERT
GRAVEL	STOP & STREET SIGN
CONCRETE SIDEWALK	LOT NUMBER
FIBER OPTIC BOX	SUBLOT NUMBER
GAS MAIN	
CABLE TV BURIED	
CABLE TV RISER	
BURIED TELEPHONE LINE	
TELEPHONE RISER	
BURIED POWER LINE	
POWER BOX	
CONIFER TREE	
DECIDUOUS TREE	
DRIFLINE OF VEGETATION	

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SHEET#	DESCRIPTION
C0.1	COVER SHEET

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- C1.2 ROAD PLAN AND PROFILE: CARBONATE STREET (STA 55+50 TO STA 61+50)
- C1.3 ROAD PLAN AND PROFILE: CARBONATE STREET (STA 61+50 TO END)
- C1.4 ROAD PLAN AND PROFILE: DOC BAR DRIVE (BEGINNING TO STA 7+00)
- C1.5 ROAD PLAN AND PROFILE: DOC BAR DRIVE (STA 7+00 TO END)
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- C2.2 SEWER PLAN AND PROFILE: DOC BAR DRIVE
- C2.3 SEWER PLAN AND PROFILE: MICA STREET
- C2.4 SEWER PLAN AND PROFILE: ALLEY
- C2.5 WATER PLAN
- C2.6 SEWER DETAILS, WATER AND SEWER CONSTRUCTION NOTES
- C2.7 WATER DETAILS

**DEVELOPER**  
MARATHON PARTNERS, LLC  
PO BOX 3119  
KETCHUM, IDAHO 83333

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, P.E.  
OPAL ENGINEERING, PLLC  
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**LAND SURVEYOR**  
MARK PHILLIPS, PLS  
PHILLIPS LAND SURVEYING, PLLC  
931 CHERRY CREEK DRIVE  
HAILEY, IDAHO 83333

**LANDSCAPE ARCHITECT**  
BEN YOUNG, LA  
BYLA  
323 N. LEWIS STREET  
KETCHUM, IDAHO 83340



REVISION NO.	DATE	DESCRIPTION



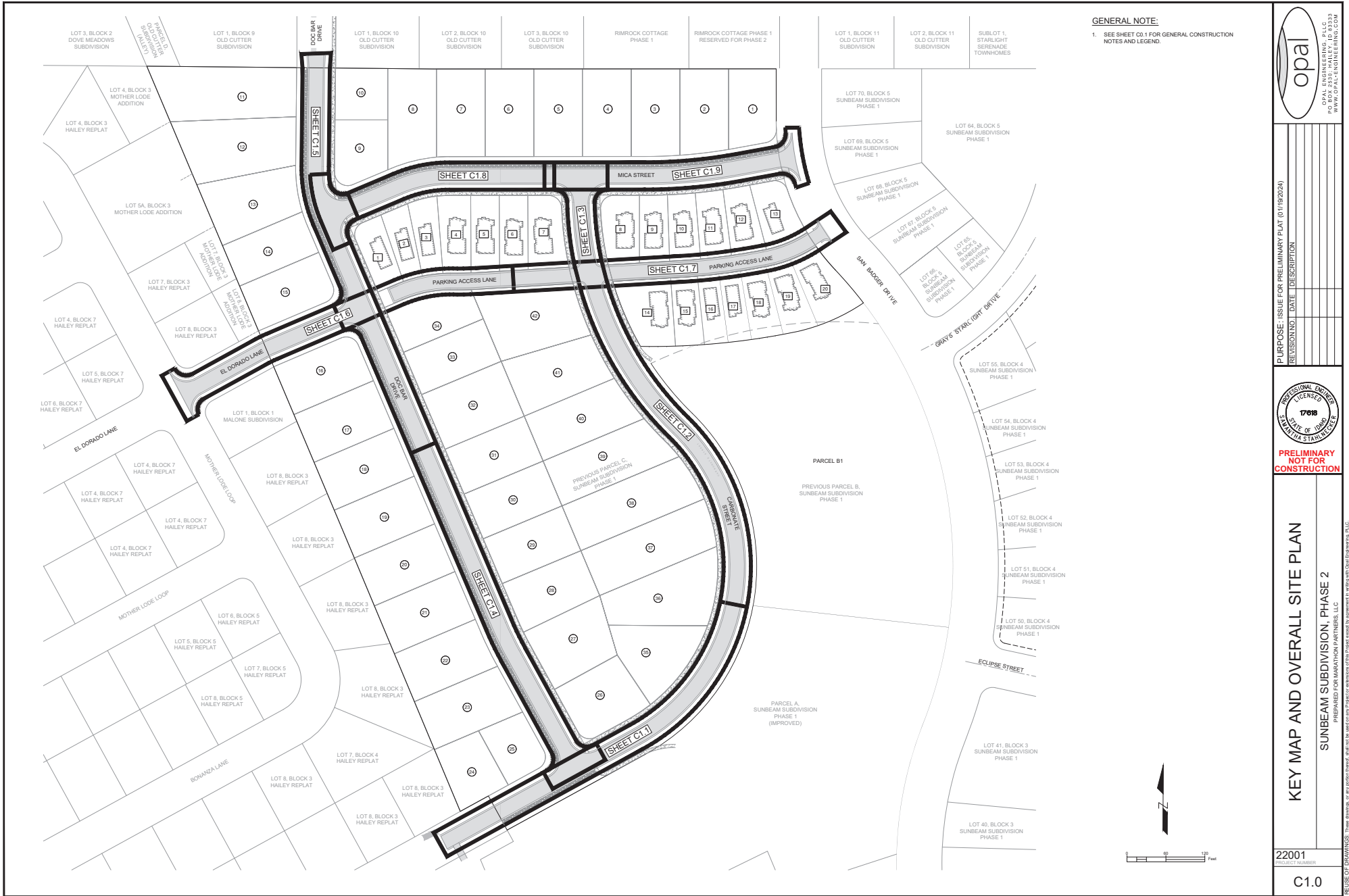
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COVER SHEET  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR MARATHON PARTNERS, LLC

22001  
PROJECT NUMBER

C0.1

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**GENERAL NOTE:**

1. SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.



REVISION NO.	DATE	DESCRIPTION

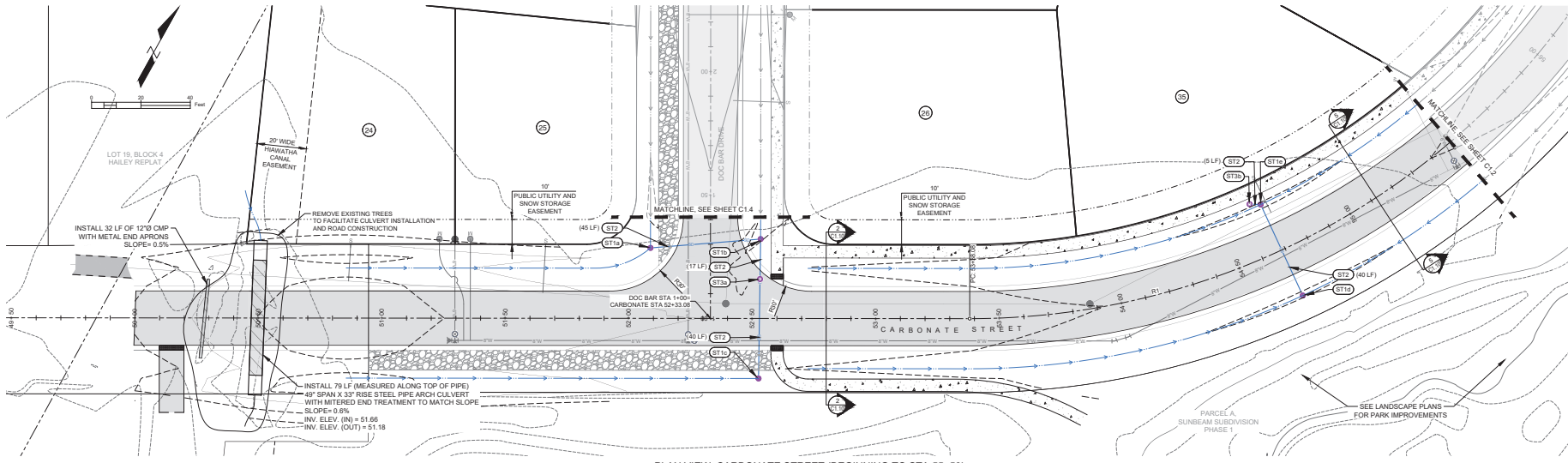


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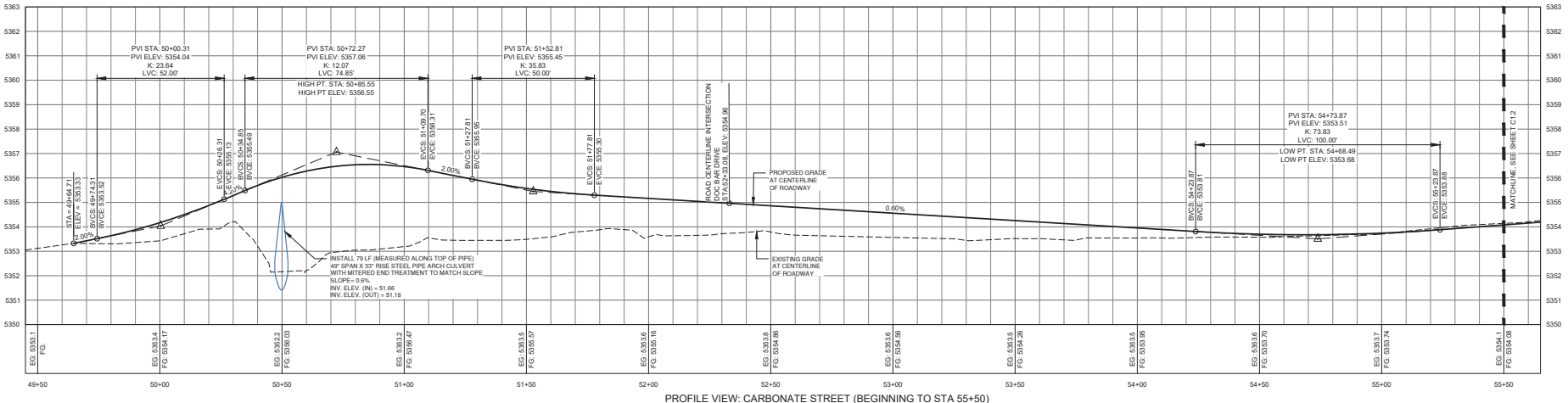
**KEY MAP AND OVERALL SITE PLAN**  
**SUNBEAM SUBDIVISION, PHASE 2**  
 PREPARED FOR MARATHON PARTNERS, LLC

22001  
 PROJECT NUMBER  
**C1.0**

1. REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project or subdivision other than that for which they were prepared by Opal Engineering, P.L.C.



PLAN VIEW: CARBONATE STREET (BEGINNING TO STA 55+50)  
 SCALE: 1" = 20'



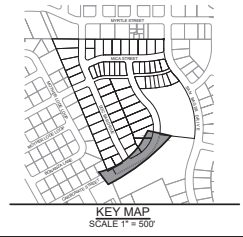
PROFILE VIEW: CARBONATE STREET (BEGINNING TO STA 55+50)  
 SCALE: 1" = 20' H, 1" = 2' V

- GENERAL NOTES:**
- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
  - SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

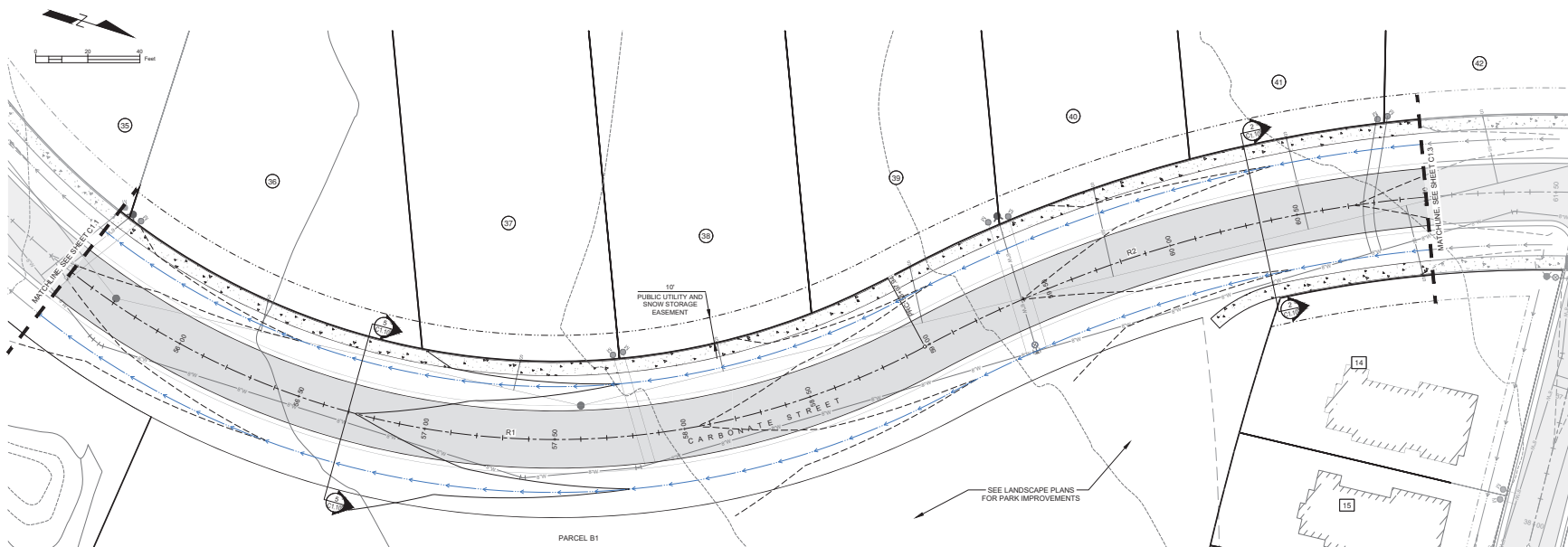
**STORM SYSTEM IMPROVEMENTS**

- (ST1) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.
  - a. RIM = XX
  - IE (out) = XX
  - b. RIM = XX
  - IE (in) = XX
  - IE (out) = XX
  - c. RIM = XX
  - IE (out) = XX
  - d. RIM = XX
  - IE (out) = XX
  - e. RIM = XX
  - IE (out) = XX
- (ST2) INSTALL 12" ADS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
- (ST3) INSTALL DRIPWELL. SEE DETAIL 8, SHEET C1.10.
  - a. RIM = XX
  - IE (in) = XX
  - b. RIM = XX
  - IE (in) = XX

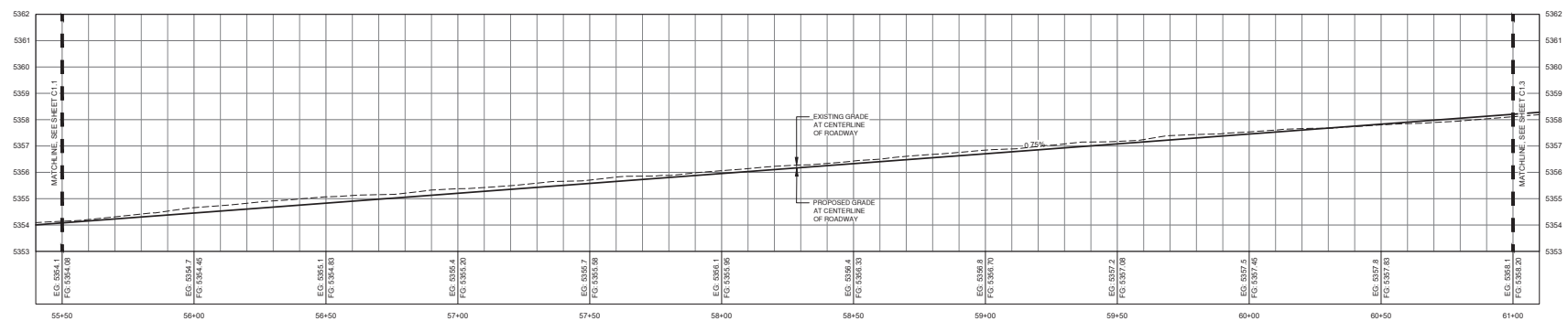
Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	Start Point / End Point
R1	300.00	559.85	N7° 40' 44.04"E	STA: 53+38.08 / STA: 58+97.94 N: 677491.12 / N: 677068.76 E: 1599770.37 / E: 1599693.62



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or otherwise without the express written consent of Opal Engineering, PLLC.



PLAN VIEW: CARBONATE STREET (STA 55+50 TO STA 61+00)  
SCALE: 1" = 20'



PROFILE VIEW: CARBONATE STREET (STA 55+50 TO STA 61+00)  
SCALE: 1" = 20' H, 1" = 2' V

- GENERAL NOTES:**
- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
  - SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	Start Point / End Point
R1	300.00	559.85	N7°46'44.04"E	STA: 58+28.08 / STA: 59+97.94 N: 677491.12 / N: 677968.76 E: 1699770.37 / E: 1559836.62
R2	600.00	398.37	N22°51'29.02"W	STA: 59+97.94 / STA: 62+96.21 N: 677491.12 / N: 678326.21 E: 1559836.62 / E: 1559694.93



KEY MAP  
SCALE 1" = 500'



PURPOSE: ISSUE FOR PRELIMINARY PLAN (01/19/2024)

REVISION NO.	DATE	DESCRIPTION

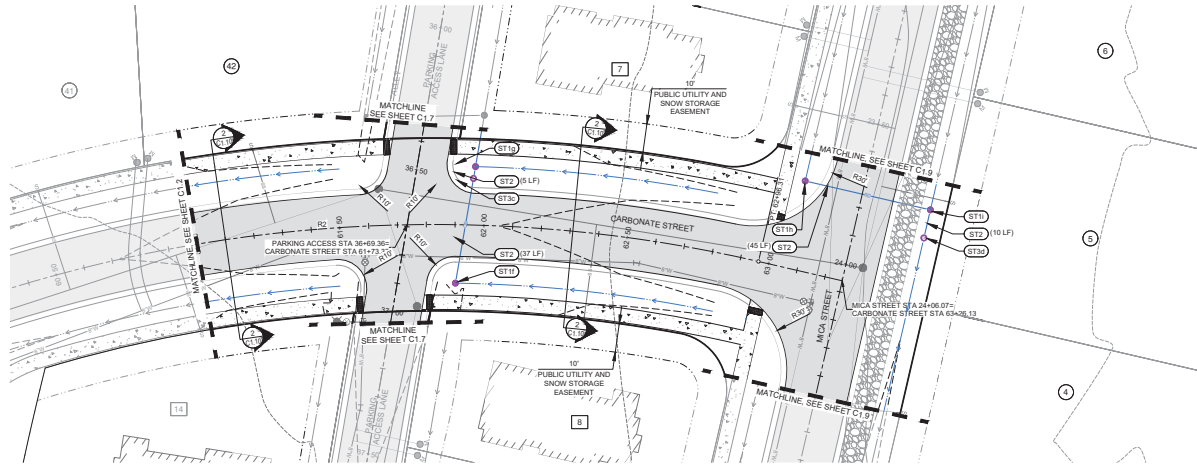


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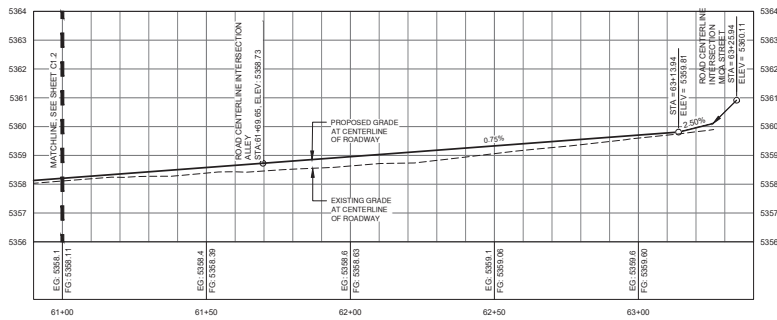
ROAD PLAN AND PROFILE:  
CARBONATE STREET (STA 55+50 TO STA 61+00)  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR: MARATHON PARTNERS, LLC

22001  
PROJECT NUMBER  
C1.2

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PLAN VIEW: CARBONATE STREET (STA 61+00 TO END)  
SCALE: 1" = 20'



PROFILE VIEW: CARBONATE STREET (STA 61+00 TO END)  
SCALE: 1" = 20' H; 1" = 2' V

**GENERAL NOTES:**

- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
- SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- (ST1) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.  
L RIM = XX  
IE (0+0) = XX
- (ST2) INSTALL 12" ABS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%.  
L (FT) SEE DETAIL 6, SHEET C1.10.
- (ST3) INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.  
c RIM = XX  
d IE (0) = XX  
d RIM = XX  
IE (N) = XX

Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
R2	500.00	398.37	N22° 51' 29.02" W	STA. 58+07.94 N: 677988.790 E: 1509684.93	STA. 62+06.31 N: 678326.211 E: 1509684.93



KEY MAP  
SCALE: 1" = 500'



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**ROAD PLAN AND PROFILE:  
CARBONATE STREET (STA 61+00 TO END)**  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR MARATHON PARTNERS, LLC

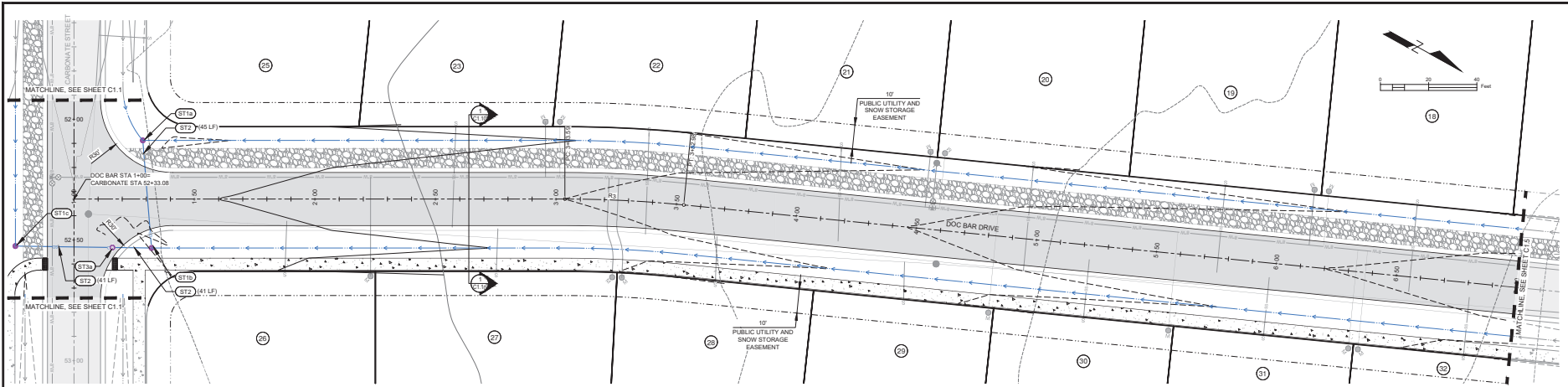
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PROJECT NUMBER

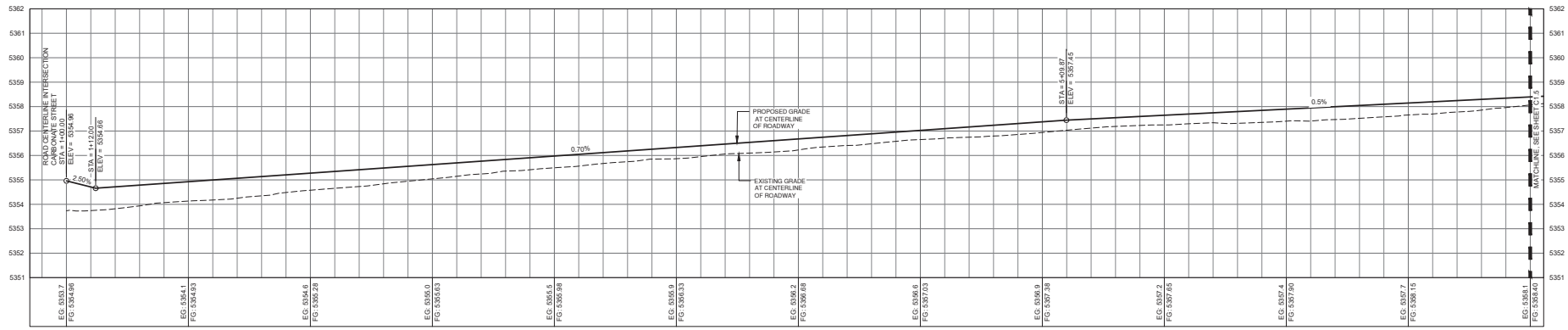
C1.3

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PLAN VIEW: DOC BAR DRIVE (BEGINNING TO STA 7+00)  
SCALE 1" = 20'



PROFILE VIEW: DOC BAR DRIVE (BEGINNING TO STA 7+00)  
SCALE 1" = 20' H, 1" = 2' V

**GENERAL NOTES:**

- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
- SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- (ST1) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.
  - a. RIM = XX
  - IE (0+0) = XX
  - b. RIM = XX
  - IE (0+0) = XX
  - c. RIM = XX
  - IE (0+0) = XX
- (ST2) INSTALL 12" (80% N-12) STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
- (ST3) INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.
  - a. RIM = XX
  - IE (0+0) = XX

Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	End Point
R3	500.00	49.39	N25° 50' 45.24"W	STA: 3+03.59 N: 677619.07 E: 1059568.37
				STA: 3+52.98 N: 677663.471 E: 1059568.78



KEY MAP  
SCALE 1" = 500'



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WWW.OPAL-ENGINEERING.COM

PURPOSE: ISSUE FOR PRELIMINARY PLAN (01/19/2024)

REVISION NO.	DATE	DESCRIPTION



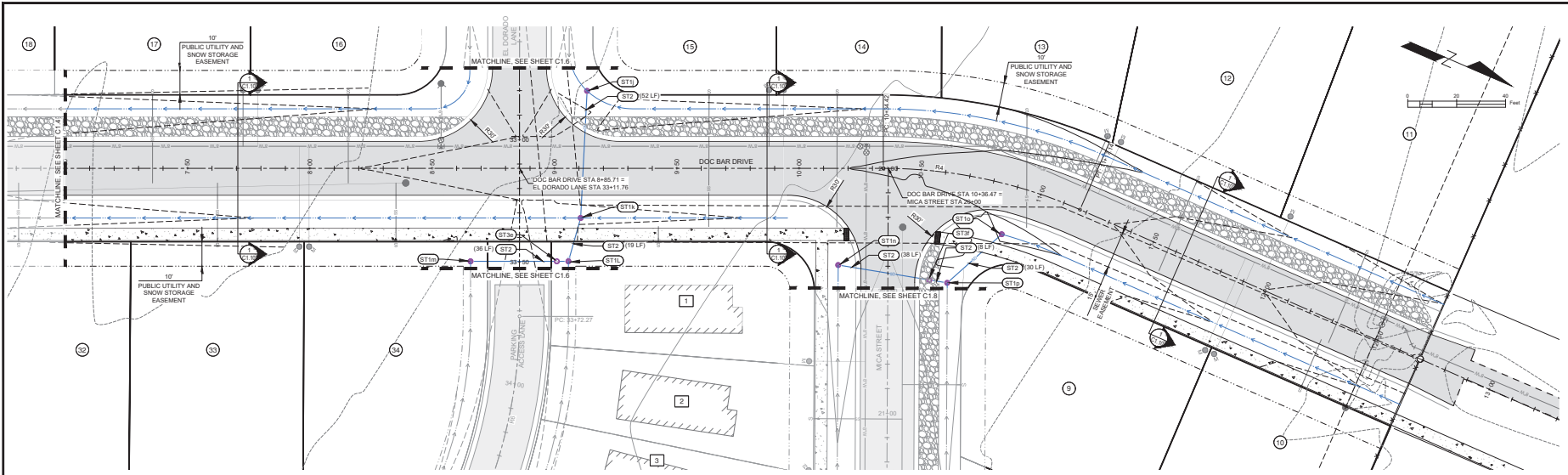
PRELIMINARY  
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CONSTRUCTION

ROAD PLAN AND PROFILE:  
DOC BAR DRIVE (BEGINNING TO STA 7+00)  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR MARATHON PARTNERS, LLC

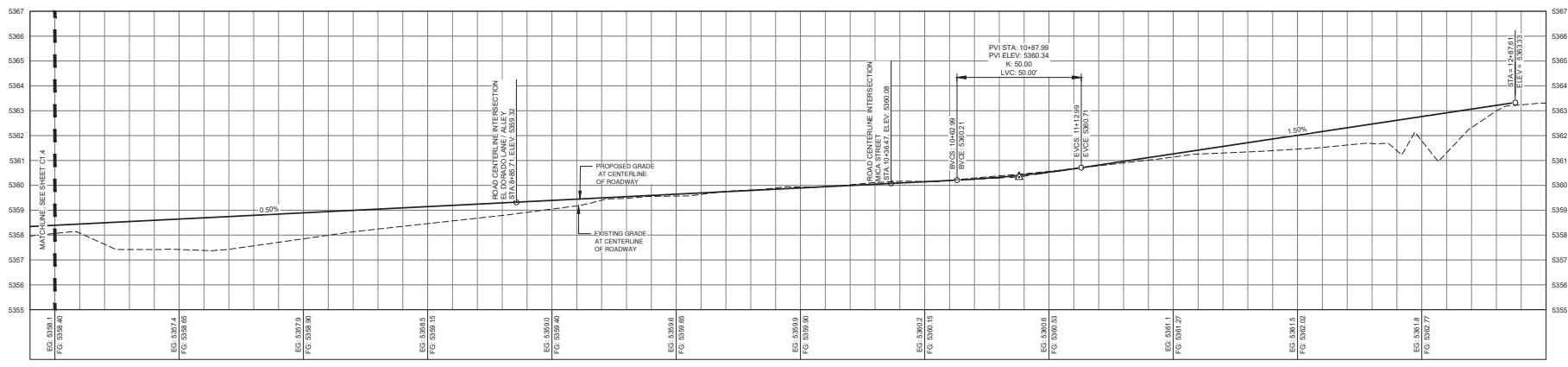
22001

C1.4

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or elsewhere without the express written approval of Opal Engineering, PLLC.



PLAN VIEW: DOC BAR DRIVE (STA 7+00 TO END)  
SCALE: 1" = 20'



PROFILE VIEW: DOC BAR DRIVE (STA 7+00 TO END)  
SCALE: 1" = 20' H, 1" = 2' V

- GENERAL NOTES:**
- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
  - SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- ST1 INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.
  - k. RIM = XX
  - l. IE (0+0) = XX
  - m. RIM = XX
  - n. IE (0+0) = XX
  - o. RIM = XX
  - p. IE (0+0) = XX
- ST2 INSTALL 12" ADS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
  - q. RIM = XX
  - r. IE (0+0) = XX
- ST3 INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.
  - s. RIM = XX
  - t. IE (0+0) = XX

Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	End Point
R4	200.00	82.73	N11°14'59.09"W	STA: 10+34.42 N: 678230.28 E: 1050291.43
				STA: 11+17.14 N: 678370.84 E: 1050276.41



KEY MAP  
SCALE 1" = 500'



PURPOSE: ISSUE FOR PRELIMINARY PLAN (01/19/2024)

REVISION NO.	DATE	DESCRIPTION

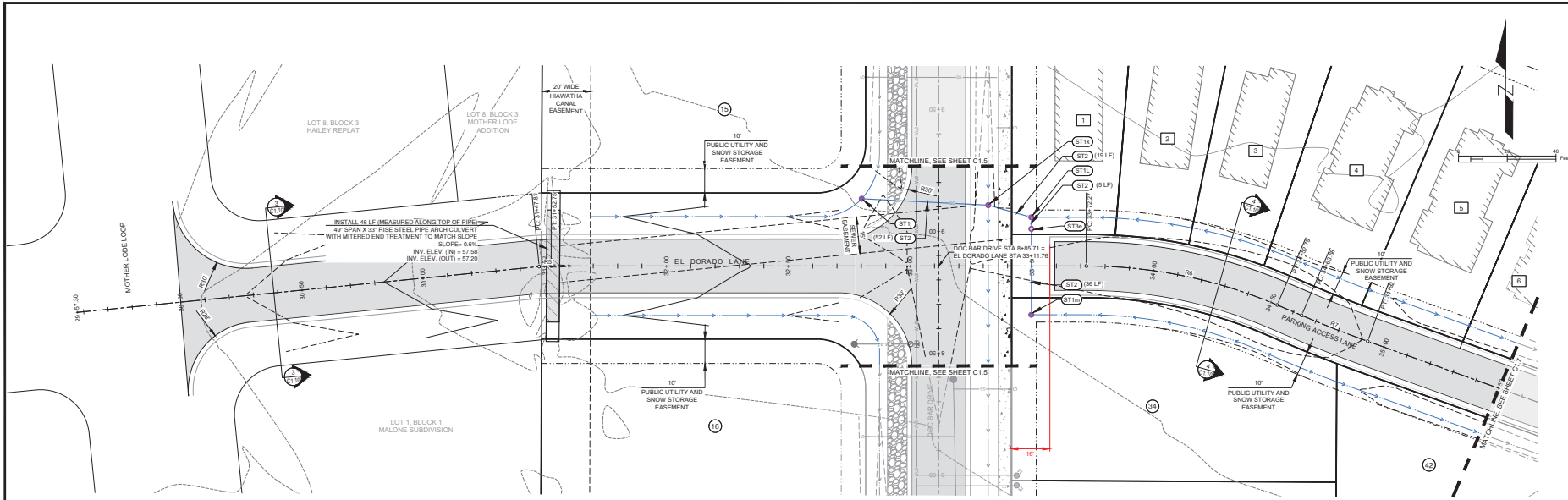


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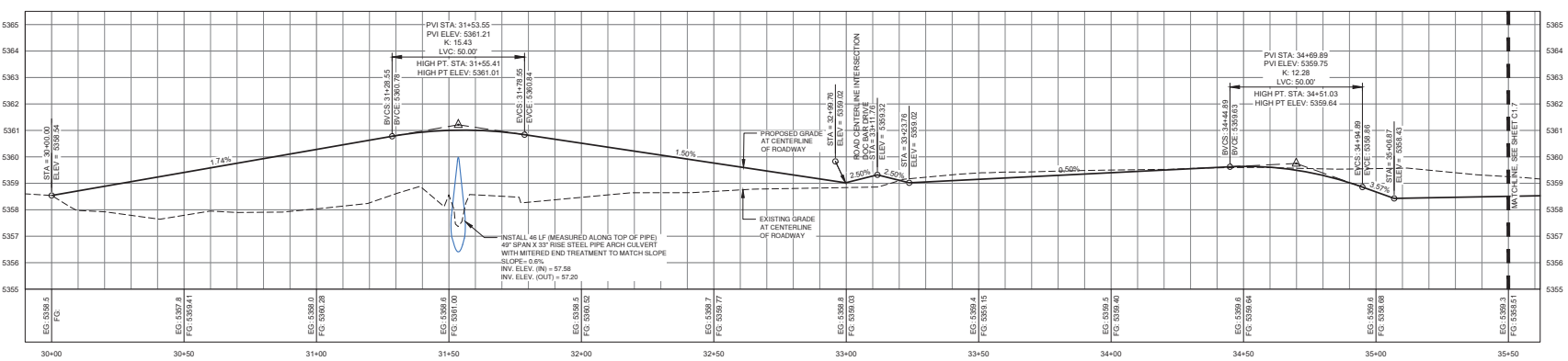
**ROAD PLAN AND PROFILE:**  
**DOC BAR DRIVE (STA 7+00 TO END)**  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR: MARDIANON PARTNERS, LLC

22001  
PROJECT NUMBER  
**C1.5**

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PLAN VIEW: EL DORADO LANE / ALLEY (BEGINNING TO STA 35+50)  
SCALE: 1" = 30'



PROFILE VIEW: EL DORADO LANE / ALLEY (BEGINNING TO STA 35+50)  
SCALE: 1" = 20' H, 1" = 2' V

**GENERAL NOTES:**

- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
- SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- (ST) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.  
 RM = XX  
 IE (out) = XX  
 k. RM = XX  
 IE (in) = XX  
 IE (out) = XX  
 l. RM = XX  
 IE (out) = XX  
 m. RM = XX  
 IE (out) = XX
- (ST) INSTALL 12" ADS N-12 STORM DRAIN PIPE OR APPROVED EQUAL WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
- (ST) INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.  
 RM = XX  
 IE (in) = XX

Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	Start Point / End Point
R5	50.00	4.94	N84° 04' 13.07"E	STA: 31+47.81 / STA: 31+52.75 N: 67808.90 / N: 67809.11 E: 159199.07 / E: 159203.81
R6	200.00	80.52	N78° 26' 01.70"E	STA: 33+72.27 / STA: 34+52.79 N: 67817.23 / N: 678193.27 E: 159160.44 / E: 159163.79
R7	500.00	29.14	N88° 17' 50.24"E	STA: 34+63.68 / STA: 34+92.82 N: 678193.27 / N: 678194.14 E: 159164.67 / E: 159162.86



KEY MAP  
SCALE 1" = 500'



OPAL ENGINEERING, PLLC  
PO BOX 2453 INDIANAPOLIS, IN 46216  
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REVISION NO. DATE DESCRIPTION



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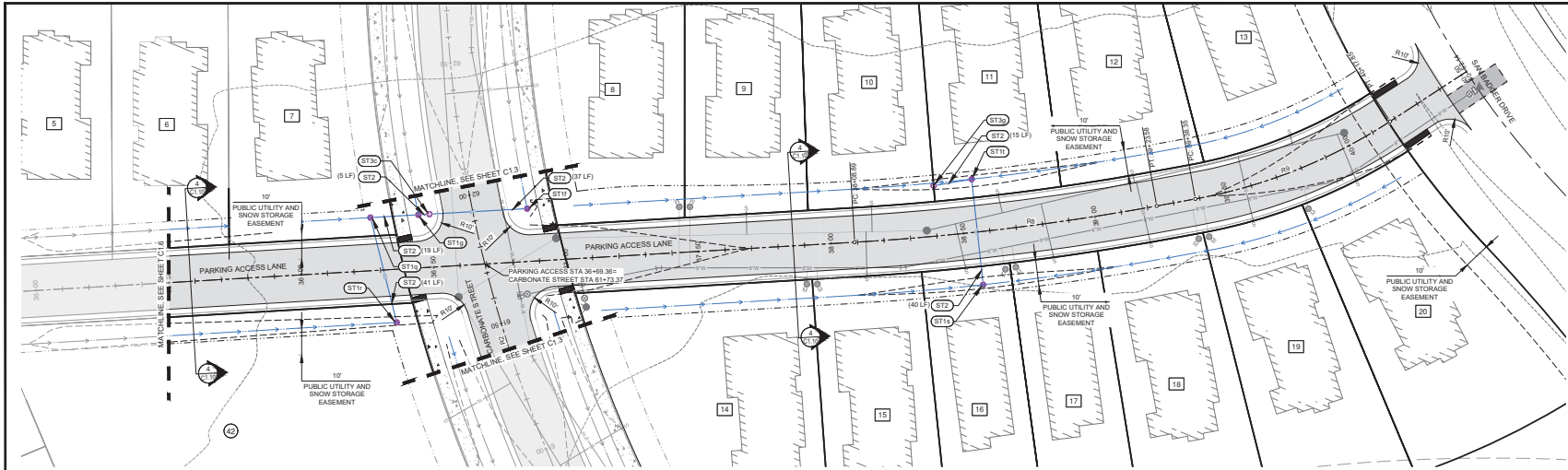
ROAD PLAN AND PROFILE: EL DORADO LANE / PARKING ACCESS (BEGINNING TO STA 35+50)  
SUNBELT SUBDIVISION, PHASE 2  
PREPARED FOR: MARATHON PARTNERS, LLC

22001  
PROJECT NUMBER

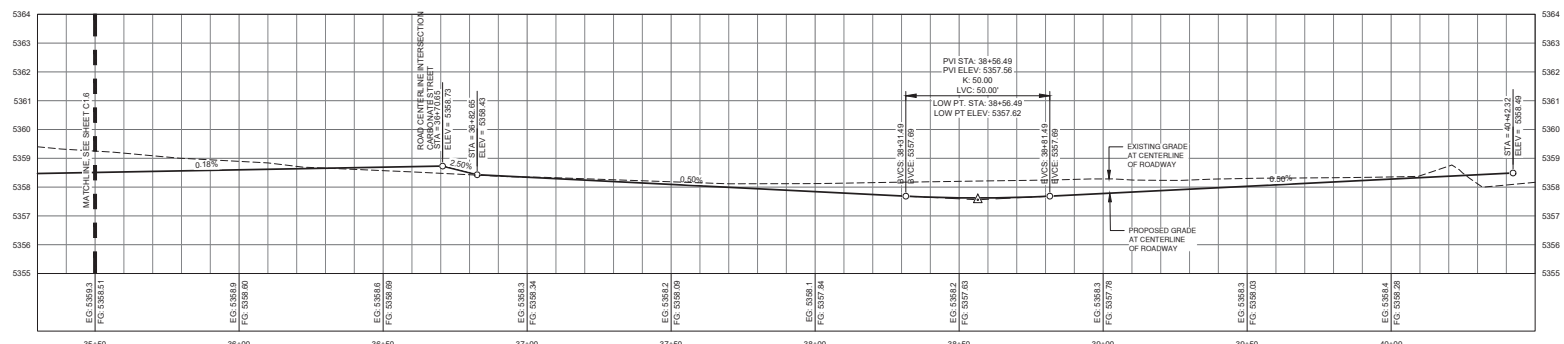
C1.6

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PLAN VIEW: PARKING ACCESS (STA 35+50 TO END)  
SCALE: 1" = 20'



PROFILE VIEW: PARKING ACCESS (STA 35+50 TO END)  
SCALE: 1" = 20' H, 1" = 2' V

- GENERAL NOTES:**
- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
  - SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- (ST) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.
  - (LF) INSTALL 12" ADS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
  - (DD) INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.
9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX  
 9. RIM = XX  
 IE (0+0) = XX

Curve Table: Alignments					
Curve #	Radius	Chord Direction	Start Point	End Point	
RB	945.00	114.68	N83° 09' 03.09"E	STA: 38+08.89 N: 678212.73 E: 1509839.33	STA: 39+23.58 N: 678226.40 E: 1509953.12
RB	200.00	79.50	N68° 17' 12.88"E	STA: 39+38.35 N: 678229.05 E: 1509967.66	STA: 40+17.85 N: 678258.27 E: 1506041.03



KEY MAP  
SCALE: 1" = 500'



OPAL ENGINEERING, PLLC  
PO BOX 2453 ANNE ARBOR MI 48106  
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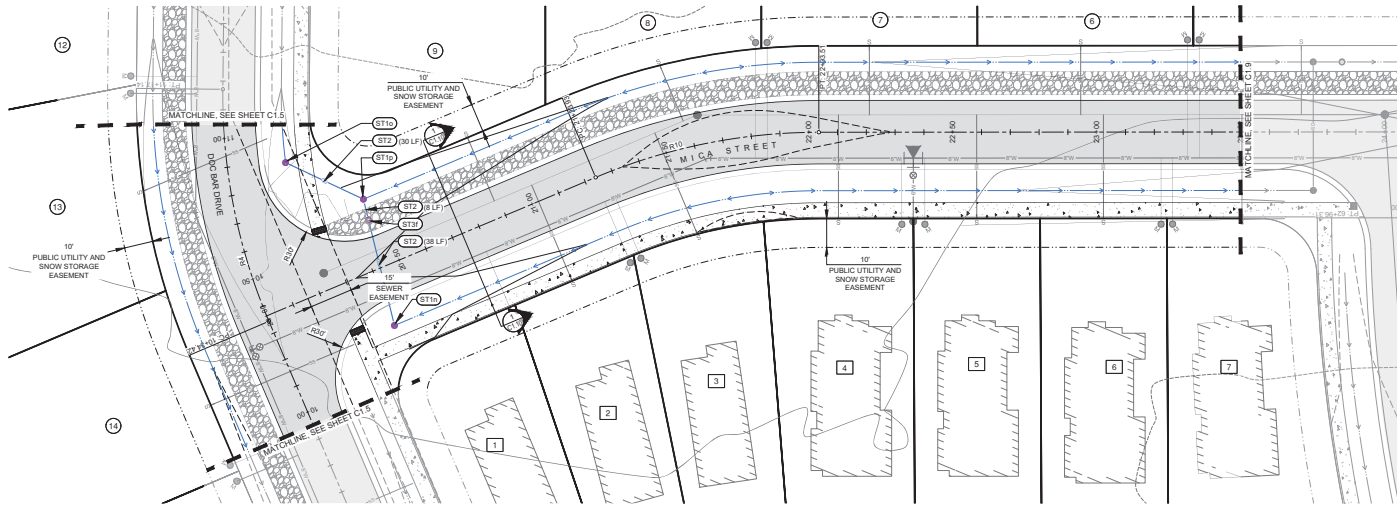


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NOT FOR  
CONSTRUCTION

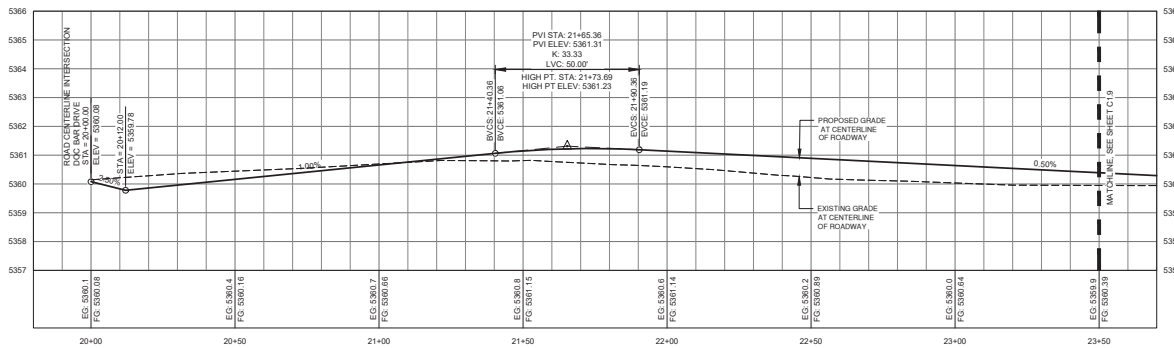
ROAD PLAN AND PROFILE:  
PARKING ACCESS (STA 35+50 TO END)  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR: MARATHON PARTNERS, LLC

22001  
PROJECT NUMBER  
C1.7

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project or subdivision other than that specifically approved in writing by Opal Engineering, PLLC.



PLAN VIEW: MICA STREET (BEGINNING TO STA 23+50)  
SCALE: 1" = 20'



PROFILE VIEW: MICA STREET (BEGINNING TO STA 23+50)  
SCALE: 1" = 20' H, 1" = 2' V

**GENERAL NOTES:**

- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES, LEGEND.
- SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- (ST1) INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.  
h. RM = XX  
IE (0+0) XXX  
o. RM = XX  
IE (0+0) XXX  
p. RM = XX  
IE (0+0) XXX
- (ST2) INSTALL 12" ADS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. (LF) SEE DETAIL 6, SHEET C1.10.
- (ST3) INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.  
RM = XX  
IE (N) = XX

Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
R10	200.00	79.58	N78° 34' 04.34"E	STA: 21+23.93 N: 678340.25 E: 1059404.86	STA: 22+03.61 N: 678356.92 E: 1059402.35



KEY MAP  
SCALE 1" = 500'



PURPOSE: ISSUE FOR PRELIMINARY PLAN (01/19/2024)

REVISION NO.	DATE	DESCRIPTION

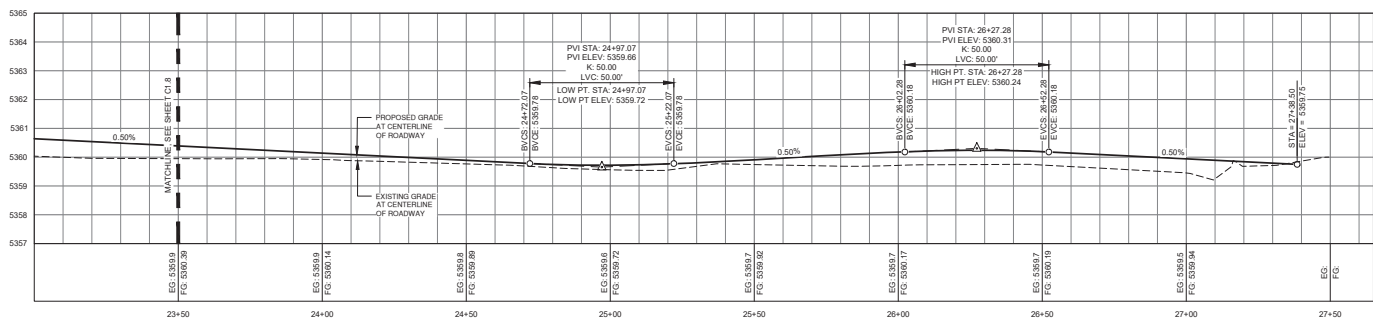
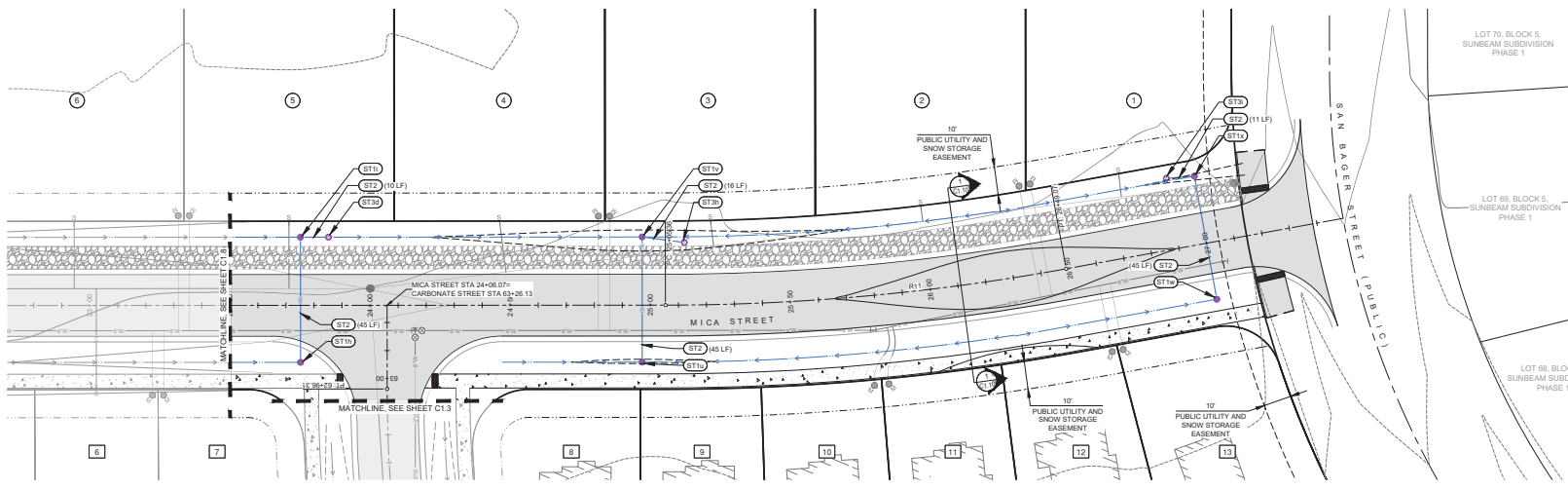


**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**ROAD PLAN AND PROFILE:  
MICA STREET (BEGINNING TO STA 23+50)**  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR MARATHON PARTNERS, LLC

22001  
PROJECT NUMBER  
**C1.8**

DATE OF DRAWINGS: These drawings, or any portion thereof, shall not be used in any project or otherwise without the express written consent of Opal Engineering, PLLC.



- GENERAL NOTES:**
- SEE SHEET C0.1 FOR GENERAL CONSTRUCTION NOTES AND LEGEND.
  - SEE SHEET C1.0 FOR KEY MAP AND OVERALL SITE PLAN.

**STORM SYSTEM IMPROVEMENTS**

- ST1 INSTALL CATCH BASIN. SEE DETAIL 7, SHEET C1.10.
  - RM = XX
  - IE (out) = XXX
- ST2 INSTALL 12" ADS N-12 STORM DRAIN PIPE (OR APPROVED EQUAL) WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6, SHEET C1.10.
  - RM = XX
  - IE (N) = XX
- ST3 INSTALL DRYWELL. SEE DETAIL 8, SHEET C1.10.
  - RM = XX
  - IE (N) = XX
- u. RM = XX
- v. RM = XX
- w. RM = XX
- x. RM = XX

Curve Table: Alignments				
Curve #	Radius	Length	Chord Direction	Start Point / End Point
R11	800.00	143.72	N84° 49' 14.37"E	STA: 25+05.36 / STA: 26+49.07 N: 678395.10 / N: 678389.05 E: 1599784.19 / E: 1599827.13



KEY MAP  
SCALE: 1" = 500'



PURPOSE: ISSUE FOR PRELIMINARY PLAN (01/19/2024)

REVISION NO.	DATE	DESCRIPTION

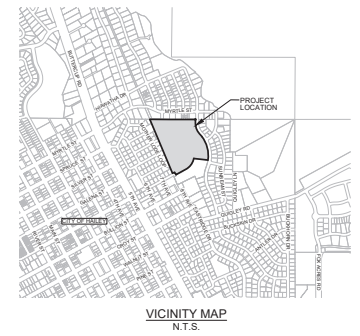
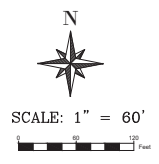


PRELIMINARY  
NOT FOR  
CONSTRUCTION

ROAD PLAN AND PROFILE:  
MICA STREET (STA 23+50.00 TO END)  
SUNBEAM SUBDIVISION, PHASE 2  
PREPARED FOR MARATHON PARTNERS, LLC.

22001  
PROJECT NUMBER  
C1.9

REUSE OF DRAWINGS: These drawings or any portion thereof shall not be used on any project or otherwise without the express written approval of Opal Engineering, PLLC.



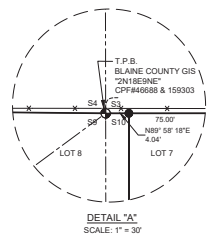
**LEGEND**

EXISTING ITEMS	PROPOSED ITEMS
Boundary Line	Property Line
Adjoiner's Lot Line	Lot Line to be Vacated
Centerline of Right of Way	5/8" Rebar To be Set, by LS16670
Easement, Type and Width as Shown	Calculated Point, Nothing Set
Found Aluminum Cap, as Shown	Easement, Type and Width as Shown
Found Brass Cap, Setting as Shown	Centerline of Right of Way
Found 5/8" Rebar	5" Contour Interval
Found 1/2" Rebar	1" Contour Interval
Found Iron Pipe	Asphalt
Calculated Point, Nothing Set	Concrete Sidewalk
5" Contour Interval	Gravel
1" Contour Interval	ADA Access Truncated Dome
Flow line	
Section Line	
C/S To Line	
Survey To Line	
Fence Line	
Culvert	
Asphalt	
Gravel	
Concrete Sidewalk	

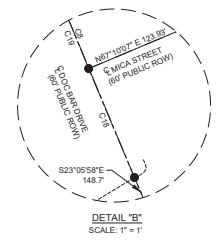
**TABLE OF EASEMENTS**

(A)	20' PRIVATE IRRIGATION EASEMENT TO BENEFIT THE HDX
(B)	10' PUBLIC UTILITY AND SNOW STORAGE EASEMENT
(C)	20' WIDE HAWATHA CANAL EASEMENT
(D)	15' WIDE SEWER EASEMENT PER INSTRUMENT NUMBER S46901

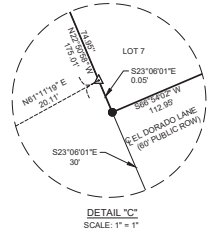
SEE SHEET 2 FOR UTILITIES PLAN  
 SEE SHEET 3 FOR CURVE AND LINE TABLES  
 SEE SHEET 3 FOR SURVEY NARRATIVE AND NOTES



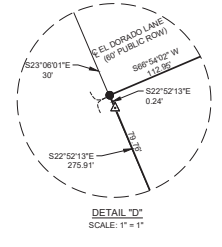
DETAIL "A"  
SCALE: 1" = 30'



DETAIL "B"  
SCALE: 1" = 1'



DETAIL "C"  
SCALE: 1" = 1'



DETAIL "D"  
SCALE: 1" = 1'

**CERTIFICATE OF SURVEYOR**  
 I, Mark E. Phillips, hereby certify that I am a Licensed Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

**PHILLIPS LAND SURVEYING, PLLC**  
 HAILEY, IDAHO  
 Phone: (208) 720 - 3760  
 Email: pls16670.h@gmail.com

**SUNBEAM SUBDIVISION - PHASE 2**

A PRELIMINARY PLAT SHOWING

LOCATED WITHIN SECTION 8 & 10, T.2N. R.18E. B.1M.  
 CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR MARATHON PARTNERS, LLC

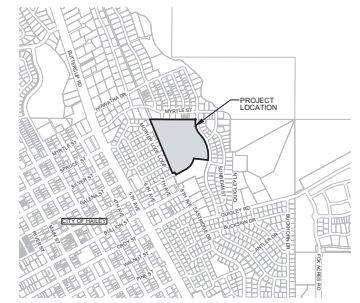
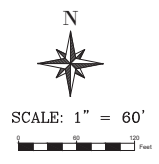
NO.	DATE	BY	REVISIONS

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DATE: 7/7/2024  
 JOB #: 2024-07

1 OF 3





VICINITY MAP  
N.T.S.

**LEGEND**

**EXISTING ITEMS**

- Boundary Line
- Adjoiner's Lot Line
- Centerline
- Easement, Type and Width as Shown
- Found Aluminum Cap
- Found Brass Cap, Setting as Shown
- Found 5/8" Rebar
- Found 1/2" Rebar
- Found iron Pipe
- Calculated Point, Nothing Set
- 5' Contour Interval
- 1' Contour Interval
- Flow line
- Section Line
- GIS Tie Line
- Survey Tie Line
- Fence Line
- Sewer Main
- Sewer Service
- Sewer Manhole
- 8" Water Main
- Water Service
- Water Meter
- Water Valve
- Water Manhole
- Storm Drain
- Catch Basin
- Dry Well
- Fire Hydrant
- Water Main Fittings
- Culvert
- Asphalt
- Gravel
- Concrete Sidewalk
- Fiber Optic Box
- Gas Marker
- Cable TV Riser
- Telephone Riser
- Power Box
- Conifer Tree
- Deciduous Tree
- Dripline of Vegetation

**PROPOSED ITEMS**

- Property Line
- Lot Line to be Vacated
- Easement, Type and Width as Shown
- Centerline
- 5' Contour Interval
- 1' Contour Interval
- Asphalt
- Concrete Sidewalk
- Gravel
- ADA Access Truncated Dome
- 8" Water Main
- 6" Water Service
- Water Meter
- Water Valve
- Water Main Fittings
- Sewer Main
- Sewer Service
- Sewer Manhole
- Storm Drain
- Catch Basin
- Drywell
- Flow Line
- Lot Number
- Sublot Number
- Parcel Number

SEE SHEET 3 FOR CURVE AND LINE TABLES  
SEE SHEET 3 FOR SURVEY NARRATIVE AND NOTES

**REUSE OF DRAWINGS**  
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NO.	DATE	BY	REVISIONS

**PHILLIPS LAND SURVEYING, PLLC**  
HAILEY, IDAHO  
Phone: (208) 720 - 3760  
Email: pls16670@gmail.com

**SUNBEAM SUBDIVISION - PHASE 2**  
A PRELIMINARY PLAT SHOWING  
LICENSED LAND SURVEYOR  
MARK E. PHILLIPS  
16670  
PREPARED FOR MARATHON PARTNERS, LLC  
CITY OF HAILEY, BLAINE COUNTY, IDAHO  
LOCATED WITHIN SECTION 8 & 10, T.2N., R.18E., B.M.

**CERTIFICATE OF SURVEYOR**  
I, Mark E. Phillips, hereby certify that I am a Licensed Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

CURVE AND LINE TABLES

Curve Table						
Curve	Length	Radius	Delta	Tangent	Chord	Chord Direction
C1	253.06	335.00	43° 16' 52"	133.91	247.08	S21° 40' 29"E
C2	106.17	665.00	9° 08' 52"	53.20	106.09	S38° 44' 29"E
C3	531.01	665.00	49° 49' 04"	280.57	517.01	S14° 42' 06"E
C4	615.84	330.00	106° 50' 27"	445.30	530.29	S07° 48' 44"W
C5	559.89	330.00	106° 50' 27"	444.87	482.08	N07° 48' 44"E
C6	398.37	550.00	45° 39' 51"	210.44	387.52	N22° 51' 29"W
C7	43.29	550.00	5° 39' 34"	24.71	43.27	S25° 55' 45"E
C8	62.73	200.00	23° 41' 58"	41.96	62.14	S11° 14' 59"E
C9	79.58	200.00	22° 47' 54"	40.32	79.00	N76° 34' 04"E
C10	143.72	800.00	10° 17' 34"	72.05	143.52	N88° 49' 14"E
C11	126.66	500.00	14° 30' 52"	63.67	126.32	S07° 17' 26"E
C12	271.71	500.00	31° 08' 09"	139.30	268.38	S30° 06' 50"E
C13	2.00	250.00	9° 30' 15"	1.03	2.05	N22° 48' 21"W
C14	80.68	250.00	23° 06' 43"	40.89	80.13	S10° 57' 22"E
C15	71.29	230.00	17° 45' 34"	35.93	71.01	N08° 16' 47"W
C16	230.00	230.00	5° 56' 20"	11.93	233.83	N20° 07' 48"W
C17	31.42	200.00	90° 00' 00"	20.00	28.28	N21° 54' 02"E
C18	38.37	200.00	109° 55' 24"	28.52	32.75	S57° 52' 11"E
C19	71.06	230.00	17° 49' 32"	36.07	71.27	N76° 04' 53"E
C20	19.96	230.00	4° 58' 22"	9.99	19.90	N87° 29' 51"E
C21	53.49	770.00	3° 58' 50"	26.76	53.49	N87° 58' 37"E
C22	75.63	770.00	5° 37' 38"	37.84	75.59	N83° 10' 22"E
C23	28.59	200.00	81° 54' 12"	17.36	26.22	N38° 43' 21"E
C24	12.83	335.00	2° 11' 42"	6.42	12.83	N01° 07' 54"W
C25	31.51	200.00	90° 16' 00"	20.09	28.30	S22° 02' 00"W
C26	67.64	170.00	22° 47' 54"	34.28	67.20	S78° 34' 04"W
C27	46.78	170.00	10° 45' 58"	23.54	46.63	S75° 30' 52"W
C28	19.25	170.00	6° 29' 11"	9.63	19.23	S86° 43' 20"W
C29	30.68	200.00	87° 53' 52"	19.28	27.70	N46° 05' 02"W
C30	92.00	530.00	9° 56' 43"	46.11	91.88	N07° 06' 20"W
C31	28.39	487.00	3° 20' 23"	14.20	28.38	N88° 17' 50"E
C32	7.30	487.00	0° 51' 33"	3.65	7.30	N87° 03' 25"E
C33	21.08	487.00	2° 28' 50"	10.54	21.08	N88° 43' 37"E
C34	85.75	210.00	23° 04' 00"	43.46	85.17	N78° 26' 02"E
C35	11.28	210.00	3° 02' 04"	5.64	11.28	N88° 26' 59"E
C36	32.10	210.00	8° 38' 00"	16.08	32.07	N82° 36' 54"E
C37	30.42	210.00	8° 11' 01"	15.24	30.40	N74° 11' 46"E
C38	11.91	210.00	3° 12' 14"	5.96	11.91	N89° 30' 09"E
C39	86.95	470.00	10° 36' 00"	43.60	86.83	S07° 54' 09"E
C40	32.31	29.00	92° 34' 10"	20.92	28.91	S43° 40' 56"W
C41	148.10	830.00	10° 17' 34"	74.75	148.90	S84° 49' 14"W
C42	34.19	830.00	2° 21' 28"	17.08	34.15	S88° 47' 18"W
C43	43.03	830.00	2° 58' 13"	21.52	43.02	S86° 07' 27"W
C44	43.07	830.00	2° 58' 23"	21.54	43.06	S83° 09' 09"W
C45	28.85	830.00	1° 59' 30"	14.43	28.85	S80° 40' 12"W
C46	28.59	20.00	81° 54' 12"	17.36	26.22	N59° 22' 27"W
C47	72.82	335.00	12° 27' 14"	36.55	72.67	N24° 38' 58"W
C48	68.18	187.00	20° 53' 26"	34.47	67.80	N67° 29' 04"E
C49	113.11	932.00	6° 57' 12"	56.62	113.04	N83° 59' 03"E
C50	34.13	932.00	2° 05' 54"	17.07	34.13	N80° 43' 24"E
C51	47.87	932.00	2° 56' 34"	23.94	47.80	N83° 14' 38"E
C52	31.11	932.00	1° 54' 45"	15.56	31.11	N85° 40' 17"E
C53	31.42	20.00	90° 00' 00"	20.00	28.28	N68° 05' 58"W
C54	52.35	530.00	5° 39' 34"	26.20	52.33	N25° 55' 45"W
C55	31.42	20.00	90° 00' 00"	20.00	28.28	N16° 14' 28"E
C56	75.28	187.00	23° 04' 00"	38.16	74.78	S78° 26' 02"W
C57	21.05	513.00	2° 21' 04"	10.53	21.05	S88° 47' 29"W
C58	8.85	513.00	0° 59' 18"	4.42	8.85	S87° 07' 18"W
C59	83.74	530.00	9° 03' 12"	41.96	83.66	N19° 27' 45"W
C60	75.95	530.00	8° 12' 39"	38.04	75.89	N26° 05' 40"W
C61	77.22	530.00	9° 20' 53"	38.68	77.10	N36° 22' 28"W
C62	47.50	530.00	5° 08' 07"	23.77	47.49	N43° 59' 56"W
C63	32.33	270.00	6° 51' 30"	16.18	32.31	N42° 15' 17"W
C64	75.98	270.00	10° 07' 23"	38.24	75.70	N30° 45' 47"W
C65	76.02	270.00	10° 07' 56"	38.26	75.77	N14° 38' 03"W

Curve Table						
Curve	Length	Radius	Delta	Tangent	Chord	Chord Direction
C66	124.16	270.00	26° 20' 55"	63.20	123.07	N68° 36' 22"E
C67	152.00	270.00	32° 15' 19"	78.07	150.00	N30° 54' 29"E
C68	43.38	270.00	9° 12' 20"	21.74	43.33	N68° 36' 18"E
C69	31.42	20.00	90° 00' 00"	20.00	28.28	S73° 45' 32"E
C70	21.72	470.00	2° 38' 51"	10.86	21.72	S27° 28' 07"E
C71	24.71	470.00	3° 00' 43"	12.38	24.70	S24° 36' 20"E
C72	109.10	470.00	13° 18' 39"	54.64	108.94	S23° 05' 32"E
C73	131.57	984.52	7° 39' 23"	65.88	131.47	S82° 44' 49"W
C74	24.50	984.52	1° 28' 06"	12.28	24.50	S85° 53' 36"W
C75	33.31	984.52	1° 59' 32"	16.65	33.31	S84° 59' 47"W
C76	33.48	984.52	2° 00' 08"	16.74	33.48	S82° 59' 57"W
C77	24.92	984.52	1° 29' 26"	12.46	24.92	S80° 20' 10"W
C78	83.68	213.00	22° 30' 33"	42.39	83.14	S68° 16' 36"W
C79	38.89	213.00	10° 27' 43"	19.52	38.84	S74° 18' 01"W
C80	44.79	213.00	12° 02' 50"	22.48	44.70	S63° 02' 49"W
C81	46.72	335.00	7° 59' 27"	23.40	46.68	N39° 18' 11"W
C82	66.60	665.00	5° 44' 17"	33.33	66.57	N40° 28' 49"W
C83	78.47	300.00	14° 59' 09"	39.46	78.24	N63° 20' 22"E
C84	32.40	300.00	6° 11' 15"	16.21	32.38	N74° 00' 34"E
C85	49.49	1100.00	2° 34' 40"	24.75	49.49	N89° 40' 42"E
C86	36.21	1100.00	1° 53' 09"	18.10	36.20	N82° 54' 49"E
C87	36.71	1100.00	1° 54' 43"	18.30	36.70	N83° 52' 21"E
C88	44.72	1100.00	2° 19' 45"	22.36	44.72	N86° 55' 56"E
C89	54.02	1100.00	2° 48' 50"	27.02	54.02	N89° 30' 14"E
C90	244.10	1100.00	12° 43' 01"	122.58	243.60	N64° 33' 09"E
C91	39.57	665.00	3° 24' 30"	19.79	39.57	S35° 52' 21"E
C92	491.43	665.00	42° 20' 29"	257.55	480.33	S12° 59' 49"E
C93	323.93	330.00	56° 14' 31"	176.36	311.08	S17° 33' 44"E
C94	99.94	470.00	12° 10' 59"	50.16	99.75	N39° 30' 30"W
C95	30.78	470.00	3° 45' 10"	15.40	30.78	S31° 37' 26"E
C96	47.34	335.00	8° 05' 48"	23.71	47.30	S10° 22' 27"E
C97	47.34	335.00	8° 05' 48"	23.71	47.30	S06° 16' 59"E
C98	29.80	513.00	3° 20' 23"	14.95	29.80	N88° 17' 50"E
C100	26.53	470.00	3° 14' 04"	13.27	26.53	S14° 49' 10"E
C101	26.01	335.00	4° 26' 53"	13.01	26.00	S33° 06' 01"E

Line Table		
Line #	Length	Direction
L1	30.00	S28°43'37"E
L2	30.00	S28°43'37"E
L3	29.83	N20°15'19"W
L4	65.43	N79°40'27"E
L5	10.89	N89°58'07"E
L6	87.52	S23°05'56"E
L7	108.04	N18°39'02"W
L8	113.68	S11°31'18"E
L9	119.23	S04°29'41"E
L10	119.20	S00°16'10"E
L11	116.69	S00°16'10"E
L12	114.12	S00°16'10"E
L13	143.88	N68°37'39"E
L14	63.00	N86°37'39"E
L15	44.07	N86°37'39"E
L16	36.76	N86°37'39"E
L17	26.00	S23°05'56"E
L18	30.51	S66°54'02"W
L19	10.89	S89°58'02"W
L20	104.11	N60°01'17"E
L21	102.15	N61°50'03"W
L22	102.01	N04°39'55"W
L23	102.01	N07°21'36"W
L24	102.20	N14°38'14"E
L25	14.78	N79°40'27"E
L26	111.40	N86°37'39"E
L27	16.82	N86°37'39"E
L28	48.56	N86°37'39"E
L29	48.02	N86°37'39"E
L30	106.14	S86°37'39"W
L31	89.35	S86°37'39"W
L32	16.79	S89°37'39"W
L33	14.78	S79°42'27"E
L34	105.28	N04°06'41"W
L35	105.93	N05°56'17"W
L36	106.40	N07°45'53"W
L37	106.90	N09°13'31"W
L38	107.67	N14°09'30"W
L39	110.11	S22°47'00"E

SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found during the boundary retracement of Parcels B and C, Sunbeam Subdivision, Phase 1, and re-configure the property into Lots 1-42, Sections 120, and Parcel B1. The Boundary is based on said found monuments and the recorded Plat for Sunbeam Subdivision, Phase 1, Instrument Number 662301, records of Blaine County, Idaho. All found monuments have been accepted.
- A title policy provided by Stewart Title Guaranty Company, File No. 1921937, Date of Guarantee: October 29, 2019, lists Exceptions that affect the property. All of said exceptions are NOT shown hereon and said title policy should be reviewed.
- Parcels B is open space to benefit the general public to satisfy the city's park contribution requirements.
- A temporary agricultural easement over the entirety of Parcel B, Sunbeam Subdivision, Phase 1 is vacated hereon.
- Property shown hereon is subject to the Covenants, Conditions, and Restrictions as recorded under Instrument Number 652300, and amendments thereto, records of Blaine County, Idaho.
- All new utilities shall be placed underground.
- Refer to Civil Engineering drawings for existing and proposed utilities.
- The subject and surrounding properties are zoned Limited Residential 1 (LR-1) with the exception of Old Cuters Subdivision which is zoned General Residential (GR).
- A sewer line easement agreement exists between Marathon Partners, Old Cuters, Inc., and the City of Hailey as recorded under Instrument Number 546801, records of Blaine County, Idaho, see sheet 2.
- Lot owners may not restrict the flow of water within any of the canals or ditches. This includes, but is not limited to, planting of reeds, rushes, cattails, or corksults.
- The property owner is responsible for controlling wildlife degradation. Any actions taken to alleviate degradation shall follow ICFD's recommendations.
- Game and predatory wildlife feeding is prohibited.
- This Subdivision is subject to the Hawaii Canal/Sunbeam Subdivision Maintenance Agreements as recorded under Instrument Number 672260, and amendments thereto, records of Blaine County, Idaho.
- The property owner is responsible for controlling wildlife degradation. Any actions taken to alleviate degradation shall follow ICFD's recommendations.
- Game and predatory wildlife feeding is prohibited.
- Pet food shall be stored and fed in a manner that does not attract nuisance wildlife, such as skunks, raccoons, magpies, and red foxes.
- Recreational activities shall follow the Administrative Guidelines for Winter Wildlife, as set forth by Blaine County, the City of Hailey, and the Bureau of Land Management, and the Idaho Department of Fish and Game.
- Lots within the Subdivision are subject to the following turf area restrictions:
  - For lots less than or equal to 8,000 square feet, a maximum of forty percent (40%) of the total land area of each residential lot may be turf.
  - For lots greater than 8,000 square feet and less than or equal to 12,000 square feet, a maximum of thirty-five percent (35%) of the total land area of each residential lot may be turf up to maximum of 3,000 square feet.
  - For lots greater than 12,000 square feet and less than or equal to 14,000 square feet, a maximum of thirty percent (30%) of the total land area of each residential lot may be turf up to maximum of 3,500 square feet.
  - For lots greater than 14,000 square feet a maximum of twenty-five percent (25%) of the total land area of each residential lot may be turf.
- Landscaping shall promote low water use vegetation through the use of drought tolerant plants either from and approved list or as recommended by a landscaping design professional.
- Each residential irrigation system shall be at 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.

CERTIFICATE OF SURVEYOR

I, Mark E. Phillips, hereby certify that I am a Licensed Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

PHILLIPS LAND SURVEYING, PLLC  
 HAILEY, IDAHO  
 Phone: (208) 720 - 3760  
 Email: pls16670@gmail.com

A PRELIMINARY PLAT SHOWING  
 SUNBEAM SUBDIVISION - PHASE 2

LOCATED WITHIN SECTION 8 & 10, T. 2 N., R. 18 E., B. 1M.  
 CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR MARATHON PARTNERS, LLC

REVISIONS  
 NO. DATE BY

DRN. MEP  
 CHK. MEP  
 PLS. MEP  
 DATE: 01/02/24  
 JOB # 2024-02

REUSE OF DRAWINGS  
 This map or any portion thereof, or any information contained hereon, is the property of Phillips Land Surveying, PLLC.

3 of 3







**STREETSCAPE TREES**

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
<b>TREES</b>					
	A0	Acer saccharum	Sugar Maple	3' Cal.	14
	AA	Acer x freemanii 'Jefferson'	Autumn Blaze® Freeman Maple	4' Cal.	17
	G1	Gleditsia triacanthos Inermis 'Sycokel'	Sycokel® Honey Locust	2' Cal.	15
	QB	Quercus bicolor	Swamp White Oak	4' Cal.	20
	RP	Rubia pseudoacacia	Black Locust	2' Cal.	16
	SR	Syringa reticulata	Japanese Tree Lilac	2' Cal.	9
	UP	Ulmus x 'Morton Gossy'	Triumph™ Elm	2' Cal.	9
<b>SHUBS</b>					
	AC	Amelanchier canadensis	Canadian Serviceberry	-	3
	PC	Prunus virginiana	Chokeberry	-	3
	RT	Rhus typhala	Stonk bush Sumac	-	5

**STREETSCAPE GROUNDCOVER**

**NATIVE GRASS** 65,545 sf  
Drought Tolerant Native Meadow Grass

**STREET TREE REQUIREMENTS**

SUNBEAM PHASE 2 STREET TREE CALCULATIONS:  
 • 98 TOTAL TREES  
 • 19 = 20% OF ONE SPECIES MAX.

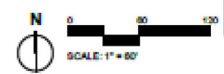
**LANDSCAPE PLANS**  
**SUNBEAM SUBDIVISION PH. 2**  
**HAILEY, ID**

FILE NAME: [Blank]  
 PROJECT MANAGER: KP  
 DRAWN BY: BT  
 DATE: 02/26/2024

**STREET TREE PLAN**

SHEET NO.

**L2.0**







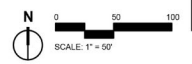
**LANDSCAPE PLANS**  
**SUNBEAM SUBDIVISION PH. 2**  
 HAILEY, ID

FILENAME:  
 PROJECT MANAGER: KP  
 DRAWN BY: BC  
 ISSUE DATE: 02/26/2024

PARK PLAN

SHEET NO.

**L3.0**



# Memorandum

To: Mayor Burke and Hailey City Council  
Hailey Planning and Zoning Commission

From: Hailey Parks and Lands Board

Overview: Recommendation to accept park dedication of Sunbeam Subdivision Phase II

Date: July 30, 2024

**Background:** At the regular meeting of the Parks and Lands Board on July 24, 2024, the Parks and Lands Board revisited and discussed the revised Park Plan for the Sunbeam Subdivision – Phase II. Ben Young of Ben Young Landscape Architecture (BYLA) presented on the Sunbeam Park expansion.

The proposed Sunbeam Subdivision Phase II is located between Quigley Canyon and Old Cutters Subdivision and consists of single-family and cottage single-family lots/sublots, bike and pedestrian connection trails, and public park and open space consisting of a recreation field, natural play and scenic areas with a connection to the existing Curtis Park. The total proposed park space of Phase I and Phase II combined is 7.88 acres, which exceeds City Standards for park dedication with a subdivision of this size.

In this update, BYLA highlighted the importance of connectivity between Curtis Park, the existing Sunbeam Park, and the new Phase II Park, and emphasized the goal of connecting open space. The new landscape plan highlights multiple pedestrian pathways that connect to existing infrastructure and feature grading as well as contours which provide opportunities for discovery and adventure. The pathways feature overlook benches and a new swing set. The updated Park plans include shade trees around the perimeter of the park which surround active play lawns. The plan also features a timber frame pavilion at the core of the park, as well as new connector trails to support and encourage greater connectivity throughout the park, as well as the greater subdivision. To further accommodate increased use, the plan shows a concrete pad for non-plumbed restrooms, in addition to a handwash/dog bowl station, as well as a non-potable water connection near the pavilion.

Furthermore, the Developer has created a Master Plan for the Park, as requested by Staff, which the City can utilize to develop future programmatic amenities at identified locations, to be built out by the City at a future date.

The Parks and Lands Board, based on the proposed plan and discussion, expressed support for the Sunbeam Park Phase II Plan.

**Recommendation:** At the July 24, 2024 meeting, the Parks and Lands Board voted unanimously to recommend approval of the Sunbeam Park Plan for Phase II by the Planning and Zoning Commission, and the Hailey City Council, which includes the improvements as presented by the Applicant Team, and identified as follows:

- The creation of a Master Plan for Phase II park development, to include updated landscaping plans, all amenities and/or features planned for installation during Phase II build-out, and areas/future uses in the park as contemplated by the Development Team and City Staff.
- Included within the within the Master Plan and designated for Phase II build-out:
  - Depiction of and installation sites for shade trees within the native lawn/play lawn interface.
  - Pavilion structure, including specific location, size, capacity, and intended materials/design.

**Return to Agenda**



## STAFF REPORT

### Hailey Planning and Zoning Commission

### Regular Meeting of September 3, 2024

**To:** Hailey Planning and Zoning Commission  
**From:** Ashley Dyer, Community Development City Planner

**Overview:** Consideration of a Design Review Application submitted by The Advocates for Survivors of Domestic Violence, represented by Errin Bliss of Bliss Architecture, for the construction of a new 23,347 square foot, three story, mixed-use building, located at 201 and 203 S. River Street (Lots 1-3 Block 30, Townsite). The building consists of a commercial 1<sup>st</sup> floor, and transitional housing units on both the 2<sup>nd</sup> and 3<sup>rd</sup> floors. This project is to be known as The Advocates for Survivors Thrive Center for Safety and Healing.

**Hearing:** September 3, 2024

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**Applicant:** The Advocates for Survivors of Domestic Violence, represented by Bliss Architecture  
**Location:** 201 and 203 S. River Street  
**Zoning/Size:** Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO)  
Total Lot Area: 10,823 sq. feet (0.25 acres)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on August 14, 2024, and mailed to property owners on August 14, 2024.

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**Application:** The Applicant is proposing to construct a new 23,347 square foot, three-story mixed-use building, to be located at 201 and 203 S. River Street. The first floor is proposed to be 7,836 square feet in size, the second floor is proposed to be 8,028 square feet in size, and the third floor is proposed to be 7,483 square feet in size. The first floor consists of commercial space, which includes offices, a conference room, as well as space for youth to meet, and a food bank. There are ten (10) transitional residential units proposed for the second floor and ten (10) transitional residential units proposed for the third floor, for a total of 20 transitional residential units.

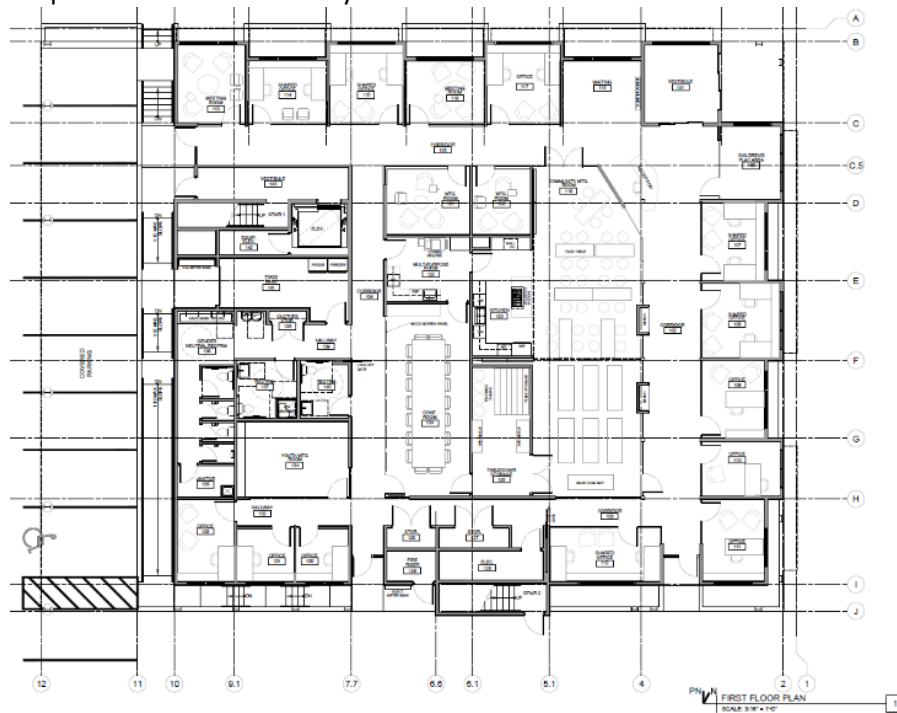
More specifically, the proposed site plan entails a three-story building with a commercial first floor and safe/transitional housing units on the second and third floors. Various site, landscaping, and right-of-way improvements are also proposed. Details include:

- 20 total onsite parking spaces (Phase III); 18 on-street parking spaces (River Street and Croy Street. Phase III parking as follows:
  - On-site compact spaces: 5 spaces
  - On-site accessible spaces: 1 Space
  - On-site Standard spaces: 17 spaces
  - Off-site spaces: 4 spaces along Croy Street

- Total provided: 27 spaces in Phase III
- River Street Typical Section ROW improvements to River Street and Croy Street.
- Block 30 Alley (existing improved alley). The Applicant is removing the existing retaining wall to provide better vehicular circulation in the alley, as well as add more space for onsite parking.
- Approximately 1,831 sq. ft. of common useable open space to include a play area with benches and grass.
- Site improvements to include a mixture of varied landscaping, street trees, and irrigation throughout the exterior of the site.

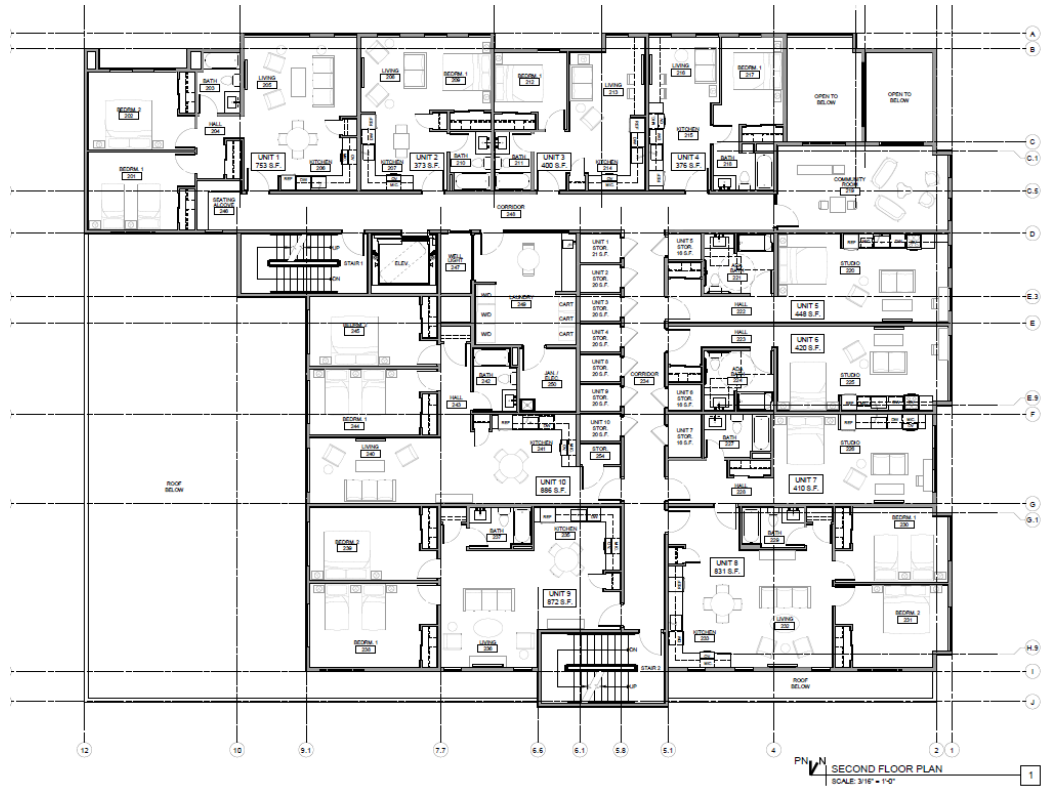
- **Commercial First floor**

- 7,836 square feet of commercial/ retail space
  - Shared office spaces and meeting rooms
  - Kitchen and cafeteria
  - Food bank
  - Youth Meeting Room
  - Multi-purpose rooms
  - Children’s play area
  - Storage
  - 1,831 square foot outdoor courtyard



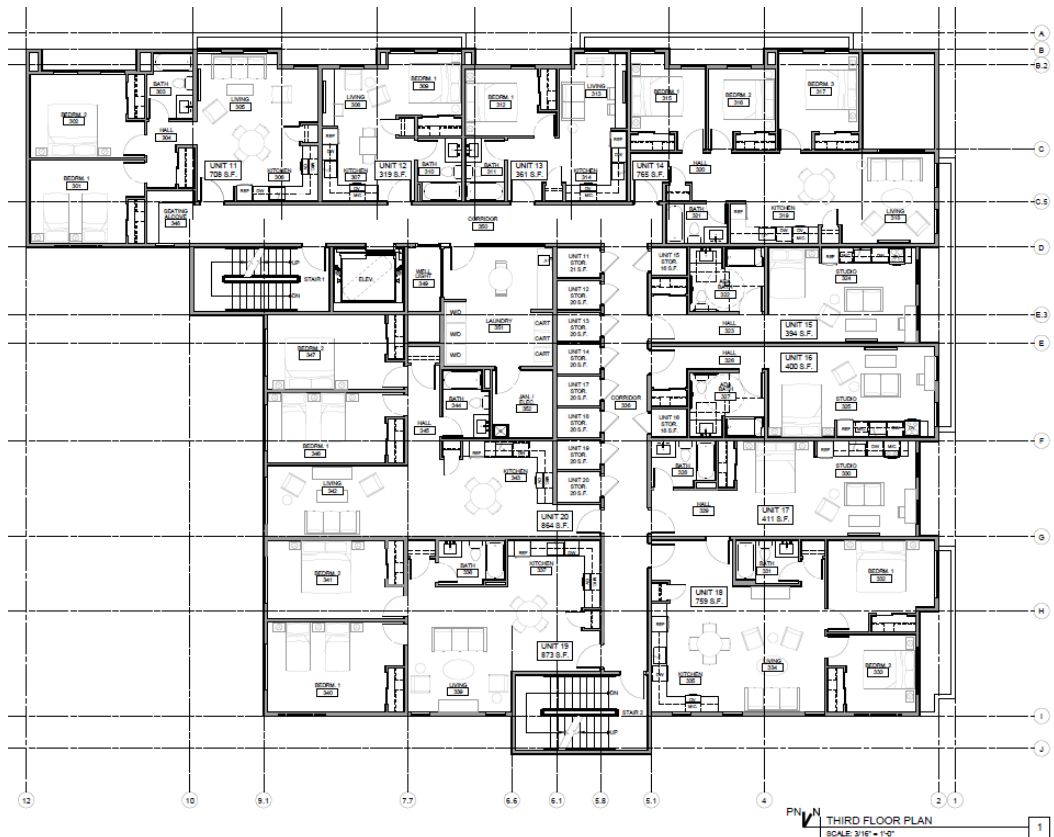
- **Residential Second Floor: Ten (10) Units total; Six (6), one-bedroom and Four (4), two-bedroom transitional housing units:**

- Total living space: 8,028 square feet.
- 1-bedroom units range from 373-448 square feet
- 2-bedroom units range from 753-886 square feet
- Shared Laundry Room
- Small storage space per unit



- **Residential Third Floor: Ten (10) Units total; Five (5), one-bedroom, Four (4), two-bedroom, and one (1), three-bedroom transitional housing units:**
  - o Total living space: 7,483 square feet.
  - o 1-bedroom units range from 319 -411 square feet
  - o 2-bedroom units range from 708-864 square feet
  - o 3-bedroom unit is 765 square feet
  - o Shared Laundry Room
  - o Small storage space for each unit





Parking for the proposed building will be accessed off the existing 26'-wide alley. This alley gains access to/from the existing public streets, Croy Street and Walnut Street. Access to all onsite parking is accessed via the existing alleyway. The surrounding parcels, primarily owned and operated by the Advocates for Survivors of Domestic Violence, are associated with an existing and recorded Shared Parking Agreement for Phase I and Phase II, of which, the Applicant would like to modify said Agreement to include Phase III. Staff and the Applicant Team are working internally to revise this Agreement. This Agreement will be reviewed and approved by the Hailey City Council at a later date, but prior to issuance of a Building Permit.

Parking for Phase I and Phase II were based on per 1,000 square feet of building which equaled 17,649 square feet. As such, previous entitlement processes required that the Applicant provide 18 parking spaces for Phase I and II. The Applicant provided 22 spaces – onsite and offsite – with the approved Shared Parking Agreement.

Parking for Phase III should be calculated as outlined in Title 17, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Article R: Downtown Residential Overlay (DRO) Zoning District, or one (1) onsite parking space per residential unit. The Applicant is proposing 20 transitional residential units thereby requiring a minimum of 20 onsite parking spaces. Between the three (3) phases, the Applicant is providing 39 onsite/offsite parking spaces via proposed amendments to the existing Shared Parking Agreement. To continue to meet the needs of the organization, as well as the community at large, the

Applicant has agreed to further improve the public right-of-way beyond those improvements required as part of the Design Review process.

While the mixed-use building is located within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts, the Applicant is utilizing the Downtown Residential Overlay (DRO). Requirements within the DRO allow for greater flexibility regarding density, parking, open space, and setbacks, which further encourages a more thoughtful approach in developing the land.

A maximum of 40' of building height is allowed for residential units constructed within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts; the total building height proposed is 36' to the parapet and 39.6' from record grade. The Applicant has further considered the visual effect on adjacent sites and other areas in the immediate vicinity and has integrated the proposed building with the surrounding buildings and uses through well-articulated architecture and a thoughtful approach to site circulation, and well-landscaped spaces around the site.

The Applicant will be required to apply for a Lot Line Adjustment to remove the interior lot lines between the two lots within the subject property. Additionally, Staff encourages lot consolidation and 'clean up' with regard to the separate open space parcel (Lot 4A) within the development. The proposed project is located on Lots 1 & 2 Block 30, Hailey Townsite (201 S. River Street), and Lot 3, Block 30, Hailey Townsite (203 S. River Street).

**Goals.** With this project, the Applicant Team is hoping to maximize the Advocates' ability to serve the community, while providing necessary transitional housing, as well as additional space for employed professionals of the organization to continue to assist individuals and families who may be struggling.

**Background:**

**A Design Review Preapplication** hearing was held on December 4, 2023. During this hearing, the Commission neither approved nor denied the application. The Commission suggested that the Applicant Team consider the following:

- 1. Amending the average dwelling size to comply with the requirements of the DRO zoning district:** The average unit size of the safe housing units, as proposed, did not comply with the minimum average dwelling unit size of 600 square feet, as required by DRO. The Commission asked the Applicant to revise the plans to ensure compliance with the minimum dwelling size. The Applicant submitted revised plans that comply with the minimum dwelling size of the district.
- 2. Amend Shared Parking Agreement.** The existing Agreement will be further amended to include the proposed parcels located at 201 and 203 River Street, along with any modifications to existing and proposed parking and/or open space that serves the development. This is a Condition of Approval.
- 3. Provide usable Open Space:** Per the DRO, open space equivalent to 10% of lot area or larger is required. The Applicant is proposing a common open space area of approximately 1,831 square feet, which exceeds the required 1,082 square feet of open space, as outlined in the code. Further, the new 1,831 square foot courtyard will adjoin the preserved open space from the previous phases. The Applicant shall amend the Shared Parking/Open Space Agreement to include Phase III into the agreement. This is a Condition of Approval.



- 4. Lot Line Adjustment:** The Applicant shall apply for a Lot Line Adjustment to remove the interior lot line between the two lots within the subject property. Additionally, Staff encourages lot consolidation and ‘clean up’ with regard to the separate open space parcel (Lot 4A) within the development. This has been made a Condition of Approval for this Design Review.

**Procedural History:** The Design Review Application was submitted on July 26, 2024, and certified complete on August 8, 2024. A public hearing before the Planning and Zoning Commission will be held on September 3, 2024, in the Council Chambers and virtually via Microsoft Teams.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<p><b>Engineering:</b> <i>The City Engineer has recommended that the following be resolved and/or incorporated at the time of Building Permit submittal:</i></p> <ol style="list-style-type: none"> <li>1. <i>The east bound curb ramp to cross River Street doesn't align with the sidewalk approaching it to the west. The curb ramp should likely slide north to make more room for a larger landscape bed.</i></li> <li>2. <i>The proposed spacing on the street trees shall be reviewed for compliance.</i></li> <li>3. <i>Provide additional Shared Parking Restriction signs on the River Street frontage. An additional two (2) more for a total of three (3) on that side, uniformly spaced.</i></li> <li>4. <i>Applicant to confirm the streetlight spacing and that it complies with the typical "block plan".</i></li> <li>5. <i>The sidewalk along River Street shall have a six foot (6') minimum clearance to the tree wells, while less concrete would allow the Applicant an opportunity to landscape more along the front of their building.</i></li> <li>6. <i>Provide the standard ROW Maintenance Agreement, which includes the landscape plantings in the ROW.</i></li> <li>7. <i>Electrical &amp; irrigation to the tree wells, initially fed from the building, like the River Street Typical Section. This includes two traffic rated junction boxes at each tree well, plus junction boxes at key connection points. Details shall be added to final construction drawings, trenching and connection details as well.</i></li> <li>8. <i>Pavement markings to drawings for crosswalks, crossing bike path, etc. shall be added to the plans.</i></li> <li>9. <i>Provide a grading plan. The existing building to the south has an odd sidewalk grading that occurred when they squeezed the building height.</i></li> <li>10. <i>Tree wells would be something like Silva Cells, although ordinance allows "structural soil".</i></li> </ol>
			<b>Life/Safety: No comments</b>	

			<p><b>Water and Sewer:</b> <i>The Water and Wastewater Divisions recommend that the following be resolved and/or incorporated within the final design, prior to issuance of a Building Permit (any additional information that has been added is in bold-italicized text):</i></p> <ul style="list-style-type: none"> <li>- <i>Two (2), ¾" water services exist. If the Applicant chooses not to utilize these services, the services will need to be abandoned at the main.</i></li> <li>- <i>The Applicant is proposing a new tap to the sewer. The Applicant will need to abandon all existing services and place the new tap in the center of the lot.</i></li> <li>- <i>All new taps must follow City Standards.</i></li> </ul>
			<p><b>Building:</b> <i>No comments</i></p>
			<p><b>Streets, Landscaping, Other:</b> <i>The Streets Division recommends that the following be resolved and/or incorporated within the final design, prior to issuance of a Building Permit (any additional information that has been added is in bold-italicized text):</i></p> <ul style="list-style-type: none"> <li>- <i>The Hailey Tree Committee will review the proposed ROW landscaping at their meeting on September 11, 2024.</i></li> <li>- <i>The Applicant had the existing landscaping on the property assessed by Alpine Tree Services who reported that there are existing large Box Elder trees within the Croy Street right-of-way north of the property, as well as an assortment of smaller trees and shrubs throughout the property. Alpine Tree services provided an assessment pertaining to trees larger than 6" DBH (diameter at breast height) and made note that with the exception of tree #1 (Large 32" Box Elder), none of the existing trees on the property warrant efforts for preservation. The report is attached for review.</i></li> <li>- <i>While the varied tree species are appreciated, the proposed street trees -Norway Maple and Little Leaf - do not comply with the approved Downtown Master Plan tree selection of Northern Accliam Honeylocusts. The Applicant shall amend the selected street trees along River Street to comply with the Downtown Master Plan. The Hailey Tree Committee will review to ensure the adequacy of the proposed street trees.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.08A Signs</b></p> <p><b>17.08A Signs:</b> <b>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b></p>
			<p><b>Staff Comments</b></p> <p><i>No signage is being proposed at this time, however a Sign Permit Application will be required and approved prior to installation of business signage. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.09.040 On-site Parking Req.</b></p> <p><b>See Section 17.09.040 for applicable code.</b></p>
			<p><b>Staff Comments</b></p> <p><i>The proposed project is located within the Downtown Residential Overlay (DRO). Parking for Phase III should be calculated as outlined in Title 17, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Article R: Downtown Residential Overlay (DRO) Zoning District, or one (1) onsite parking space per residential unit. All onsite parking spaces are proposed to be shared across Phase I, II, and III, as shown in the image below.</i></p>



*As mentioned earlier, the adjacent parcels – known as Phase I and Phase II – are associated with an existing Shared Parking and Open Space Agreement. In this Agreement, the Hailey City Council agreed to allow for shared parking and open space between Phase I and Phase II of The Advocates Campus. Now, the Applicant is requesting that the existing Agreement be modified to further include Phase III of this project. Staff are amenable to this and will work with the Applicant Team to finalize a revised Agreement for the City Council to consider at a later date, this Design Review approval thereby contingent to the revised and approved Shared Parking and Open Space Agreement.*

*That said, in detail, onsite parking requirements for all phases include:*

**Phase III: (RED)**

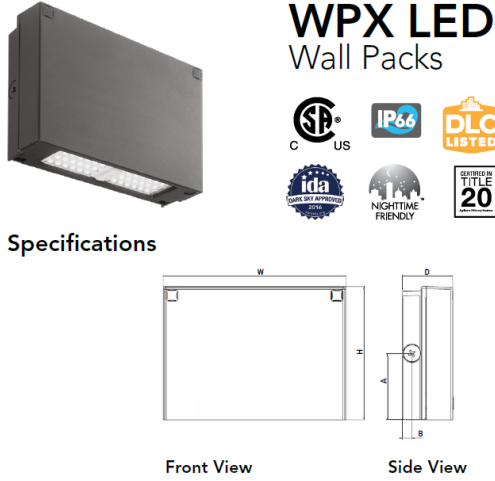
- 20 residential units requires 20 onsite parking spaces
  - o 11 onsite spaces abutting alleyway to the east
  - o 12 parking spaces abutting alleyway to the west
- Total proposed: 23 onsite parking spaces
- Improved ROW Parking: 20 off-site parking spaces along Croy and River Streets

*Parking for Phase I and Phase II were based on previous code requirements, or one (1) onsite parking space per 1,000 square feet of building square footage. The total building square footage of Phase I and Phase II combined is 17,649 square feet, which required 18 onsite parking spaces to comply with City Code. The Applicant provided 22 parking spaces – onsite and within the public right-of-way via the approved Shared Parking Agreement.*

**Existing Parking for Phase I and Phase II via Shared Parking Agreement: (Blue)**

- 17,649 square foot building area required 18 parking spaces
  - o 9 spaces onsite for Phase II
  - o 3 spaces onsite for Phase I
  - o 9 spaces off-site and along Croy Street via Shared Parking Agreement
  - o Improved ROW Parking beyond Shared Parking Agreement: 4 off-site along River Street

				<p><i>Based on the information above, the total number of parking spaces required for the Advocate Campus is 38 parking spaces. Between the revised Parking Agreement and all parking proposed, the parking requirements have been met. On and offsite parking spaces have been provided, which includes the integration of the existing Shared Parking and Open Space Agreement, as well as likely modifications thereof. The existing Agreement will be further amended to include the proposed parcels located at 201 and 203 S. River Street, along with any modifications to existing and proposed parking and/or open space that serves the development. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b></p> <p><b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> <p><i>N/A.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:           <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<p><i>Staff Comments</i></p>	<p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. The proposed fixtures can be reviewed on the attached specification sheet.</i></p>

				 <p><b>WPX LED</b> Wall Packs</p> <p>Specifications</p> <p>Front View      Side View</p>
☒	☐	☐	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: Business</b>  <b>Maximum Height: 40' within the Business (B) District with residential unit(s)</b>  <b>Required Setbacks: There are 0' setbacks for this District and no maximum lot coverage</b></p> <ul style="list-style-type: none"> <li>• Front Yard: 0'</li> <li>• Side Yards: 0'</li> <li>• Rear Yard: 0'</li> </ul>
☒	☐	☐	<p><b>17.06.070(A)1 Street Improvements Required</b></p>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<p><b>Staff Comments</b></p>	<p><i>Zoning District(s): Business (B) and Downtown Residential Overlay (DRO)</i>  <i>Proposed Height: 36' Parapet and 39.6' Record Grade</i>  <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>- Front: 10.5'</li> <li>- Rear: 32'</li> <li>- Side 18'</li> </ul> <p><i>The proposed project complies with the height, lot coverage, and setback requirements of the Hailey Municipal Code.</i></p>
			<p><b>Staff Comments</b></p>	<p><i>A new 8'- to 8.5'-wide sidewalk is shown along the entire frontage of River Street (8.5') and the frontage of Croy Street (8'). This sidewalk connects to an existing 8'-wide sidewalk along the property frontage of River Street and Croy Street. These sidewalks will connect to additional sidewalks interior to the lot (e.g., front entries, around the building, and to the proposed parking area). These improvements follow the River Street Typical Section, and are as follows (listed from street to building):</i></p> <p><b>River Street:</b></p> <ul style="list-style-type: none"> <li>- 2'-wide paver strip</li> <li>- 5'-wide asphalt bike path</li> <li>- 4'-wide landscaping strip</li> <li>- 8.5'-wide concrete sidewalk</li> </ul> <p><b>Croy Street:</b></p> <ul style="list-style-type: none"> <li>- 2'-wide paver strip</li> <li>- 8'-wide concrete sidewalk</li> <li>- 9.5'-wide landscape strip</li> </ul>

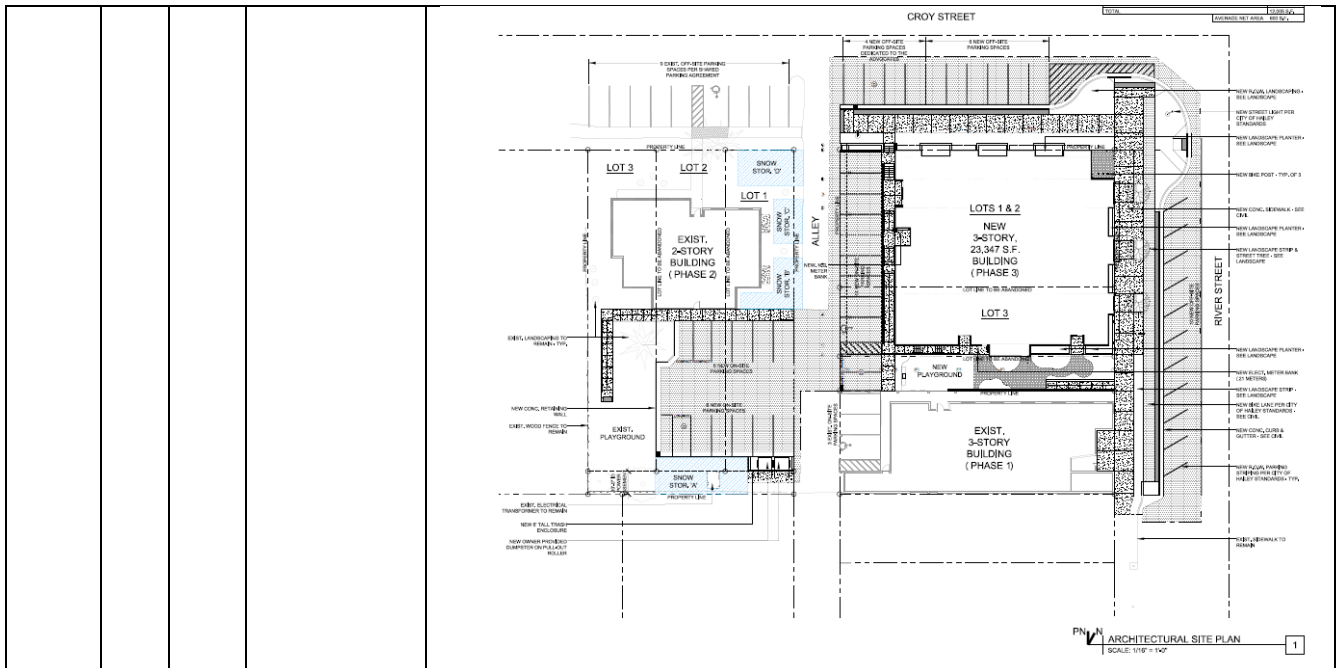
				<i>These sidewalks will connect to unit entrances, around the building, to the proposed parking area, to ensure safe and sufficient access to and from the site. This is a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>This standard will be met and has been made a Condition of Approval.</i>

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i>  <i>The proposed building follows the grid pattern in downtown Hailey. The primary walls of the proposed building are oriented east/west, with the primary entrance facing east and having frontage off River Street. A newly modified courtyard area, usable by the residents of the building, is proposed along the south side of the building, between the proposed phase and Phase II. Entries to and from the building are located adjacent to these open space areas.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i>  <i>The Applicant had the landscaping on the property assessed by Alpine Tree Services who reported that there are existing large Box Elder trees within the Croy Street right-of-way north of the property, as well as an assortment of smaller trees and shrubs throughout the property. Alpine Tree services provided an assessment pertaining to trees larger than 6" DBH (diameter at breast height) and made note that with the exception of tree #1 (Large 32" Box Elder), none of the existing trees on the property warrant efforts for preservation, the report is attached for review.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>

			<b>Staff Comments</b>	<p>A new 8'- to 8.5'-wide sidewalk is shown along the entire frontage of River Street (8.5') and the frontage of Croy Street (8'). This sidewalk connects to an existing 8'-wide sidewalk along the property frontage of River Street and Croy Street. These sidewalks will connect to additional sidewalks interior to the lot (e.g., front entries, around the building, and to the proposed parking area). These improvements follow the River Street Typical Section, and are as follows (listed from street to building):</p> <p><b>River Street:</b></p> <ul style="list-style-type: none"> <li>- 2'-wide paver strip</li> <li>- 5'-wide asphalt bike path</li> <li>- 4'-wide landscaping strip</li> <li>- 8.5'-wide concrete sidewalk</li> </ul> <p><b>Croy Street:</b></p> <ul style="list-style-type: none"> <li>- 2'-wide paver strip</li> <li>- 8'-wide concrete sidewalk</li> <li>- 9.5'-wide landscape strip</li> </ul> <p>These sidewalks will connect to unit entrances, around the building, to the proposed parking area, to ensure safe and sufficient access to and from the site. This is a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<b>Staff Comments</b>	<p>The Applicant is proposing that the trash enclosure area to be screened and placed at the southwestern corner of the adjoining lot (Phase II). A letter from Clear Creek Disposal will be required commenting on the adequacy of said enclosure/accessibility. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<b>Staff Comments</b>	<p>The existing alley will be utilized for building services.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<b>Staff Comments</b>	<p>N/A No vending machine is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> <li>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</li> <li>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</li> </ul>
			<b>Staff Comments</b>	<p>All onsite parking is located to the rear of the building, gaining access from the existing alley. A useable prominent entrance is located along River Street and Croy Street, and the parking area is buffered by the building.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <p><b>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12’.</b></p>
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>
			<i>Staff Comments</i>	<p><i>The site is serviced by two (2) public streets and an alley: River Street, Croy Street, and the existing alley. The onsite parking area can be accessed via the existing alley, which connects to Croy and Walnut Streets. Primary pedestrian access can be achieved from River Street or Croy Street.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p>
			<i>Staff Comments</i>	<p><i>Snow will remain in place on roofs, and with proper drainage, gutters, snow clips, and the flat roof design should prevent snow from shedding. For exposed, hardscape areas, a snow storage area is proposed on the adjoining property to the West (Phase II). The hauling of snow is permitted within the Business (B) District, and given the proximal location of the well site, this is preferred. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p>


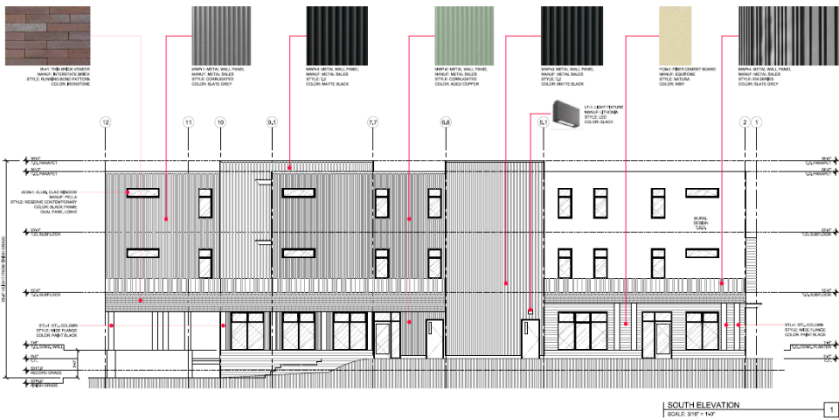


			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
			<i>Staff Comments</i>	<i>Any landscaped areas where snow may be stored (e.g., front entry areas) contain grasses that are more resilient to snow.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<b>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<p><i>The proposed building responds to the layout and is compatible with the adjacent buildings to the north and the south, which includes the proposed building height of 36' from the parapet. The articulation of the rooflines and materials complement the surrounding area. The building is proportional in size and shape to the surrounding building(s) which are also owned and operated by The Advocates for Survivors, as transitional housing and office space.</i></p> <p><i>While the mixed-use building is located within the Business (B), Downtown Residential Overlay (DRO), and the Townsite Overlay (TO) Zoning Districts, the Applicant is utilizing the Downtown Residential Overlay (DRO). Requirements within the DRO allow for greater flexibility regarding density, parking, open space, and setbacks, which further encourages a more thoughtful approach in developing the land.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)2b</b> <i>Staff Comments</i>	<b>b. Standardized corporate building designs are prohibited.</b> <i>N/A, as the proposed building design is not a standardized corporate building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2c</b> <i>Staff Comments</i>	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b> <i>The Applicant has integrated the building to the surrounding site and greater area. Open space areas, pathway and/or sidewalk connections, and various exterior materials emphasize human scale, are pedestrian oriented and encourage human activity.</i>  <i>A variety of landscaping and plant material will also be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2d</b> <i>Staff Comments</i>	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b> <i>The front façade and front entry of the building faces River Street and Croy Street. Pathways, sidewalks, and open space create human scale and connectivity, and break up the larger building surfaces.</i>  <i>The front façade of the building occupies most of the street frontage. Various size windows, and exterior features such as pop outs and parapets emphasize human scale and break up the building surfaces. The building features street-level material changes which include, corrugated metal wainscoting siding, wood post and beams, brick accents, and color palette of the exterior blends well with the surrounding design of which reduces mass and scale of the building. The scale and design components complement the surrounding area nicely.</i>

				 <p style="text-align: right; font-size: small;">RENDERED EAST/RIVER STREET ELEVATION SCALE 3/4" = 1'-0"</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken up on the various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail. The Applicant is proposing a mixture of corrugated metal wall panels in Slate Grey, Matte Black and Aged Cooper with brick running bond along the lower portion of the building. Fiber cement boards in natural tones are proposed around the windows to help break up the metal.</p>  <p style="text-align: right; font-size: small;">SOUTH ELEVATION SCALE 3/4" = 1'-0"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>Staff Comments</i> The proposed building is three stories in height and contains a flat roof. The variety of colors utilized, pop-outs, roof parapets, and various siding, provide depth and add human scale to the building façades.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii. South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii. Double glazed windows.</li> <li>iv. Windows with Low Emissivity glazing.</li> <li>v. Earth berming against exterior walls</li> <li>vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<p>The building incorporates the following techniques that minimize its energy consumption:</p> <ul style="list-style-type: none"> <li>- Low Emissivity Glazing</li> <li>- Dual Pane Windows</li> <li>- Solar Orientation, longer wall plane is place on an east-west axis within 30 degrees of true south.</li> <li>- Planters along east and north facades provide earth berming at the exterior walls.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p>It appears that pedestrian entrances will be covered by flat roof awnings, which will retain snow. Additionally, snow clips and/or gutters and downspouts have been provided to prevent snow from falling directly onto adjacent sidewalks.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<p>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<p>NA, as no drive-through canopies are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<p>N/A, as a Master Signage Plan is not required of a single-tenant building.</p>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>A detached trash enclosure is proposed at the southwestern corner of the adjoining parcel to the west (Phase II). This area will be properly screened to be compatible with the primary building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>The trash enclosure is located on the adjoining parcel to the west (Phase II) of the property, and properly screened from view of the primary streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>NA- no new fence is proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>N/A- no new fence is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>All roof-mounted mechanical equipment shall be screened or not visible from the ground level of on-site parking areas, adjacent streets, and properties. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>Any hardware associated with alternative energy sources will be incorporated into the building's design and will not detract from the building nor its surroundings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

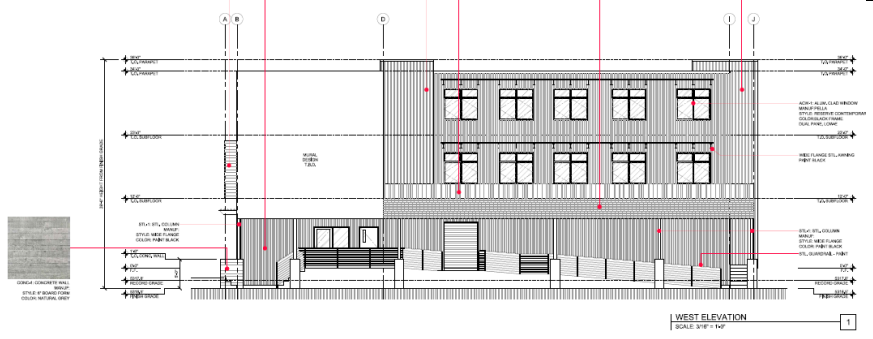
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>


			<p><b>Staff Comments</b></p>	<p><i>Drought tolerant, native plant materials are proposed. The Applicant is proposing to incorporate a mixture of landscaping throughout the perimeter of the site. The following onsite landscaping is proposed:</i></p> <p><i>Trees (16 total trees):</i></p> <ul style="list-style-type: none"> <li>- 7 street trees: Norway Maple and Little leaf Linden at 3” Caliper</li> <li>- 8 Deciduous trees: Flowering Crabapple and Swedish Aspen at 2.5” Caliper</li> </ul> <p><i>Shrubs (88 total shrubs): 5 Gallon</i></p> <ul style="list-style-type: none"> <li>- Varlegated Dogwood, Pontentilla Goldfinger, Snowberry, Snowmound Spirea, Goldflame Spirea, Amer, Compact Cranberry and Peking Cotoneaster.</li> </ul> <p><i>Ornamental Grasses (156): 2 Gallon:Karl Foerster and Blue Oat Grass</i></p> <p><i>Flowers and Ground cover (148): 1 Gallon Various species</i></p> <p><i>While the varied tree species are appreciated, the proposed street trees; Norway Maple and Little Leaf do not comply with the approved Downtown Master Plan tree selection of Northern Accliam Honeylocusts. The Applicant shall amend the selected street trees along River Street to comply with the Downtown Master Plan.</i></p> <p><i>The Hailey Tree Committee will review the proposed landscaping plan at their next meeting on Septber 11, 2024, This has been made a Condition of Approval.</i></p>
☒	☐	☐	<p>17.06.080(A)4b</p>	<p><b>b. All plant species shall be hardy to the Zone 4 environment.</b></p>
			<p><b>Staff Comments</b></p>	<p><i>Plant materials will be appropriate for the Zone 4 environment.</i></p>
☒	☐	☐	<p>17.06.080(A)4c</p>	<p><b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b></p>

			<b>Staff Comments</b>	<i>It appears a drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles should also be installed in grass spaces. Irrigation systems should not be placed against the pavement – they shall be positioned in a way where they will not spray water on the pavement or other hardscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b></p>
			<b>Staff Comments</b>	<p><i>Proposed landscaping is varied. A combination of trees, shrubs, and groundcover, grasses and perennials will be utilized to soften the site, as well as create visual interest. This is a newly landscaped area, and more than ten (10) trees are proposed. The Applicant is proposing a total of 16 trees (refer to Section 17.06.080(A)4a for further details). The breakdown is as follows:</i></p> <ul style="list-style-type: none"> <li>- 7 street trees: Norway Maple and Little leaf Linden at 3” Caliper</li> <li>- 8 Deciduous trees: Flowering Crabapple and Swedish Aspen at 2.5” Caliper</li> </ul> <p><i>While the varied tree species are appreciated, the proposed street trees; Norway Maple and Little Leaf do not comply with the approved Downtown Master Plan tree selection of Northern Accliam Honeylocusts. The Applicant shall amend the selected street trees along River Street to comply with the Downtown Master Plan. The Hailey Tree Committee will review the proposed landscaping plan at their next meeting on September 11, 2024</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p>
			<b>Staff Comments</b>	<i>N/A, as this parcel is located within the Business (B) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p>
			<b>Staff Comments</b>	<i>The subject parcel is located within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. The landscape plan incorporates a variety of trees, shrubs, groundcovers, grasses, and perennials that soften the site, while also providing visual interest from the various colors, textures, and forms of each plant. There are also open areas that further enhance the site – open space, with a courtyard and play area, and distinctive foliage and landscape features (see image below for images of the proposed plant material).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p>

			<i>Staff Comments</i>	<i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans. Please refer to the section titled, "Streets, Landscaping, and Other" for additional information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b>
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	<b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing a retaining wall as a site buffer to coordinate the flow of pedestrian and vehicular traffic</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b>
			<i>Staff Comments</i>	<i>The proposed retaining walls complies with aesthetic standards of Hailey. The Applicant has proposed textured concrete retaining walls to be constructed around the perimeter of parking spaces, as well as the perimeter of the lots to help emphasize the separation of the lots/ buildings and to ensure safe pedestrian circulation on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>The proposed retaining wall is approximately Five feet (5') in height with a clear separation of the walls, the location of the proposed retaining walls will not be visible from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	<b>l. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>The proposed locations of the retaining walls act as a buffer themselves with the building location. The retaining walls associated with the courtyard will be visually separated by the proposed grasses, shrubs and trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>The proposed retaining wall is approximately five feet (5') in height, which would require railings for safety. The plans show railings at the rear of the building for safe pedestrian access.</i>



				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4n	<p><b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b></p> <p><i>Staff Comments</i>    <i>The Applicant is not proposing to use the retaining walls as seating.</i></p>

5. Building Design				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p> <p><i>Staff Comments</i>    <i>The proposed building design provides a transition to adjoining properties. Design features that reduce the mass of the building include:</i></p> <ul style="list-style-type: none"> <li>- <i>The design emphasizes the natural mountain atmosphere, and reduces the mass by creating visually pleasing textures, materials, and triangulated forms.</i></li> <li>- <i>The flow of the building reflects the evolving style of Hailey, while being thoughtful of familiarity of the past contemporary designs.</i></li> <li>- <i>The proposed open space and landscaping plan further separate the building from less intensive uses.</i></li> </ul> <p><i>The proposed mixed-use project creates a natural transition from business use to transitional residential use.</i></p> <div style="text-align: center;">  </div>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p> <p><i>Staff Comments</i>    <i>The building achieves human scale by a prominent entrance, open space areas, site circulation connections and various exterior materials. The landscaping also</i></p>

				<p><i>maximizes human scale and enhances the “sense of place”. The various trees, shrubs, groundcovers, grasses, and perennials, and landscape features provide screening for both residents and neighbors. The open space and exterior amenities encourage human activity and further enhance pedestrian interaction.</i></p>
<b>Downtown Residential Overlay District</b>				
<b>1. Use and Bulk Requirements</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>		17.04R.040	<p>Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein.</p> <p>a. Residential Percentage: There shall be no maximum residential percentage on the ground level.</p>
			<i>Staff Comments</i>	<i>This standard has been met.</i>
<b>2. Multi-Family and Mixed-Use Density</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060	<p>a. <b>Maximum Residential Units Per Acre:</b> Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from <a href="#">chapter 17.06</a>, "Design Review", of this title. The commission shall have the discretion to modify building design based on the standards in <a href="#">chapter 17.06</a> of this title.</p> <p>b. <b>Dwelling Unit Average Size Requirement:</b> The average dwelling unit size shall be not less than six hundred (600) net square feet per building. (Ord. 1238, 2018)</p>
			<i>Staff Comments</i>	<i>The proposed project consists of safe housing units that vary in size to best meet the needs of its tenants. The Applicant is proposing 20 residential units of various sizes and configurations to further meet the needs of its tenants. As shown in the image below, the average dwelling unit size meets this standard above, or the average dwelling unit size is not less than 600 net square feet per building.</i>

<b>RESIDENTIAL UNIT NET AREA</b>	
	NET S.F.
UNIT 1 + STOR. CLOSET	774 S.F.
UNIT 2 + STOR. CLOSET	393 S.F.
UNIT 3 + STOR. CLOSET	420 S.F.
UNIT 4 + STOR. CLOSET	396 S.F.
UNIT 5 + STOR. CLOSET	464 S.F.
UNIT 6 + STOR. CLOSET	436 S.F.
UNIT 7 + STOR. CLOSET	426 S.F.
UNIT 8 + STOR. CLOSET	851 S.F.
UNIT 9 + STOR. CLOSET	892 S.F.
UNIT 10 + STOR. CLOSET	906 S.F.
<b>SECOND FLOOR TOTAL</b>	<b>5,958 S.F.</b>
UNIT 11 + STOR. CLOSET	729 S.F.
UNIT 12 + STOR. CLOSET	339 S.F.
UNIT 13 + STOR. CLOSET	381 S.F.
UNIT 14 + STOR. CLOSET	785 S.F.
UNIT 15 + STOR. CLOSET	410 S.F.
UNIT 16 + STOR. CLOSET	416 S.F.
UNIT 17 + STOR. CLOSET	431 S.F.
UNIT 18 + STOR. CLOSET	779 S.F.
UNIT 19 + STOR. CLOSET	893 S.F.
UNIT 20 + STOR. CLOSET	884 S.F.
<b>THIRD FLOOR TOTAL</b>	<b>6,047 S.F.</b>
<b>TOTAL</b>	<b>12,005 S.F.</b>
<b>AVERAGE NET AREA</b>	<b>600 S.F.</b>

<b>3. Parking Spaces, Screening and Storage Requirements</b>			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.04R.060</b></p> <p><b>A. Onsite Parking Spaces Requirements for Multiple Family Dwellings and Dwellings withing a Mixed-Use Building.</b></p> <p style="margin-left: 20px;">1. A minimum of one space per residential dwelling unit, where up to twenty-five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.</p> <p style="margin-left: 20px;">2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.</p>
			<p><i>Staff Comments</i></p> <p><i>The development is part of an existing Shared Parking Agreement that will be further amended to include the proposed parcels located at 201 and 203 River Street, along with any modifications to existing and proposed parking and/or open space that serves the development.</i></p> <p><i>Parking for Phase III should be calculated as outlined in Title 17, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Article R: Downtown Residential Overlay (DRO) Zoning District, or one (1) onsite parking space per residential unit. The Applicant is proposing 20 transitional residential units thereby requiring a minimum of 20 onsite parking spaces. Between the three (3) phases, the Applicant is providing 39 onsite/offsite parking spaces via proposed amendments to the existing Shared Parking Agreement.</i></p>
			<p><b>17.06.060</b></p> <p><b>B. Usable Open Space, Screening and Landscaping</b></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.</p> <p>2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and</p> <p>3. Minimum distance setbacks in section <a href="#">17.09.020.11</a> of this title shall not apply.</p>
			<i>Staff Comments</i>	<i>The Applicant is proposing 10% of open space for the development to include an 1,831 square foot courtyard addition which complies with the required 10% of the total lot area of 10,823 for all three phases. This development is part of an existing Open Space Agreement which shall be amended to include Phase III. This has been made a Condition of Approval.</i>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.060	<p>c. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two feet (22'), as determined through the design review process.</p>
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>d. Storage All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process.</p>
			<i>Staff Comments</i>	<i>The Applicant is proposing one (1) small storage unit per residential unit, including all units over 500 square feet in size.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.07	<p>All multi-family residential, commercial, or mixed-use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater.</p>
			<i>Staff Comments</i>	<i>25% of the required number of bicycle spaces is five (5) spaces. The Applicant is proposing to provide six (6) spaces total with three (3) bike posts. Each post provides two (2) bike spaces.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
  2. Require conformity to approved plans and specifications.
  3. Require security for compliance with the terms of the approval.
  4. Minimize adverse impact on other development.
  5. Control the sequence, timing, and duration of development.
  6. Assure that development and landscaping are maintained properly.

- 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
    - ii. A building sprinkler system and alarm system shall be installed, as set forth in the IFC.
  - ii. Water and Wastewater:**
    - i. All construction shall be to City Standards.
    - ii. The Applicant is proposing a new tap to the sewer, all existing services shall be abandoned.
    - iii. The new tap shall be placed in the center of the lot.
    - iv. The lots have two (2) existing  $\frac{3}{4}$ " water services. If the Applicant chooses not to utilize these services, they shall be abandoned.
  - iii. Engineering, Streets, Landscaping, and Other:**
    - i. All Department comments noted herein shall be incorporated and/or resolved with Staff prior to issuance of a Building Permit. All connections, construction, and/or installations shall be to City Standards.

- d) The Applicant shall be responsible for winter snow clearing and maintenance of the of the public right-of-way. A Public Right-of-Way Maintenance Agreement shall be developed and recorded, which will detail the specifics of this requirement, and others.
- e) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and street trees. Further detail will be provided within the Public Right-of-Way Maintenance Agreement.
- f) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- h) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- i) Once approved, a final design shall be submitted (revised based on feedback during preliminary review). Department Heads are required to review, approve and sign off on prior to issuance of a Building Permit.
- j) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- k) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- l) A letter from Clear Creek Disposal shall be provided commenting on the adequacy and accessibility of the enclosure area prior to issuance of a Building Permit.
- m) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- n) A Lot Line Adjustment Application, to remove the interior lot lines, shall be applied for concurrently with the Building Permit.
- o) The existing Shared Parking and Open Space Agreement shall be further amended to include the proposed parcels located at 201 and 203 S. River Street, or Phase III, along with any modifications to the existing and proposed parking and/or open space that serves the development. The Design Review approval is contingent upon approval of the revised Shared Parking and Open Space Agreement.
- p) The Hailey Tree Committee will review the proposed landscaping plan at their next meeting on Septber 11, 2024, any recommended changes to the plan shall be administratively approved prior to the issuance of any city permits.
- q) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for the same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- r) The Applicant shall include street tree species per the recommendation of the Hailey Tree Committee, and in congruence with design/species presented in the Hailey

Downtown Master Plan (draft or other).

- s) The Applicant shall show the locations of all street trees, including dimensionally correct locations and sizes of the tree wells with the footprint of the suitable soil, structural soil, or suspended pavement areas. Said exhibit shall include the supporting mathematical calculations and shall be supplied at the time of Building Permit submittal. The exhibit shall also include a checklist for use during construction inspections, as directed by City Staff.
- t) The Property Owner/Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way.

**Motion Language:**

**Approval:** Motion to approve the Design Review Application submitted by The Advocates for Survivors of Domestic Violence, represented by Errin Bliss of Bliss Architecture, for the construction of a new 23,347 square foot three story mixed-use building, located at 201 and 203 S. River Street (Lots 1-3 Block 30, Townsite), within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (t) are met.

**Denial:** Motion to deny the Design Review Application submitted by The Advocates for Survivors of Domestic Violence, represented by Errin Bliss of Bliss Architecture, for the construction of a new 23,347 square foot three story mixed-use building, located at 201 and 203 S. River Street (Lots 1-3 Block 30, Townsite), within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].

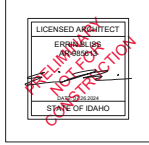
ABBREVIATIONS	
AB	ANCHOR BOLT
ABC	AGGREGATE BASE COURSE
AFF	ABOVE FINISH FLOOR
AFS	ABOVE FINISH GRADE
ALT	ALTERNATE
ALUM	ALUMINUM
BD	BOARD
BLDG	BUILDING
BO	BOTTOM OF
BOO	BOTTOM OF DECK
CA	CLEAR ANODIZED
CC	CENTER TO CENTER
CIP	CAST IN PLACE
CL	CENTER LINE
CLNG	CEILING
CLR	CLEAR
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DET	DETAIL
DM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEG	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
EXIST	EXISTING
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR ELEVATION
FIN	FINISH
FLR	FLOOR
FT	FOOT OR FEET
FV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GLB	GLUE LAMINATED BEAM
GSF	GROSS SQUARE FEET
GYP	GYPSPUM
HB	HOSE BIBB
HDW	HARDWARE
HR	HOUR
INSUL	INSULATION
INT	INTERIOR
JNT	JOINT
LAM	LAMINATE
MAT	MATERIAL
MAX	MAXIMUM
MIR	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
N	NORTH
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD
PL	PLATE
PR	PARR
RA	RETURN AIR
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REQD	REQUIRED
REV	REVISION
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SC	SOLID CORE
SCHED	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
STL	STEEL
STRUC	STRUCTURAL
T&G	TONGUE & GROOVE
TO	TOP OF
TOB	TOP OF BEAM
TOM	TOP OF MASONRY
TOW	TOP OF WALL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WC	WATER CLOSET
WD	WOOD
WI	WITH
W/O	WITHOUT

DRAWING SYMBOLS	
BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM	
<b>OWNER:</b>	ADVOCATES FOR SURVIVORS OF DOMESTIC VIOLENCE & SEXUAL ASSAULT PHONE: 208-754-1951 EMAIL: info@theadvocates-ajcatalago.org
<b>ARCHITECT:</b>	BLISS ARCHITECTURE ERRIN BLISS, AIA PHONE: 208-721-4244 EMAIL: errin@blissarchitecture.com 138 SOUTH MAIN STREET, SUITE B1 HAILEY, IDAHO 83333
<b>GENERAL CONTRACTOR:</b>	ELIAS CONSTRUCTION, LLC PHONE: 208-725-5400 EMAIL: info@eliasconstruction.com PO BOX 6272 HETCHUM, IDAHO 83340
<b>CIVIL ENGINEER:</b>	GALENA ENGINEERING, INC. SAMANTHA STAHLNECKER, PE PHONE: 208-784-1705 EMAIL: sam@galena-engineering.com 317 NORTH RIVER STREET HAILEY, IDAHO 83333
<b>LANDSCAPE ARCHITECT:</b>	EGGERS ASSOCIATES KURT EGGERS, RLA PHONE: 208-725-0888 EMAIL: kurt@eggersassociates.com
<b>STRUCTURAL ENGINEER:</b>	VECTORS STRUCTURAL ENGINEERS, LLC KYLE ATWOOD, PE PHONE: 208-695-5142 EMAIL: kyle.atwood@vectorsa.com 1550 SOUTH CLOVERDALE ROAD, SUITE 315 BOISE, IDAHO 83709

PROJECT DESCRIPTION	
<b>PROJECT NAME:</b>	THE THRIVE CENTER FOR SAFETY & HEALING
<b>THE PROPOSED PROJECT CONSISTS OF:</b>	A 3 STORY, 22,500 SQ. FT. MIXED-USE BUILDING. THE 1ST FLOOR CONSISTS OF OFFICES, ADMINISTRATIVE MEETING ROOMS & MEETING ROOMS. THE SECOND & THIRD FLOORS CONSIST OF TRANSITIONAL HOUSING APARTMENTS.
<b>BUILDING CODE DATA</b>	APPLICABLE BUILDING CODES: 2018 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS 2018 INTERNATIONAL FIRE CODE WITH CITY OF HAILEY AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS OCCUPANCY TYPE: MIXED & NON-SEPARATED OCCUPANCIES BUSINESS GROUP B RESIDENTIAL GROUP R-1 CONSTRUCTION TYPE: V-8 NON-SPRINKLERED
<b>VICINITY MAP</b>	 SCALE: N.T.S.

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THE THRIVE CENTER FOR SAFETY & HEALING  
 201 S SOUTH RIVER STREET | HAILEY | IDAHO  
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# THE THRIVE CENTER FOR SAFETY & HEALING

## HAILEY, IDAHO

I AM AN ARCHITECT AND I AM A MEMBER OF THE ARCHITECTS' BOARD OF IDAHO. I HAVE BEEN LICENSED IN THE STATE OF IDAHO SINCE 2010. I AM A MEMBER OF THE ARCHITECTS' BOARD OF IDAHO. I AM A MEMBER OF THE ARCHITECTS' BOARD OF IDAHO. I AM A MEMBER OF THE ARCHITECTS' BOARD OF IDAHO.

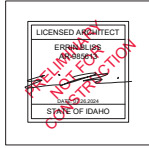
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DATE   07 26 2024
COVER SHEET

A000





PNV | CONTEXT SITE PLAN  
SCALE: 1" = 50'-0"



THE THRIVE CENTER FOR SAFETY & HEALING  
201 S OUTH RIVER STREET | HAILEY | IDAHO  
**BLISSARCHITECTURE**

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CONTEXT  
SITE PLAN

AS100

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**RESIDENTIAL UNIT NET AREA**

UNIT	NET S.F.
UNIT 1 + STOR. CLOSET	774 S.F.
UNIT 2 + STOR. CLOSET	393 S.F.
UNIT 3 + STOR. CLOSET	420 S.F.
UNIT 4 + STOR. CLOSET	396 S.F.
UNIT 5 + STOR. CLOSET	484 S.F.
UNIT 6 + STOR. CLOSET	436 S.F.
UNIT 7 + STOR. CLOSET	426 S.F.
UNIT 8 + STOR. CLOSET	481 S.F.
UNIT 9 + STOR. CLOSET	652 S.F.
UNIT 10 + STOR. CLOSET	906 S.F.
SECOND FLOOR TOTAL	5,958 S.F.
UNIT 11 + STOR. CLOSET	729 S.F.
UNIT 12 + STOR. CLOSET	339 S.F.
UNIT 13 + STOR. CLOSET	381 S.F.
UNIT 14 + STOR. CLOSET	785 S.F.
UNIT 15 + STOR. CLOSET	410 S.F.
UNIT 16 + STOR. CLOSET	478 S.F.
UNIT 17 + STOR. CLOSET	431 S.F.
UNIT 18 + STOR. CLOSET	779 S.F.
UNIT 19 + STOR. CLOSET	893 S.F.
UNIT 20 + STOR. CLOSET	884 S.F.
THIRD FLOOR TOTAL	6,047 S.F.
TOTAL	12,005 S.F.
AVERAGE NET AREA	600 S.F.

**GENERAL NOTES**

- ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
- ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
- ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS UNLO.

**SITE DATA**

**SITE ADDRESS:**  
201 S RIVER STREET  
HAILEY, IDAHO

**LEGAL DESCRIPTION:**  
HAILEY LOTS 1, 2, & 3 BLK 30

**PARCEL NUMBER:**  
RPH000030001A  
RPH0000300030

**ZONING DISTRICT:**  
B-BUSINESS DISTRICT

**ZONING SUBDISTRICTS:**  
TOWNSITE OVERLAY DISTRICT  
DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

**LOT AREA:**  
LOTS 1 & 2: 17,201 S.F.  
LOT 3: 3,622 S.F.  
TOTAL: 20,823 ACRES (+10,823 S.F.)

**LOT COVERAGE:**  
REQUIRED: NO MAX.

**MIN. OPEN SPACE:**  
REQUIRED: 10% OF TOTAL LOT AREA = 10,823 S.F. x 10% = 1,082 S.F.  
PROVIDED: 1,831 S.F.

**MIN. FRONT YARD SETBACK AT RIVER STREET:**  
REQUIRED: 0'-0"  
PROVIDED: SEE SITE PLAN

**MIN. FRONT YARD SETBACK AT CROY STREET:**  
REQUIRED: 0'-0"  
PROVIDED: SEE SITE PLAN

**MIN. SIDE YARD SETBACK AT SOUTH PROPERTY LINE:**  
REQUIRED: 0'-0"  
PROVIDED: SEE SITE PLAN

**MIN. REAR YARD SETBACK:**  
REQUIRED: 0'-0"  
PROVIDED: SEE SITE PLAN

**MAX. BUILDING HEIGHT:**  
REQUIRED: 35'-0"  
PROVIDED: SEE BUILDING ELEVATIONS

**BUILDING GROSS AREA:**  
FIRST FLOOR: 7,836 S.F.  
SECOND FLOOR: 5,028 S.F.  
THIRD FLOOR: 7,483 S.F.  
TOTAL: 23,347 S.F.

**PHASE 1 PARKING:**  
REQUIRED: 1 SPACE PER RESIDENTIAL UNIT = 12 SPACES  
PROVIDED: 3 EXISTING ON-SITE SPACES

**PHASE 2 PARKING:**  
REQUIRED: 1 SPACE PER RESIDENTIAL UNIT = 6 SPACES  
PROVIDED: 9 EXISTING OFF-SITE SPACES PER SHARED PARKING AGREEMENT

**PHASE 3 PARKING:**  
REQUIRED: 1 SPACE PER RESIDENTIAL UNIT = 20 SPACES  
PROVIDED:  
ON-SITE COMPACT SPACES: 5 SPACES  
ON-SITE ACCESSIBLE: 1 SPACE  
ON-SITE SPACES: 17 SPACES  
OFF-SITE SPACES: 4 SPACES ALONG CROY ST.  
TOTAL PROVIDED: 27 SPACES

**TOTAL PARKING FOR PHASES 1 THRU 3:**  
REQUIRED: 1 SPACE PER RESIDENTIAL UNIT = 38 SPACES  
PROVIDED: 30 SPACES

**OFF-SITE PARKING:**  
PROVIDED: 30 SPACES

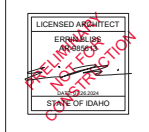
**BIKE PARKING:**  
REQUIRED: 25% OF THE RECD NUMBER OF SPACES = 5 SPACES  
PROVIDED: 3 BIKE POSTS - EACH POST PROVIDES FOR 2 BIKES = 6 SPACES

**SNOW STORAGE CALCS.**

TOTAL IMPROVED ON-SITE VEHICLE & PEDESTRIAN CIRCULATION AREAS NOT COVERED BY ROOFS, ROOF EAVES, & DECKS ABOVE:  
6,615 S.F.

ON-SITE SNOW STOR. REQUIRED:  
6,552 S.F. x 25% = 1,628 S.F.

ON-SITE SNOW STOR. PROVIDED:  
ON-SITE SNOW STOR. AREA A': 611 S.F.  
ON-SITE SNOW STOR. AREA B': 390 S.F.  
ON-SITE SNOW STOR. AREA C': 290 S.F.  
ON-SITE SNOW STOR. AREA D': 450 S.F.  
TOTAL: 1,751 S.F.



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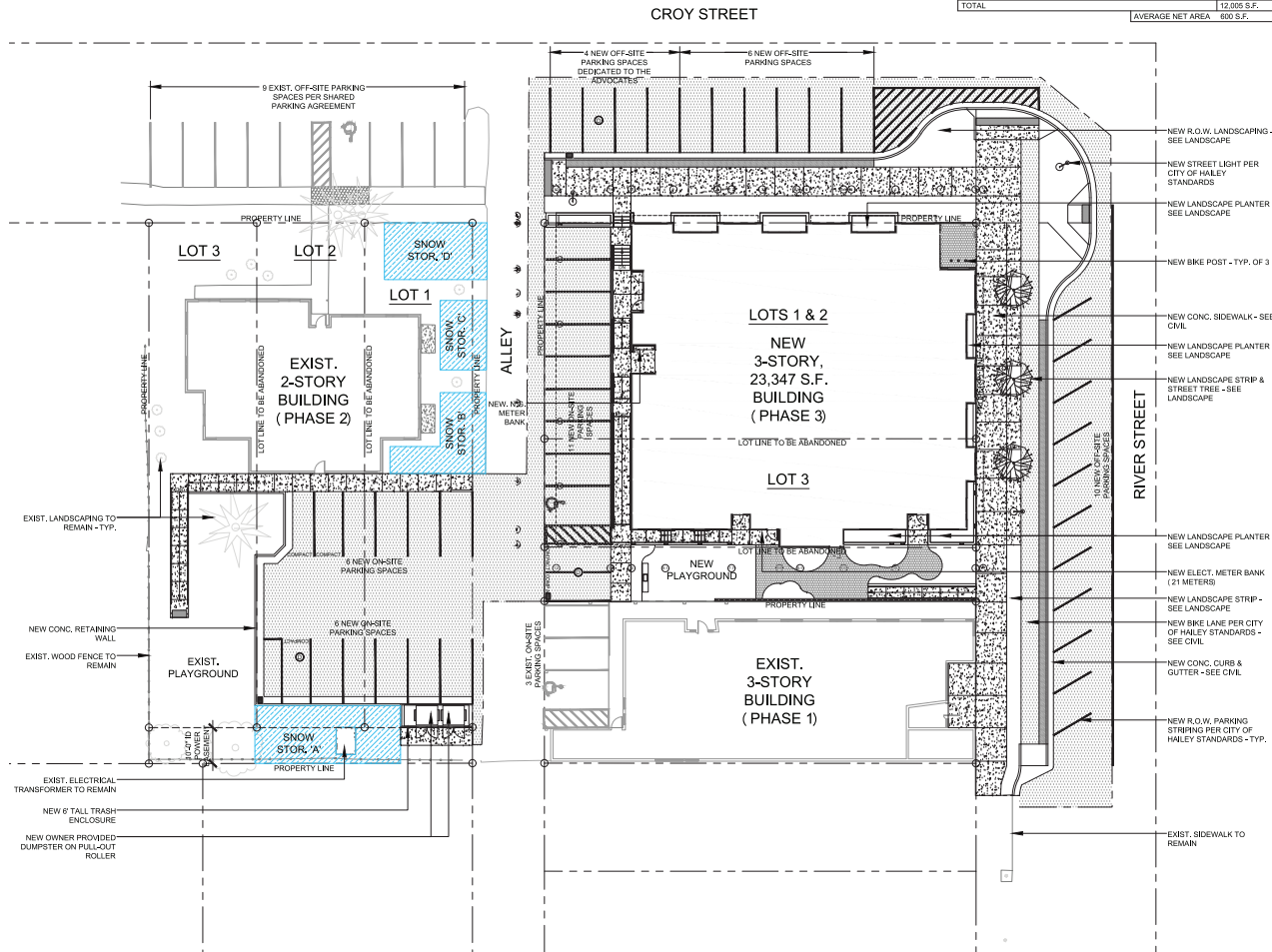
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ARCHITECTURAL  
SITE PLAN

AS101



PN ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"

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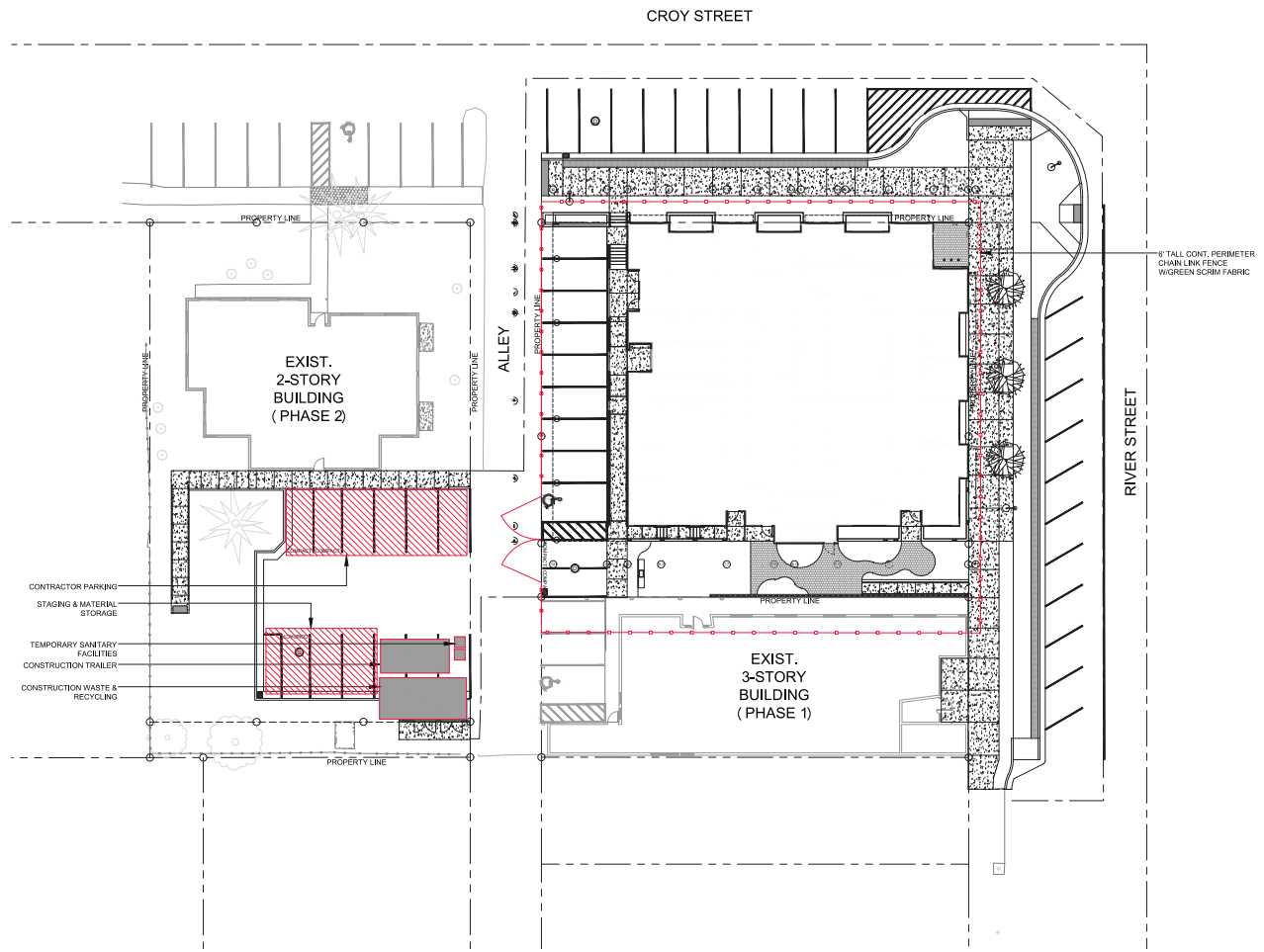
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STAGING & CONTRACTOR  
PARKING PLAN

AS102



PNV STAGING & CONTRACTOR PARKING PLAN  
SCALE: 1/16" = 1'-0"

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PHOTO FROM THE ALLEY  
SCALE: N.T.S.

3



PHOTO FROM CROY STREET  
SCALE: N.T.S.

2



PHOTO FROM RIVER STREET  
SCALE: N.T.S.

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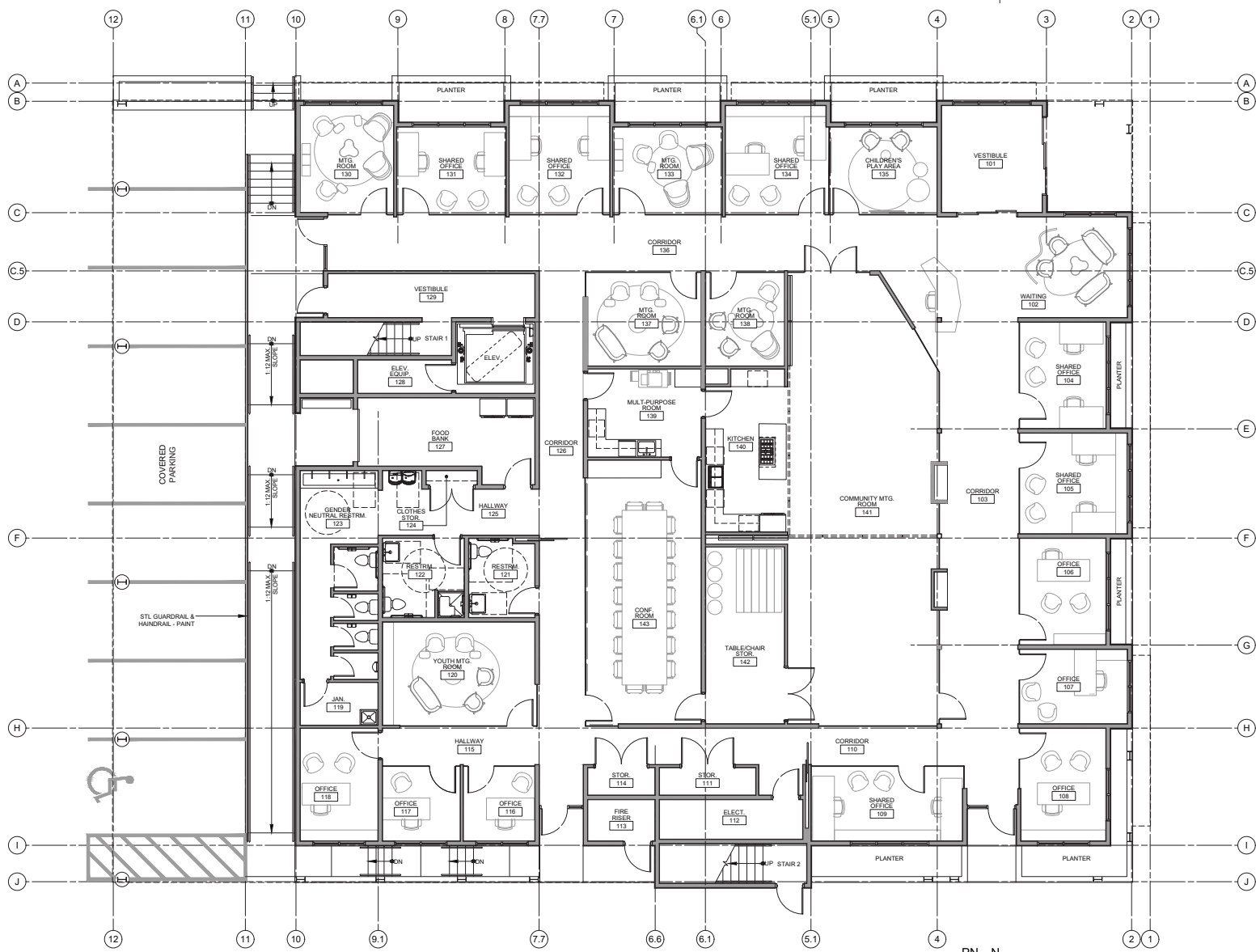
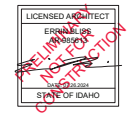
PHOTOS OF EXISTING  
BUILDINGS ON THE SITE

AS103

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**FLOOR PLAN GENERAL NOTES**

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, GRAB BARS, ACCESSORIES, ETC. AS REQUIRED.



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FIRST FLOOR  
 PLAN

**A101**

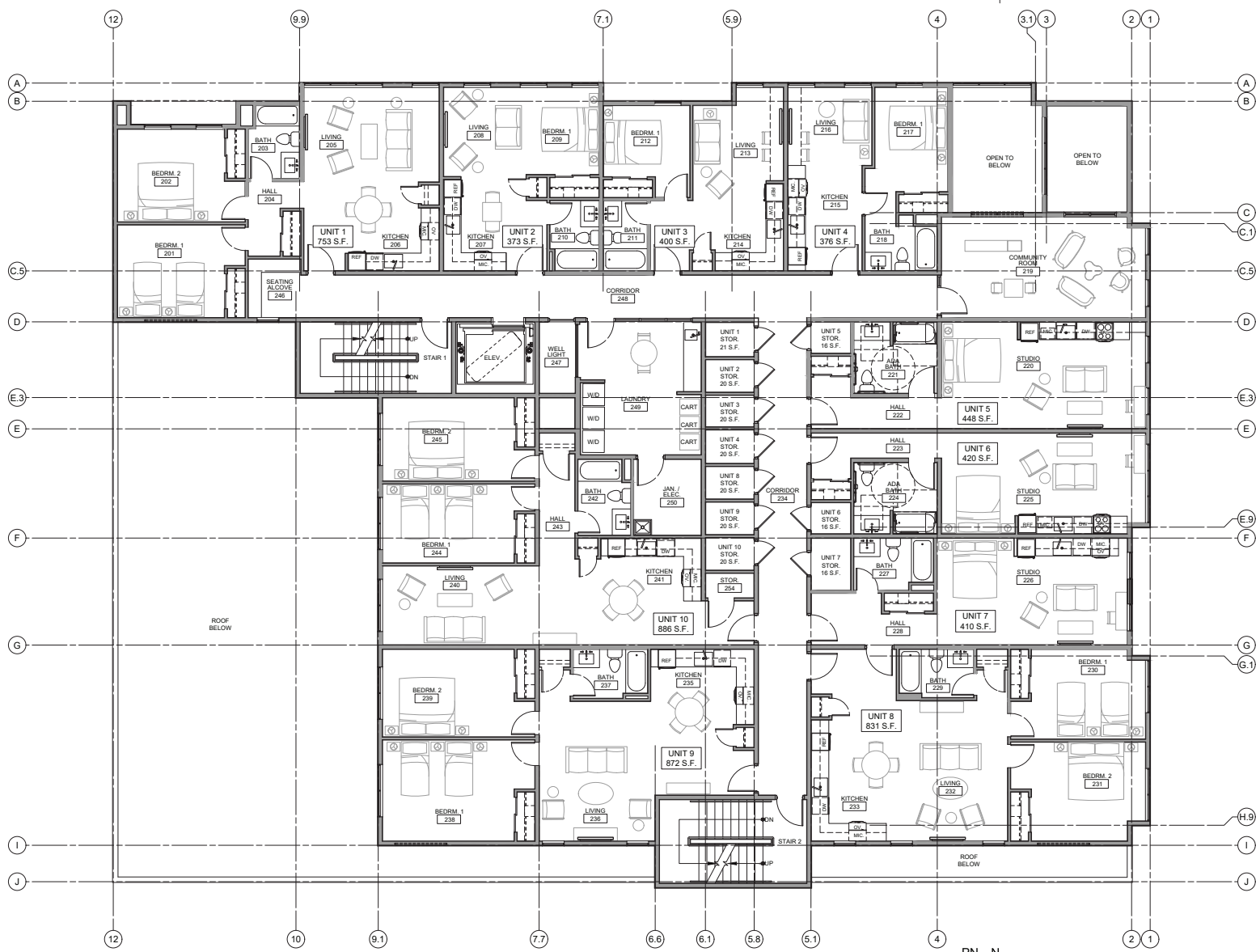
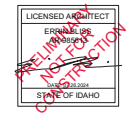
**PNV** FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

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**FLOOR PLAN GENERAL NOTES**

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**PNVN** SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

1

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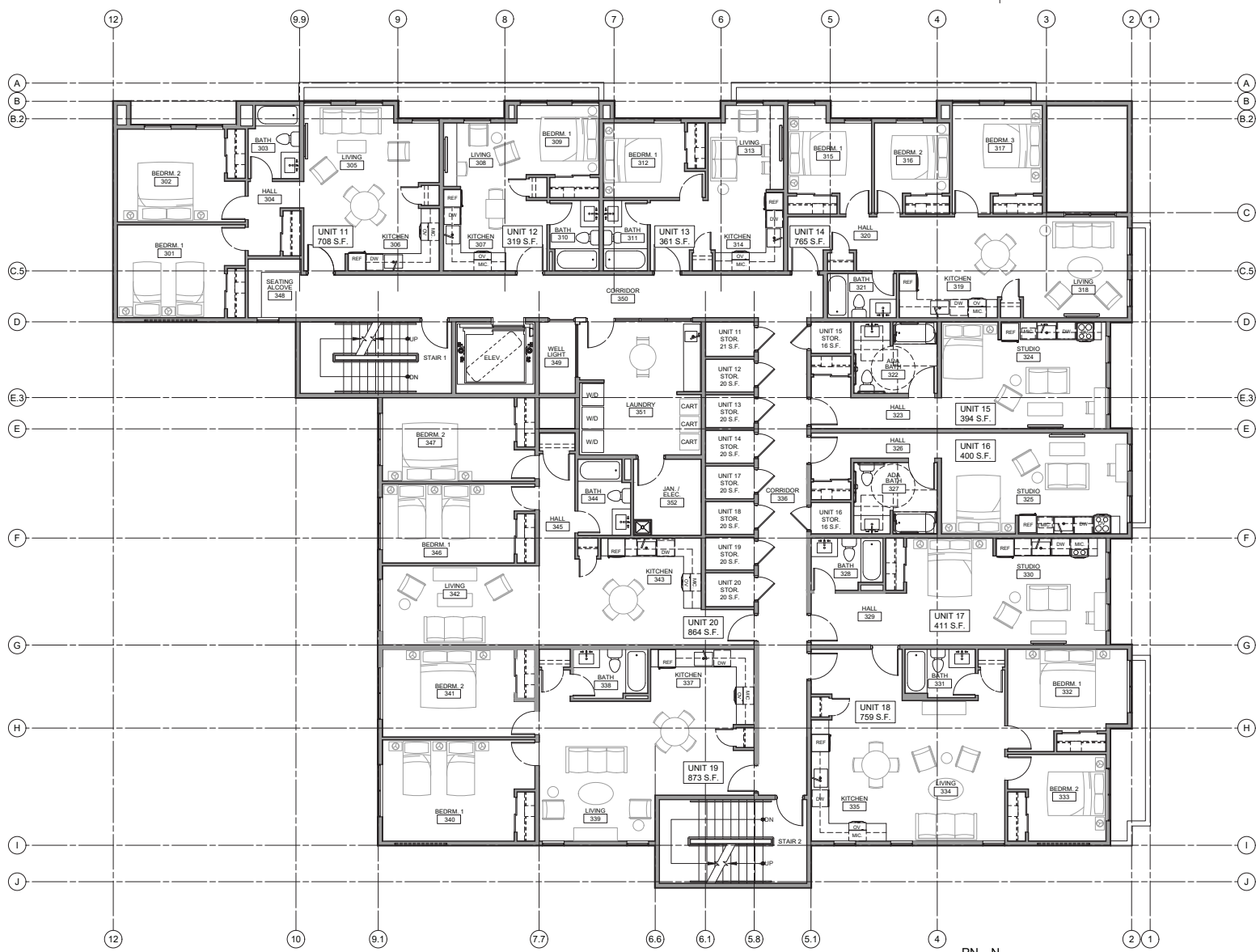
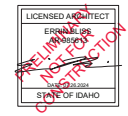
SECOND FLOOR  
PLAN

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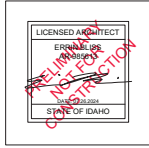
THIRD FLOOR  
 PLAN

**A103**

**PNVN** THIRD FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

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NORTH/CROY ST.  
 ELEVATION

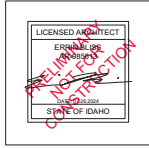
A201



NORTH/CROY ST. ELEVATION  
 SCALE: 3/16" = 1'-0"

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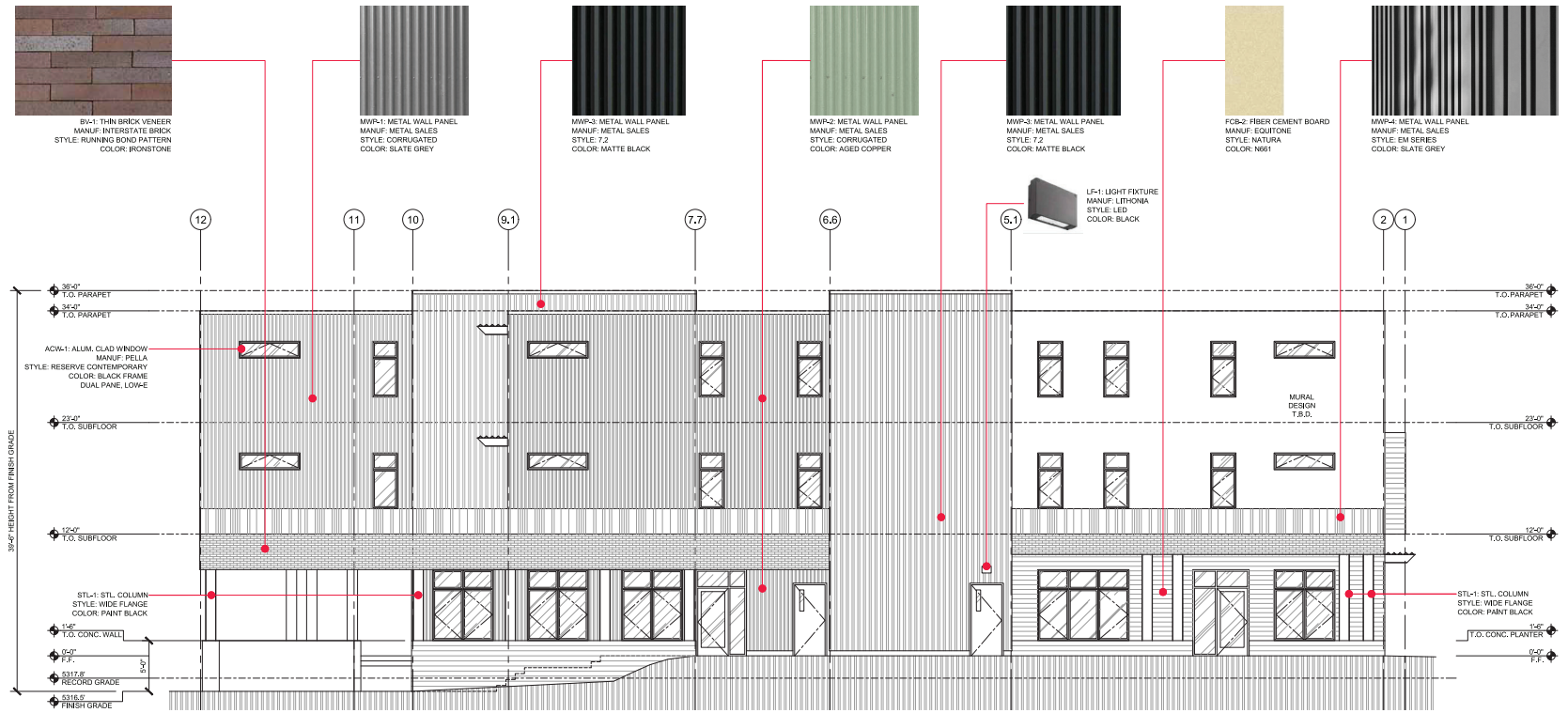
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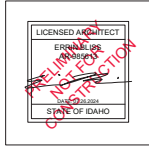
SOUTH ELEVATION

A202



SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0" 1

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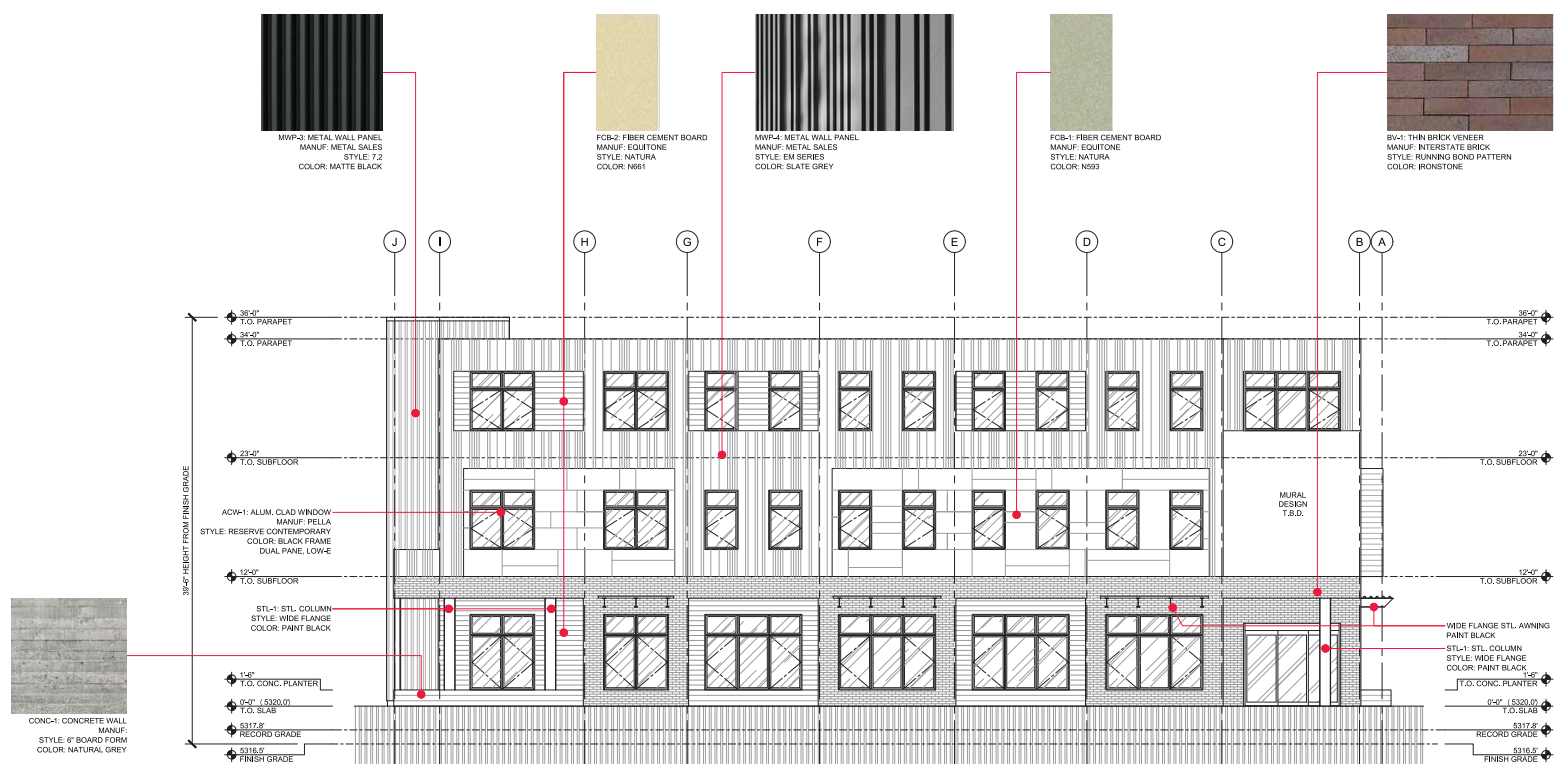


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EAST RIVER ST. ELEVATION

**A203**



EAST RIVER ST. ELEVATION  
 SCALE: 3/16" = 1'-0"

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RENDERED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



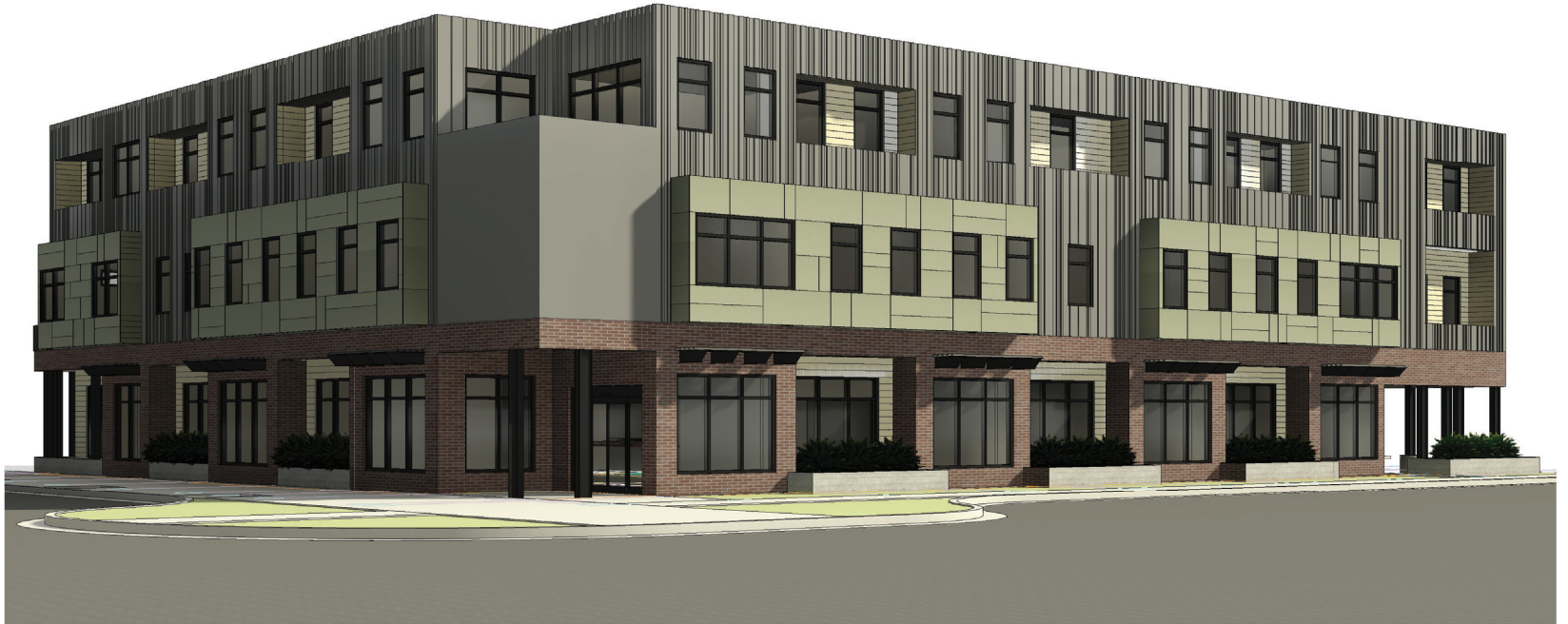
RENDERED NORTH/CROY STREET ELEVATION  
SCALE: 3/16" = 1'-0"



RENDERED WEST ELEVATION  
SCALE: 3/16" = 1'-0"



RENDERED EAST/RIVER STREET ELEVATION  
SCALE: 3/16" = 1'-0"



RENDERED NORTH/CROY STREET ELEVATION  
SCALE: 3/16" = 1'-0"

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THE THRIVE CENTER FOR SAFETY & HEALING | HAILEY | IDAHO

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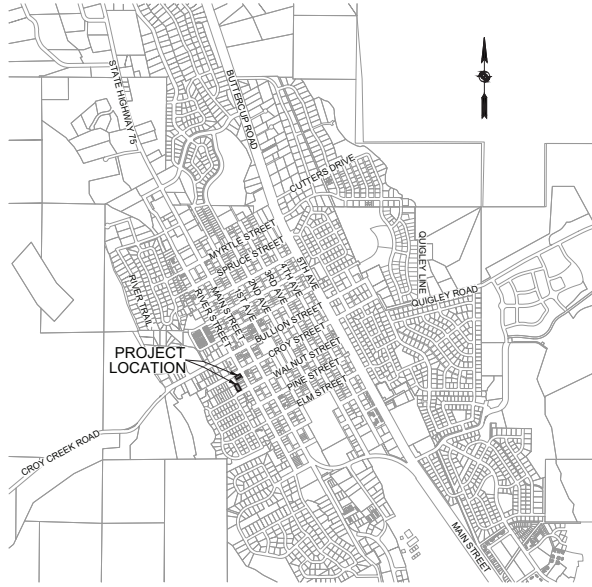
# THRIVE CENTER FOR SAFETY AND HEALING

## HAILEY, IDAHO

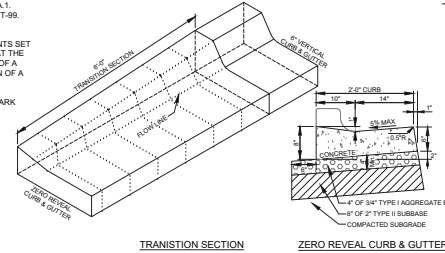
APRIL 2024

### GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D4958. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATING OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (TO STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TO STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-1.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS I PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LB/SY CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C-309-94, APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPCW 703.3.5), AND POST POUR CURING SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWINGS SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA - BENCHMARK ENGINEERING, RECEIVED ON JULY 24, 2023.

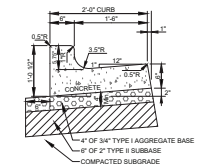


VICINITY MAP  
N.T.S.



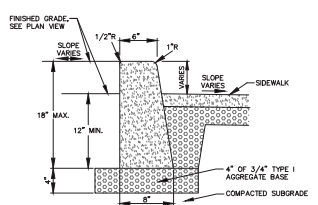
- NOTES:
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 12-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WIDERWALK).
  - CURB TRANSITION CONSTRUCTION SHALL CONFORM TO ISPCW DRAWING SD-707.

4 C0.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.

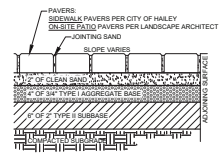


- NOTES:
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 12-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WIDERWALK).
  - CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO ISPCW DRAWING SD-701.

5 C0.1 6" CONCRETE VERTICAL CURB & GUTTER  
N.T.S.



6 C0.1 6" CONCRETE VERTICAL CURB  
N.T.S.



- NOTES:
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

7 C0.1 PAVER DETAIL  
N.T.S.

2 C0.1 TYPICAL ASPHALT PATH SECTION  
N.T.S.

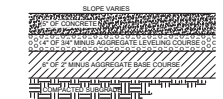
3 C0.1 TYPICAL ASPHALT SECTION  
N.T.S.

### SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET AND DETAIL SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C0.4	DETAIL SHEET
C0.9	DEMOLITION PLAN
C1.0	SITE GEOMETRY AND GRADING PLAN
C1.1	SITE IMPROVEMENTS AND UTILITY PLAN

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, PE  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2530  
HAILEY, IDAHO 83333

**LAND SURVEYOR**  
ROB BREIER, PLS  
GALENA-BENCHMARK ENGINEERING  
100 BELL DRIVE  
KETCHUM, IDAHO 83340



NOTES:

- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 3 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALKS GREATER THAN 3 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
- 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
- SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 3" DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
- WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 3" TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
- SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
- MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

1 C0.1 TYPICAL CONCRETE SECTION  
N.T.S.



REVISION NO.	DATE	DESCRIPTION
1	08/19/24	RESPONSE TO CITY ENGINEER COMMENTS



PRELIMINARY  
NOT FOR  
CONSTRUCTION

COVER AND DETAILS SHEET  
THRIVE CENTER FOR SAFETY AND HEALING  
PREPARED FOR THE LANDSCAPE ARCHITECT

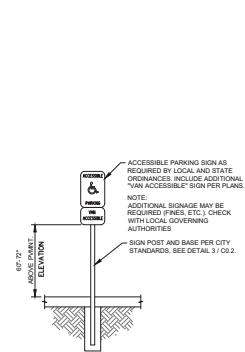
23029  
PROJECT NUMBER  
C0.1

DATE OF DRAWING: THESE DRAWINGS OR ANY PORTION THEREOF ARE THE PROPERTY OF GALENA-BENCHMARK ENGINEERING, PLLC. NO PART OF THESE DRAWINGS OR ANY PORTION THEREOF IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF GALENA-BENCHMARK ENGINEERING, PLLC.

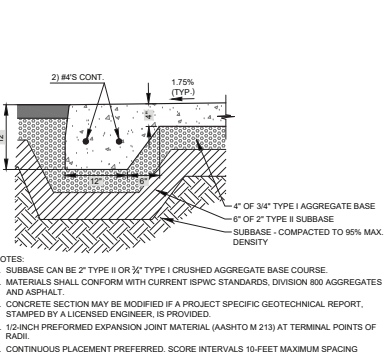
REVISION NO.	DATE	DESCRIPTION
1	08/19/24	RESPONSE TO CITY ENGINEER COMMENTS

PURPOSE: ISSUE FOR DESIGN REVIEW (04/01/2024)  
 PRELIMINARY NOT FOR CONSTRUCTION  
 PROFESSIONAL ENGINEER  
 LICENSED  
 7088  
 STATE OF COLORADO  
 10/15/2018

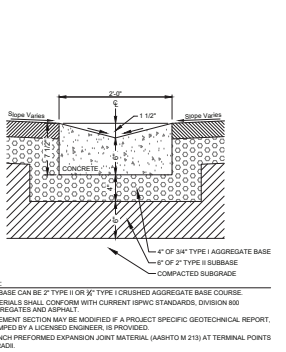
DETAIL SHEET  
 THRIVE CENTER FOR SAFETY AND HEALING  
 PREPARED FOR THE LANDSCAPERS  
 23029  
 PROJECT NUMBER  
 C0.2



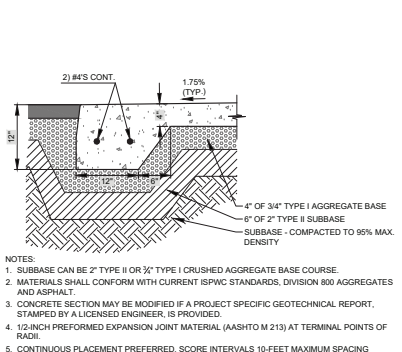
1 LANDSCAPE DRYWELL  
 N.T.S.



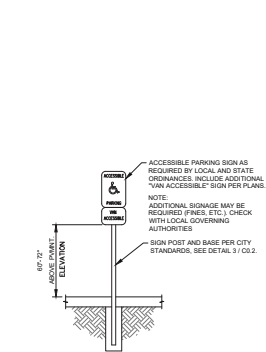
2 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)  
 N.T.S.



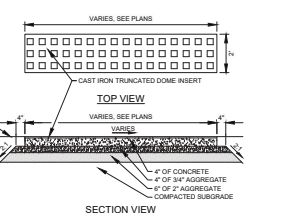
3 24" WIDE CONCRETE VALLEY GUTTER  
 N.T.S.



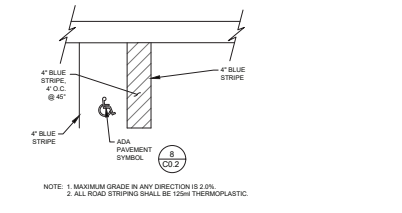
4 THICKENED SIDEWALK EDGE  
 N.T.S.



5 ACCESSIBLE PARKING SIGN  
 N.T.S.



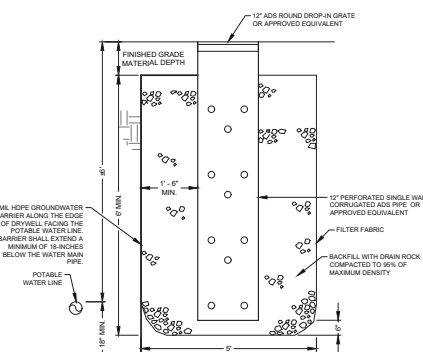
6 TRUNCATED DOME INSERT DETAIL  
 N.T.S.



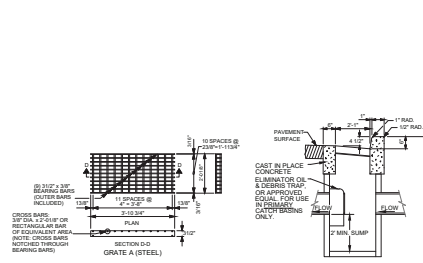
7 ADA PARKING DETAIL  
 N.T.S.



8 ADA SYMBOL  
 N.T.S.



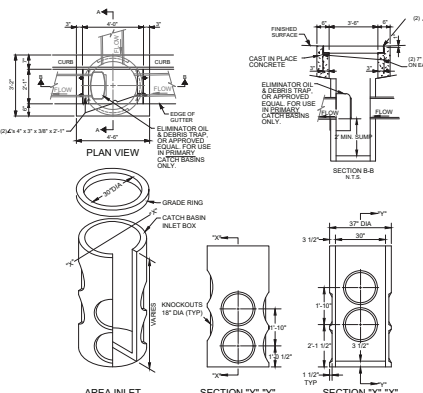
11 PUBLIC CATCH BASIN DETAIL (18.14.010.D.1)  
 N.T.S.



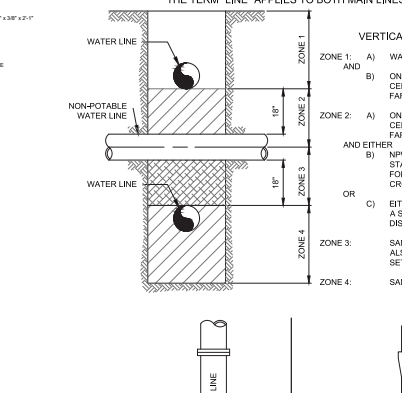
12 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
 N.T.S.



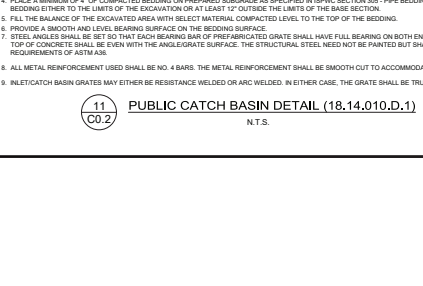
13 CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)  
 N.T.S.



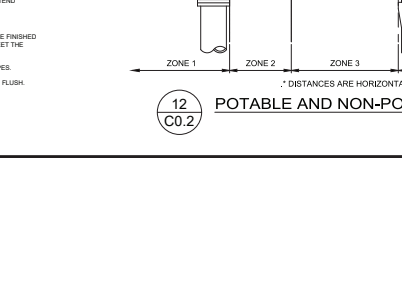
CATCH BASIN INSTALLATION NOTES:  
 1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST FORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE SECOND STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.  
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.  
 3. A 1/2" DRAIN IS ALLOWED FOR RIM RUNOFF.  
 4. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPV SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE OUTSIDE EDGE OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.  
 5. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.  
 6. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.  
 7. STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BRACKET OF PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLEGRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A36.  
 8. ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.  
 9. INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE, THE GRATE SHALL BE TRUE AND FLUSH.



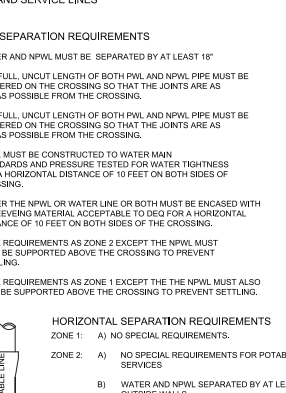
VERTICAL SEPARATION REQUIREMENTS  
 ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNLIFT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.  
 ZONE 2: A) ONE FULL, UNLIFT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SILVEEVING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.  
 ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.  
 ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



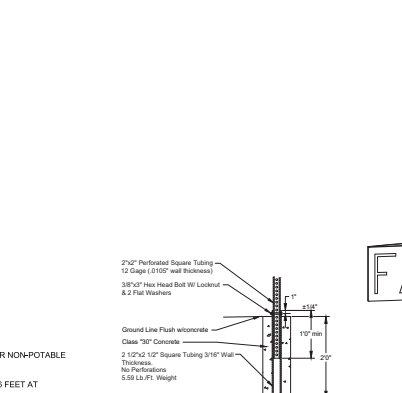
HORIZONTAL SEPARATION REQUIREMENTS  
 ZONE 1: A) NO SPECIAL REQUIREMENTS.  
 ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.  
 ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.  
 ZONE 4: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.



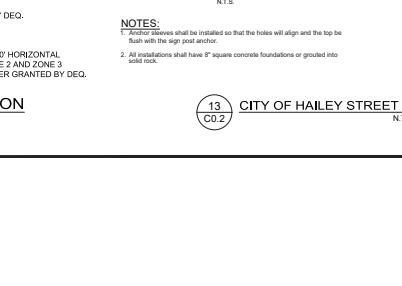
ROAD SIGN DETAIL  
 N.T.S.



SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS  
 N.T.S.

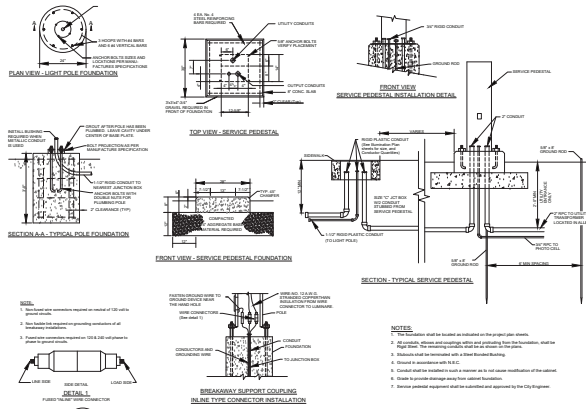


24" Perforated Square Tubing 1/2" Dia. (1/2" Wall Thickness)  
 3/8" x 1/2" Hex Head Bolt W/ Locknut & 2 Flat Washers  
 Ground Line Flash w/ concrete  
 2 1/2" x 12" Square Tubing 3/16" Wall Thickness  
 No. 4 Reinforcement  
 5.59 Lb./Ft. Weight  
 2" x 2" Teeslip Pole 1/2" Galv. Wall, 0.105 Wall Thickness

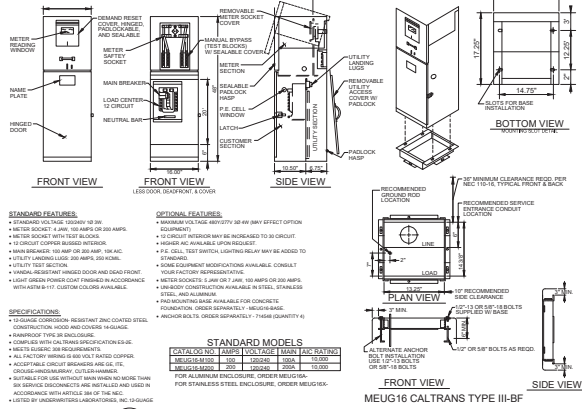


NOTES:  
 1. Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign post anchor.  
 2. All installations shall have 4" square concrete foundations or grouted into solid rock.  
 3. Sign placement shall be approved by the City of Hailey.

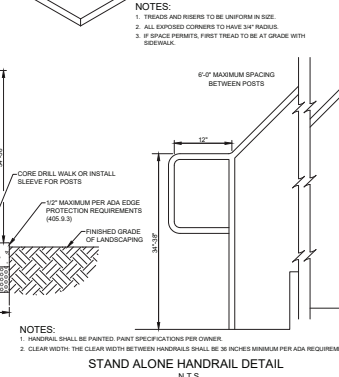
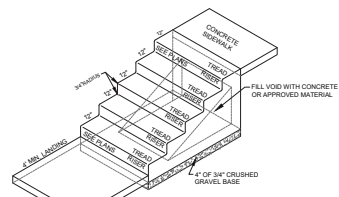




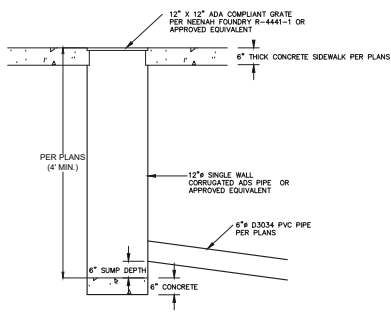
1 CITY OF HAILEY LIGHT POLE PEDESTAL DETAIL (18.14.014.E.1)  
N.T.S.



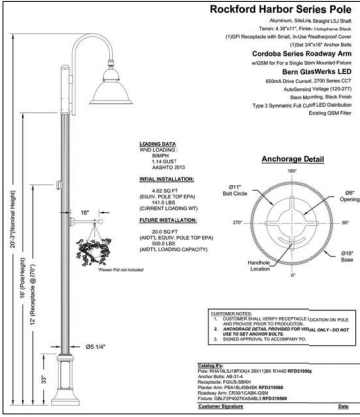
2 CITY OF HAILEY LIGHT CONTROL DETAIL (18.14.014.E.3)  
N.T.S.



4 TYPICAL HANDRAIL AND STAIRS DETAIL  
N.T.S.



5 LANDSCAPE CATCH BASIN  
N.T.S.



3 CITY OF HAILEY STREET LIGHT DETAIL (18.14.014.E.2)  
N.T.S.



PURPOSE: ISSUE FOR DESIGN REVIEW (04/17/2024)

REVISION NO.	DATE	DESCRIPTION
001/19/24		RESPONSES TO CITY ENGINEER COMMENTS



PRELIMINARY NOT FOR CONSTRUCTION

DETAIL SHEET  
THRIVE CENTER FOR SAFETY AND HEALING  
PREPARED FOR THE LANDSCAPES

23029 PROJECT NUMBER  
C0.3

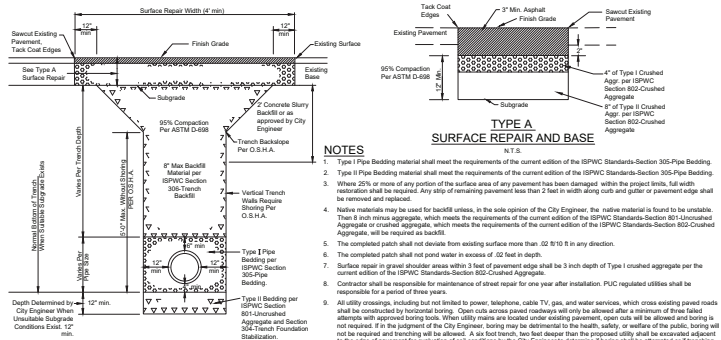
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project or construction without the express written consent of Opal Engineering, PLLC.

**SEWER CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (SPWC) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEC APPROVAL STAMP AND A COPY OF THE DEC APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
2. ALL SERVICES SHALL COMPLY WITH IDAPA 58 01 08.542.07 a AND IDAPA 58 01 08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
5. POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH SPWC STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58 01 08.542.07.
6. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
7. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER SPWC. CLEANOUTS ARE REQUIRED AT CHANGES IN ELEVATION, GRADE, AND MINIMUM 10' LENGTH.
8. ALL PIPE SHALL BE BEDDED WITH (SPWC) TYPE I BEDDING MATERIAL.
9. TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
10. THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".

**WATER CONSTRUCTION NOTES**

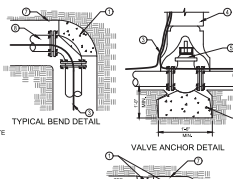
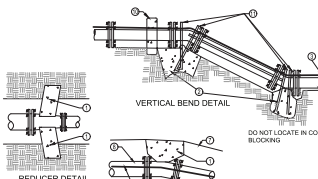
1. WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
2. WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'), MEASURED FROM FINISHED GRADE.
3. ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE, ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH SPWC SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER SPWC SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
4. ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSIS/NSF STANDARD 60/1. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25PPb BY WEIGHT).
5. ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING. MECHANICAL RESTRAINTS ARE NOT ALLOWED. THRUST BLOCKS SHALL CONFORM TO SPWC 302-403 AND THE CITY OF HAILEY STANDARDS.
6. ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER SPWC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER SPWC 302-406 AND THE CITY OF HAILEY SPECIFICATIONS.
7. ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 200 PSI WORKING PRESSURE. JOINTS ON MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
8. FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
9. ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSII/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-308. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
10. ALL WATER MAINS SHALL COMPLY WITH IDAPA 58 01 08.542.07 a AND IDAPA 58 01 08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
11. ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH SPWC SECTION 404 AND THE CITY OF HAILEY STANDARDS. A USC IIC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES) IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
12. THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUT-DOWN IS 4 HOURS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
14. EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.



**NOTES**

1. Type I Pipe Bedding material shall meet the requirements of the current edition of the SPWC Standards-Section 305-Pipe Bedding.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the SPWC Standards-Section 305-Pipe Bedding.
3. When 20% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width restoration shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
4. Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the SPWC Standards-Section 801-Unsaturated Aggregate or crushed aggregate, which meets the requirements of the current edition of the SPWC Standards-Section 802-Crushed Aggregate, will be required as backfill.
5. The compacted patch shall not deviate from existing surface more than .02" @ 10' in any direction.
6. The completed patch shall not pond water in excess of .02 feet in depth.
7. Surface repair or gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the SPWC Standards-Section 802-Crushed Aggregate.
8. Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
9. All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. When utility mains are located under existing pavement, open cuts will be allowed and boring is not required. It is the judgment of the City Engineer, taking into account the health, safety, and welfare of the public, boring will not be required and hand-digging will be allowed. A six foot trench, no less deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or hand-digging will be allowed.
10. All trenches shall be repaired within 72 hours of starting the work unless prior approval to delay repairing has been provided by the City Engineer.
11. Concrete Slurry Mix Design:  
Concrete Aggregate (2.0" max) 2400 lbs  
Sand 800 lbs  
Cement 94 lbs (max)  
Water 11 gals (max)

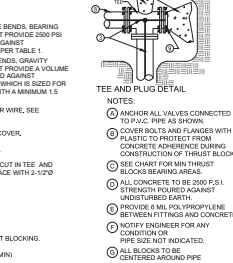
15. THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 12" AND 18" FOR PIPE SIZES 18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.



**TABLE 1**  
THRUST AREA FOR HORIZONTAL BENDS\*\*

PIPE SIZE (IN)	90° BEND	45° BEND	22 1/2° BEND	OR REDUCER
3"	0.6	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.2	8.0	4.3	2.2
10"	8.4	12.4	6.4	3.4
12"	12.7	18.0	9.7	5.0
14"	17.1	24.5	13.1	6.9
16"	22.0	32.9	17.3	8.8
18"	28.5	40.5	21.5	11.2

\*\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH) OR TEES AND AS 45° BEND  
\*\* THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 12" AND 18" FOR PIPE SIZES 18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

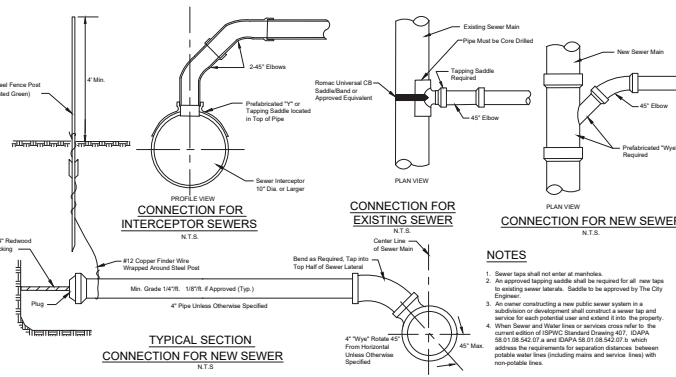


- LEGEND**
- 1. FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE TOURED AGAINST UNDISTURBED EARTH PER TABLE 1.
  - 2. FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE EQUAL TO THE UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
  - 3. FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE EQUAL TO THE UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
  - 4. ANCHOR BARS (1/2" MIN)
  - 5. COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHESION DURING CONSTRUCTION OF THRUST BLOCKS.
  - 6. SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
  - 7. ALL CONCRETE TO BE 2000 P.S.I. (FRENCH POURED AGAINST UNDISTURBED EARTH).
  - 8. PROVIDE 8 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
  - 9. NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
  - 10. ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.
  - 11. COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHESION DURING CONSTRUCTION OF THRUST BLOCKS.
  - 12. SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
  - 13. ALL CONCRETE TO BE 2000 P.S.I. (FRENCH POURED AGAINST UNDISTURBED EARTH).
  - 14. PROVIDE 8 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
  - 15. NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
  - 16. ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.

**2 CO.4 THRUST BLOCKS AND ANCHOR DETAILS N.T.S.**

**1 CO.4 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1) N.T.S.**

**2 CO.4 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4) N.T.S.**



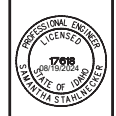
**NOTES**

1. Sewer taps shall not enter at manholes.
2. An approved tapping saddle shall be required for all new taps to existing sewer mains. Saddle to be approved by The City Engineer.
3. An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each residential lot and extend to the property.
4. When Sewer and Water lines or various cross refer to the current edition of SPWC Standard Drawing 407, IDAPA 58 01 08.542.07 and IDAPA 58 01 08.542.07 b which address the requirements for separation distances between potable water lines (including mains and service lines) with non-potable lines.



PURPOSE: ISSUE FOR DESIGN REVIEW (04/01/2024)

REVISION NO.	DATE	DESCRIPTION
1	08/19/24	RESPONSE TO CITY ENGINEER COMMENTS



**PRELIMINARY NOT FOR CONSTRUCTION**

**DETAIL SHEET**  
THRIVE CENTER FOR SAFETY AND HEALING  
PREPARED FOR THE ARCHITECTS

23029  
PROJECT NUMBER  
**C0.4**

**NOTE**  
SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.

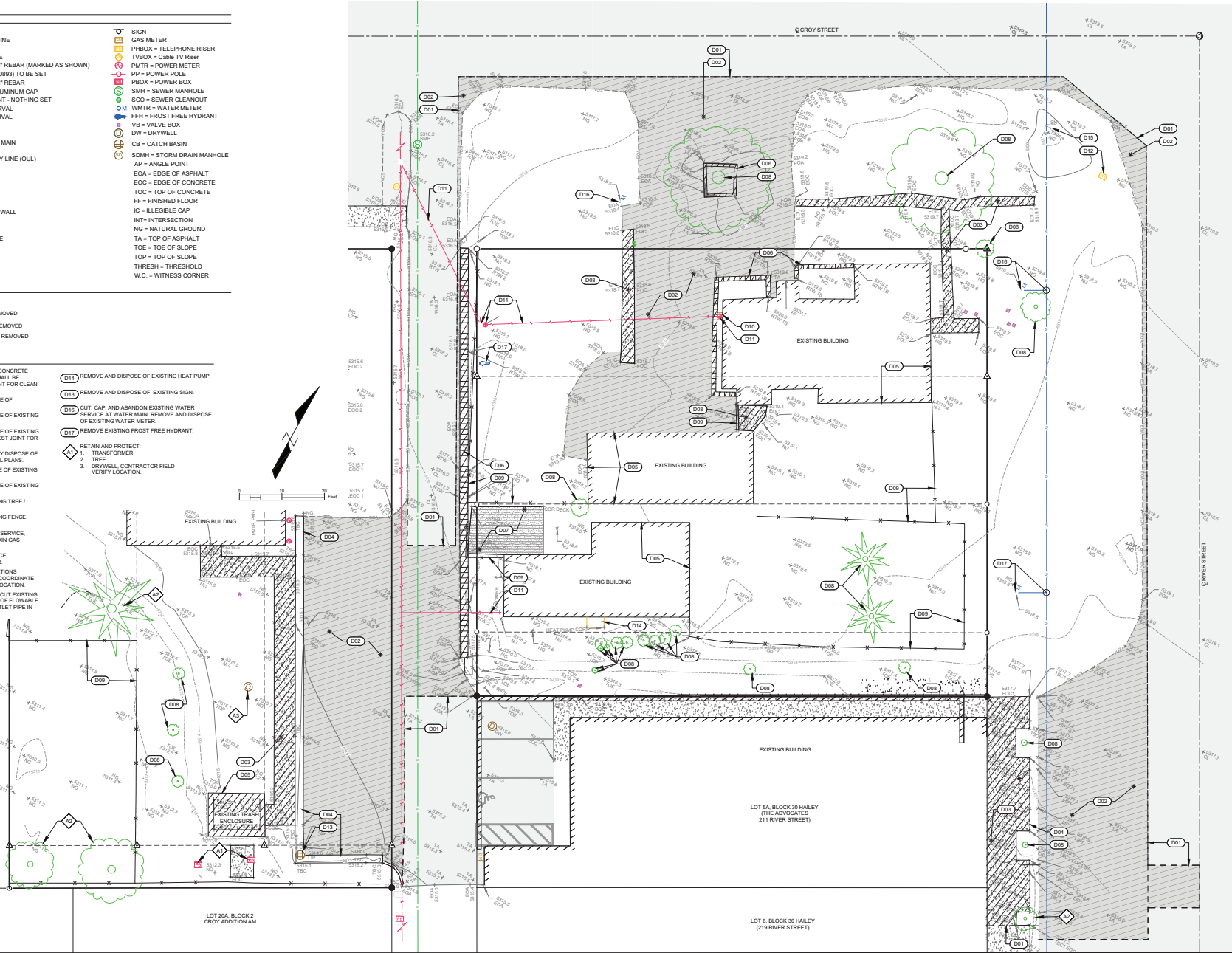
**LEGEND**

- EXISTING ITEMS**
- PROPERTY LINE
  - ADJONER'S LOT LINE
  - CENTERLINE
  - INTERIOR LOT LINE
  - FD56 = FOUND 5/8" REBAR (MARKED AS SHOWN)
  - 5/8" REBAR (PLUS 2000S) TO BE SET
  - FD12 = FOUND 1/2" REBAR
  - FDAC = FOUND ALUMINUM CAP
  - CALCULATED POINT - NOTHING SET
  - S' CONTOUR INTERVAL
  - 1' CONTOUR INTERVAL
  - HEAT PUMP
  - FNC = FENCE LINE
  - SANITARY SEWER MAIN
  - WATER MAIN
  - OVERHEAD UTILITY LINE (OUL)
  - BUILDING
  - ASPHALT
  - PAVERS
  - RTW = RETAINING WALL
  - CONCRETE
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - ROAD PAINT
- PROPOSED ITEMS**
- SAWOUT LINE
  - ASPHALT TO BE REMOVED
  - CONCRETE TO BE REMOVED
  - RETAINING WALL TO BE REMOVED

**DEMOLITION KEYNOTES**

- D001 SAWOUT EXISTING ASPHALT OR CONCRETE PAVING. CONCRETE SIDEWALK SHALL BE REMOVED TO NEXT NEAREST JOINT FOR CLEAN REMOVAL.
  - D002 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING ASPHALT.
  - D003 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
  - D004 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING CONCRETE CURB TO NEXT NEAREST JOINT FOR CLEAN REMOVAL.
  - D005 DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF STRUCTURE. SEE ARCHITECTURAL PLANS.
  - D006 DEMOLISH, REMOVE AND DISPOSE OF EXISTING RETAINING WALL.
  - D007 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING DECK.
  - D008 REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
  - D009 REMOVE AND DISPOSE OF EXISTING FENCE.
  - D010 REMOVE EXISTING NATURAL GAS SERVICE. COORDINATE WITH INTERMOUNTAIN GAS COMPANY.
  - D011 REMOVE EXISTING POWER SERVICE. COORDINATE WITH IDAHO POWER.
  - D012 RELOCATE EXISTING COMMUNICATIONS. PEDESTAL CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER FOR RELOCATION.
  - D013 REMOVE EXISTING CATCH BASIN. CUT EXISTING OUTLET PIPE, PLUG END WITH 10' OF FLOWABLE FILL AND ABANDON EXISTING OUTLET PIPE IN PLACE.
  - D014 REMOVE AND DISPOSE OF EXISTING HEAT PUMP.
  - D015 REMOVE AND DISPOSE OF EXISTING SIGN.
  - D016 CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT WATER MAIN. REMOVE AND DISPOSE OF EXISTING WATER METER.
  - D017 REMOVE EXISTING FROST FREE HYDRANT.
- RETAIN AND PROTECT:**
1. TRANSFORMER
  2. TREE
  3. DRYWELL CONTRACTOR FIELD
- VERIFY LOCATION.

- SIGN
- GAS METER
- PHBOX = TELEPHONE RISER
- TVBOX = Cable TV Riser
- PMTR = POWER METER
- PP = POWER POLE
- PRBOX = POWER BOX
- SMH = SEWER MANHOLE
- SCO = SEWER CLEANOUT
- WMTR = WATER METER
- FFH = FROST FREE HYDRANT
- VB = VALVE BOX
- DW = DRYWELL
- CB = CATCH BASIN
- SDMH = STORM DRAIN MANHOLE
- AP = ANGLE POINT
- EOA = EDGE OF ASPHALT
- EOC = EDGE OF CONCRETE
- TOC = TOP OF CONCRETE
- FF = FINISHED FLOOR
- IC = ILLEGIBLE CAP
- INT = INTERSECTION
- NG = NATURAL GROUND
- TA = TOP OF ASPHALT
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- THRESH = THRESHOLD
- W.C. = WITNESS CORNER



REVISION NO.	DATE	DESCRIPTION
1	08/19/24	RESPONSES TO CITY ENGINEER COMMENTS



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**DEMOLITION PLAN**

**THRIVE CENTER FOR SAFETY AND HEALING**

PREPARED FOR THE ADVOCATES

23029  
PROJECT NUMBER

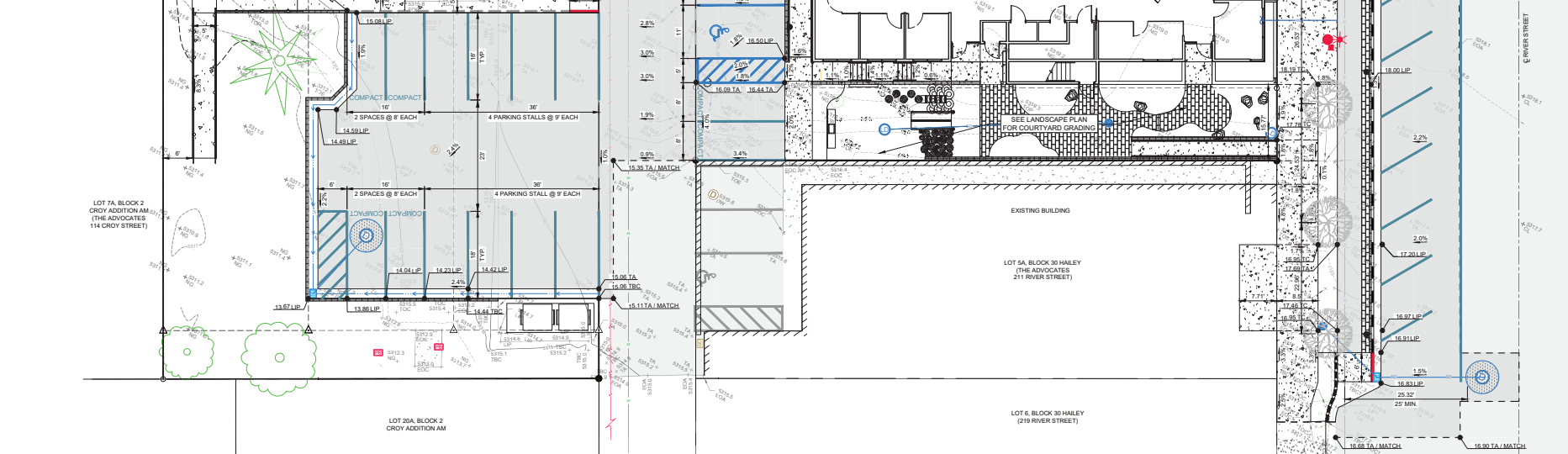
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DATE OF DRAWINGS: these drawings are prepared based on any information that will not be used in any project unless otherwise noted on drawings. © 2024 Opal Engineering, PLLC.

**NOTE**  
SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.

**LEGEND**

- |  |  |                            |
|--|--|----------------------------|
| <b>EXISTING ITEMS</b>                    | <b>PROPOSED ITEMS</b>                                | <b>ABBREVIATIONS</b>       |
| PROPERTY LINE                            | SAWCUT LINE  | SBW = TOP BACK OF SIDEWALK |
| ADJOINER'S LOT LINE                      | 5' CONTOUR INTERVAL                                  | FG = FINISH GRADE          |
| CENTERLINE                               | 1' CONTOUR INTERVAL                                  | FL = FLOW LINE             |
| INTERIOR LOT LINE                        | NEW ASPHALT  | LIP = LIP OF GUTTER        |
| FD12 = FOUND 12" REBAR (MARKED AS SHOWN) | CONCRETE SIDEWALK                                    | MATCH EXISTING             |
| FD12 = FOUND 12" REBAR                   | CONCRETE 6" VERTICAL CURB & GUTTER                   | STEP = TOP OF STEP         |
| FDAL = FOUND ALUMINUM CAP                | CURB TRANSITION (ZERO REVEAL TO TYPICAL 6" VERTICAL) | TA = TOP OF ASPHALT        |
| CALCULATED POINT - NOTHING SET           | ZERO REVEAL CURB & GUTTER                            | TC = TOP OF CONCRETE       |
| 5' CONTOUR INTERVAL                      | THICKENED EDGE SIDEWALK                              | TBC = TOP BACK OF CURB     |
| 1' CONTOUR INTERVAL                      | 6" VERTICAL CURB                                     | TP = TOP OF PAVERS         |
| HEAT PUMP                                | PAVERS   |                            |
| FNC = FENCE LINE                         | RETAINING WALL                                       |                            |
| SANITARY SEWER MAIN                      | ADA ACCESS TRUNCATED DOME                            |                            |
| WATER MAIN                               | FENCE (SEE LANDSCAPE PLAN)                           |                            |
| OVERHEAD UTILITY LINE (OUL)              | VALLEY GUTTER  |                            |
| BUILDING                                 | 12" STORM DRAIN                                      |                            |
| ASPHALT                                  | CATCH BASIN  |                            |
| PAVERS                                   | DRYWELL  |                            |
| RTW = RETAINING WALL                     | LANDSCAPE DRYWELL (SEE LANDSCAPE PLAN)               |                            |
| CONCRETE                                 | ROAD PAINT   |                            |
| CONIFEROUS TREE                          | ADA PAINT & SYMBOL                                   |                            |
| DECIDUOUS TREE                           | WATER SERVICE W/ METER VAULT                         |                            |
| ROAD PAINT                               | SEWER SERVICE W/ CLEANOUT                            |                            |
| SGN = SIGN                               | SIGN   |                            |
| CMTR = GAS METER                         | HANDRAIL   |                            |
| PBOX = TELEPHONE RISER                   | STREET LIGHT W/ CONTROL BOX                          |                            |
| TBOX = Cable TV Riser                    | GRADE  |                            |
| PMTR = POWER METER                       | SPOT GRADE ELEVATION DESCRIPTION                     |                            |
| PP = POWER POLE                          | STREET TREE. SEE LANDSCAPE PLANS                     |                            |
| PBOX = POWER BOX                         |  |                            |
| SMH = SEWER MANHOLE                      |  |                            |
| VB = VALVE BOX                           |  |                            |
| WMTR = WATER METER                       |  |                            |
| FFH = FROST FREE HYDRANT                 |  |                            |
| DW = DRYWELL                             |  |                            |
| CB = CATCH BASIN                         |  |                            |
| SDMH = STORM DRAIN MANHOLE               |  |                            |
| AP = ANGLE POINT                         |  |                            |
| EQA = EDGE OF ASPHALT                    |  |                            |
| ECC = EDGE OF CONCRETE                   |  |                            |
| TOC = TOP OF CONCRETE                    |  |                            |
| FF = FINISHED FLOOR                      |  |                            |
| IC = ILLEGIBLE CAP                       |  |                            |
| INT = INTERSECTION                       |  |                            |
| NG = NATURAL GROUND                      |  |                            |
| TA = TOP OF ASPHALT                      |  |                            |
| TOE = TOE OF SLOPE                       |  |                            |
| TOP = TOP OF SLOPE                       |  |                            |
| THRESH = THRESHOLD                       |  |                            |
| W.C. = WITNESS CORNER                    |  |                            |



PURPOSE: ISSUE FOR DESIGN REVIEW (04/07/2024)
REVISION NO. DATE DESCRIPTION
1 08/19/24 RESPONSE TO CITY ENGINEER COMMENTS



**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE GEOMETRY AND GRADING PLAN**  
THRIVE CENTER FOR SAFETY AND HEALING  
PREPARED FOR THE ADVOCATES

23029  
PROJECT NUMBER  
C1.0

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or in any other manner without the express consent of Opal Engineering, PLLC.



**NOTES**

- SEE SHEET C0-1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C1-0 FOR LEGEND.

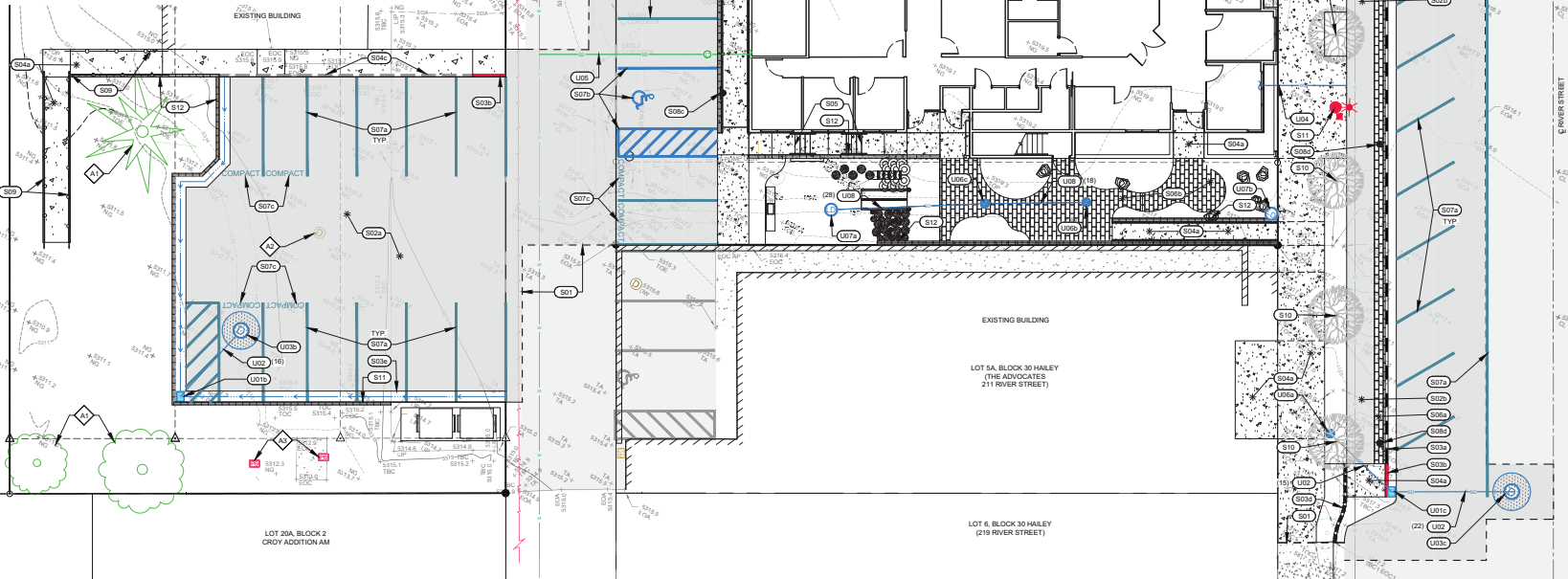
**SITE IMPROVEMENT KEY NOTES**

- (S01) SAWCUT EXISTING ASPHALT OR CONCRETE.
- (C02) ASPHALT:
  - CONSTRUCT ASPHALT PAVING SEE DETAIL 3 / CO.1
  - CONSTRUCT ASPHALT PATH SEE DETAIL 2 / CO.1
- (C03) CONSTRUCT CONCRETE ITEM
  - 6" VERTICAL C&G PER DETAIL 5 / CO.1
  - CURB TRANSITION PER DETAIL 4 / CO.1
  - ZERO RISEVAL CURB AND GUTTER PER DETAIL 4 / CO.1
  - 6" VERTICAL CURB PER DETAIL 6 / CO.1
  - 2" WIDE VALLEY GUTTER. SEE DETAIL 4 / CO.2
- (C04) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN ON SHEET C1-1
  - FLAT WORK: SEE DETAIL 1 / CO.1
  - ADA COMPLIANT RAMP WITH CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 2 / CO.2
  - THICKENED EDGE SIDEWALK. SEE DETAIL 3 / CO.2
- (C05) CONSTRUCT CONCRETE STAIRS, WITH HANDRAIL PER ARCHITECTURAL PLANS. SEE DETAIL 4 / CO.3.
- (C06) PAVERS, SEE DETAIL 6 / CO.1:
  - INSTALL PAVERS SIDEWALK EDGING, REFER TO CITY STANDARDS PATTERNS AND MATERIALS.
  - INSTALL PAVES WALKWAY / PATIO. REFER TO ARCHITECTURAL PLANS FOR PATTERNS AND MATERIALS.
- (C07) INSTALL ROAD STRIPING / PAINT
  - WHITE ASPHALT PARKING STRIPING (6" WIDE), MATCH CITY PATTERNS.
  - BLUE ADA PARKING STRIPING (4" WIDE) AND SYMBOL. SEE DETAILS 7 & 8 / CO.2
  - WHITE "COMPACT" LETTERS.
  - 24" WIDE WHITE THERMOPLASTIC STOP BAR.
  - 24" WIDE WHITE THERMOPLASTIC CROSSWALK.
- (C08) SIGNS, SEE DETAIL 13 / CO.2 FOR SIGN BASE DETAIL.
  - INSTALL STREET SIGN OVER STOP SIGN. COORDINATE FINAL LOCATION WITH THE CITY OF HALEY PUBLIC WORKS DEPARTMENT.
  - INSTALL ADA STANDARD "RESERVED PARKING" SIGN. SEE DETAIL 5 / CO.2.
  - INSTALL ADA STANDARD "RESERVED PARKING" SIGN OVER "VAN" SIGN. SEE DETAIL 5 / CO.2.
  - PARKING RESTRICTION SIGN. COORDINATE FINAL LOCATION WITH THE CITY OF HALEY PUBLIC WORKS DEPARTMENT.
- (C09) INSTALL HANDRAIL PER DETAIL 4 / CO.3.
- (S10) INSTALL STREET TREE PER LANDSCAPING PLAN. REFER TO CITY OF HALEY CODES FOR STRUCTURAL SOIL REQUIREMENTS.
- (S11) INSTALL STREET LIGHT PER DETAILS 1, 2, AND 3 ON SHEET C0-1. LIGHT HEAD TO BE LOCATED 7' FROM BACK OF CURB.
- (S12) CONSTRUCT RETAINING WALL WITH GUARD RAIL / FENCE PER LANDSCAPE PLAN.

**UTILITY KEY NOTES**

- (U01) INSTALL CATCH BASIN PER DETAIL 11 / CO.2
  - RM = S075/80
  - INV. OUT = XX (NE)
  - RM = S074/80
  - INV. OUT = XX (NE)
  - RM = XX
  - INV. IN = XXX (NW)
  - INV. OUT = XX (E)
- (LF) (U02) INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 12 / CO.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 2 / CO.3 FOR TRENCHING.
- (U03) DRYWELL: SEE DETAIL 2 / CO.2
  - RM = S075/80
  - INV. IN = XX (SW)
  - RM = XX
  - INV. IN = XX (SW)
  - RM = XX
  - INV. IN = XX (W)
- (U04) HOT TAP NEW 6" WATER SERVICE WITH STAINLESS STEEL TAPPING SADDLE AND THRUST BLOCK PER DETAIL 2 / CO.4 AND CITY APPROVED CORP STOP AT MAIN COVER SERVICE WITH 2" DOW BOARD. SERVICE SIZE SHALL BE DETERMINED BY PLUMBER OR PLUMBING ENGINEER. METER TO BE LOCATED IN FIRE RISER ROOM. SEE DETAIL 1 / CO.4 FOR TRENCHING.
- (U05) CONSTRUCT 4" SEWER SERVICE PER CITY OF HALEY STANDARD DETAIL 15.14.010.C4. SEE DETAIL 3 / CO.4. SEE DETAIL 1 / CO.4 FOR TRENCHING.
- (U06) INSTALL LANDSCAPE CATCH BASIN PER DETAIL 9 / CO.3
  - RM = XX
  - INV. OUT = XX (SE)
  - RM = XX
  - INV. OUT = XX (W)
  - RM = XX
  - INV. IN = XX (E)
  - INV. OUT = XX (W)
- (U07) INSTALL LANDSCAPE DRYWELL PER DETAIL 1 / CO.2
  - RM = XX
  - INV. IN = XX (E)
  - RM = XX
- (LF) (U08) INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 12 / CO.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 2 / CO.3 FOR TRENCHING.

- RETAIN AND PROTECT:
- TREE
  - DRYWELL, CONTRACTOR TO ADJUST RIM ELEVATION  
EX. RIM ELEV. = S315.0  
PROP. RIM ELEV. = XXXX
  - TRANSFORMER



PROJECT NO.	23029
DATE	08/11/24
DESCRIPTION	ISSUE FOR DESIGN REVIEW (04/10/2024)
RESPONSE TO CITY ENGINEER COMMENTS	RESPONSE TO CITY ENGINEER COMMENTS



**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE IMPROVEMENTS AND UTILITY PLAN**  
THRIVE CENTER FOR SAFETY AND HEALING  
PREPARED FOR THE ADVOCATES

RELEASE OF DRAWINGS: these drawings, or any portion thereof, shall not be used in any Project or construction without the prior consent of Opal Engineering, PLLC.

**CROY STREET**

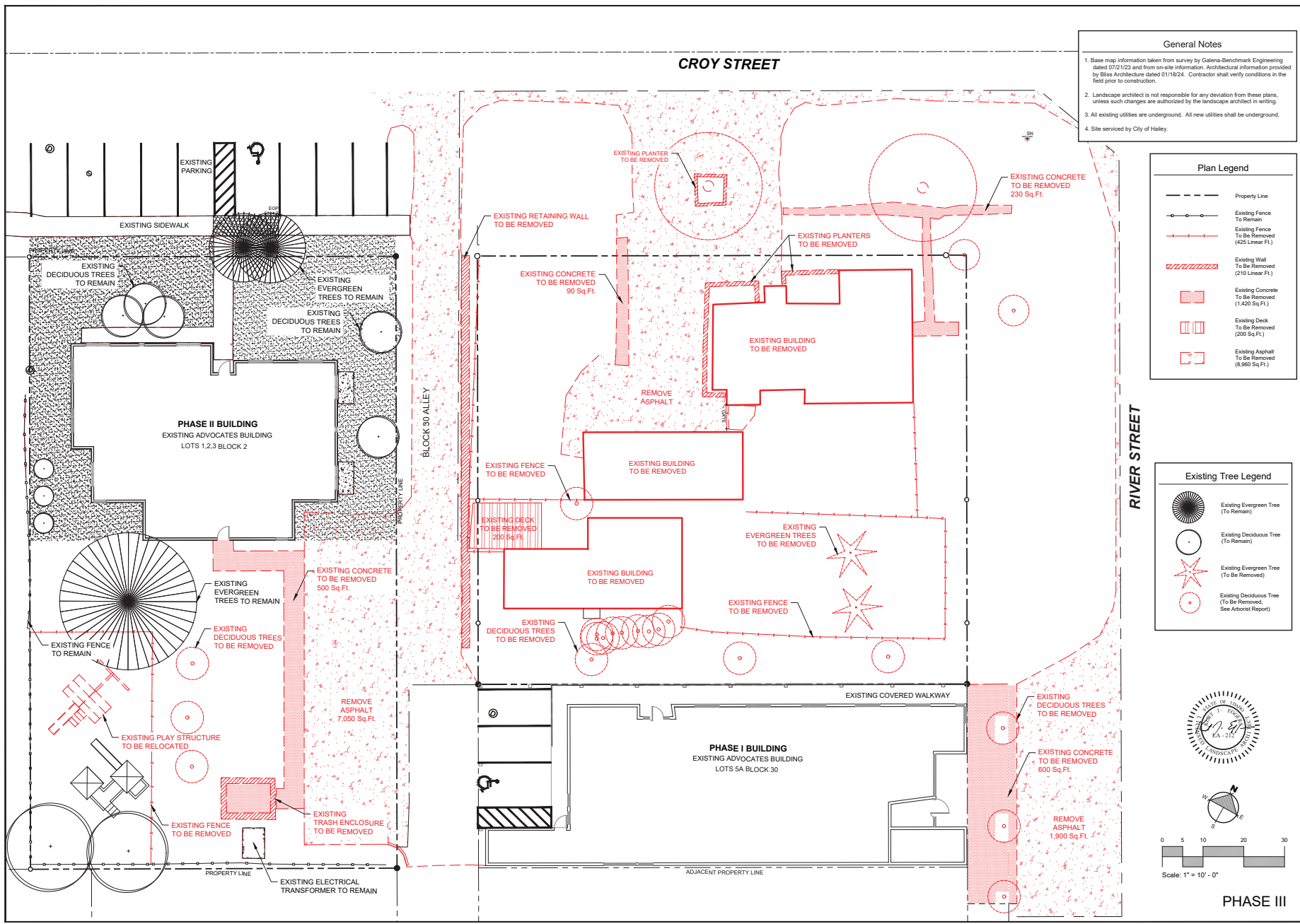
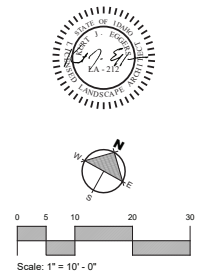
- General Notes**
1. Base map information taken from survey by Galena-Benchmark Engineering dated 07/21/23 and from on-site information. Architectural information provided by Bliss Architecture dated 01/18/24. Contractor shall verify conditions in the field prior to construction.
  2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
  3. All existing utilities are underground. All new utilities shall be underground.
  4. Site serviced by City of Hailey.

**Plan Legend**

	Property Line
	Existing Fence To Remain
	Existing Fence To Be Removed (425 Linear Ft.)
	Existing Wall To Be Removed (210 Linear Ft.)
	Existing Concrete To Be Removed (1,420 Sq. Ft.)
	Existing Deck To Be Removed (200 Sq. Ft.)
	Existing Asphalt To Be Removed (8,900 Sq. Ft.)

**Existing Tree Legend**

	Existing Evergreen Tree (To Remain)
	Existing Deciduous Tree (To Remain)
	Existing Evergreen Tree (To Be Removed)
	Existing Deciduous Tree (To Be Removed. See Arbolist Report)



**PHASE III**

DESIGN REVIEW - 04/01/24

Thrive Center for Safety and Healing

EGGERS ASSOCIATES, P.A.  
landscape architecture  
P.O. Box 958  
Ketchum, ID 83740  
T: (208) 725-0948  
F: (208) 725-0972

Thrive Center for Safety and Healing  
201 & 209 S River Street  
Lots 1, 2 & 3, Block 30 Hailey Townsite  
Hailey, Idaho

Job No: 25.28

Scale: 1" = 10'-0"

Issue/Revisions Date

Design Review 04/01/24

Sheet Title:  
**Demo Plan**

Sheet No:  
**L2.0**



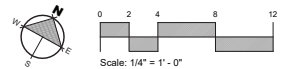
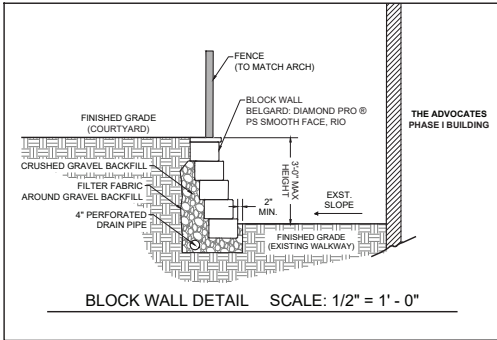
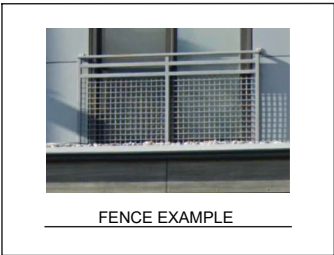
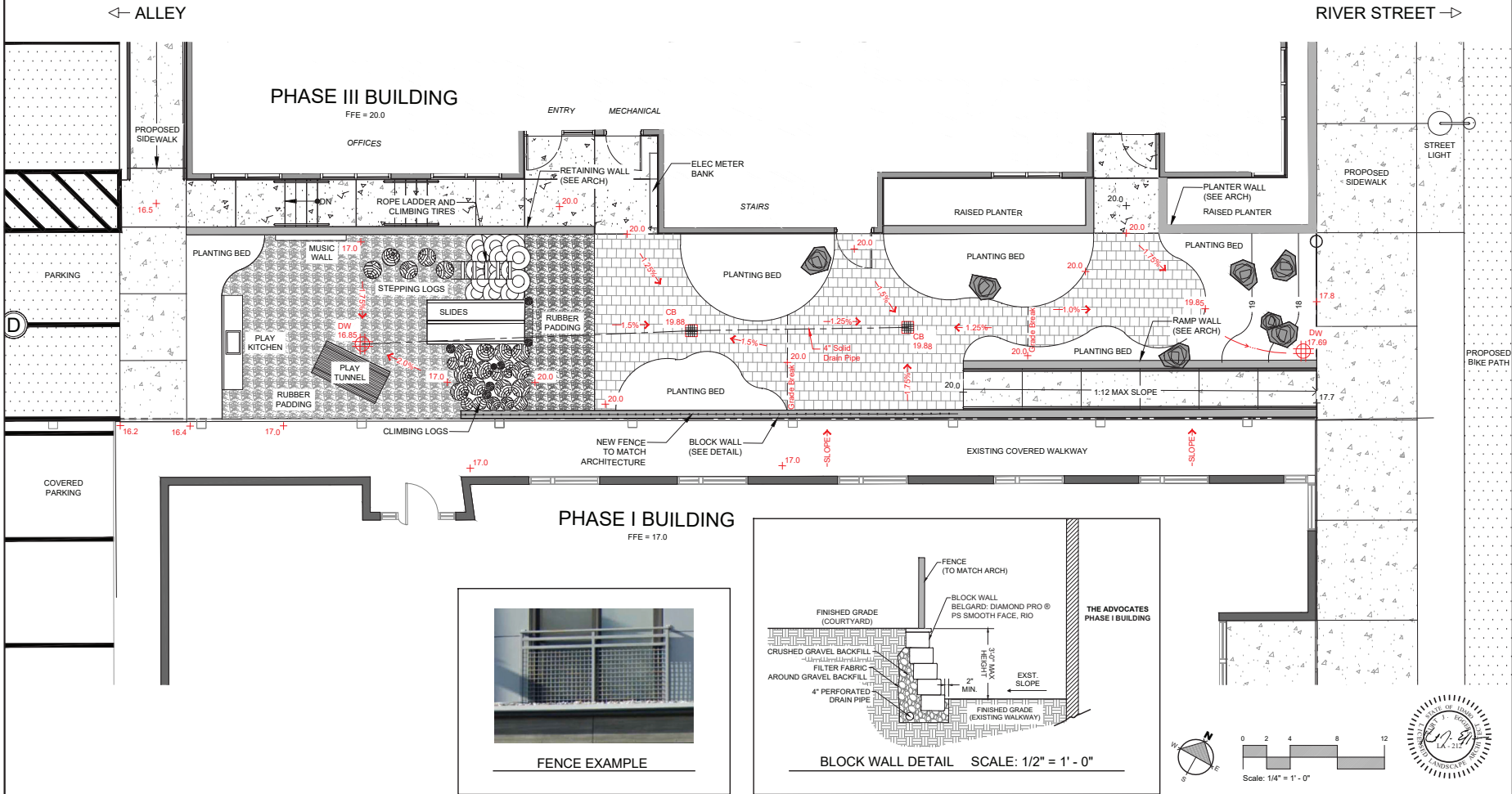


**General Notes**

1. Base map information taken from survey by Galena-Benchmark Engineering dated 07/21/23 and from on-site information. Architectural information provided by Bliss Architecture dated 01/18/24. Contractor shall verify conditions in the field prior to construction.
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3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Hailey.

**Plan Legend**

	Property Line		Proposed Surface Drywell
	Proposed Fence		Proposed Concrete
	Proposed Retaining Wall		Proposed Pavers 12 x 24 Dimensions Stab Rio, w/ 6x6 Graphite Border
	Proposed Drainage With Slope Percentage		Proposed Rubber Paving
	Proposed Spot Elevations		Proposed Street Light
	Proposed 4" Solid Drain Pipe		



Thrive Center for Safety and Healing

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Thrive Center for Safety and Healing  
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Hailey, Idaho

Job No. 23.28

Scale: 1/4" = 1'-0"

Issue/Revisions Date

Design Review 01/01/24

Sheet Title:  
Grading Plan

Sheet No.:

L3.1

PHASE III

DESIGN REVIEW - 04/01/24





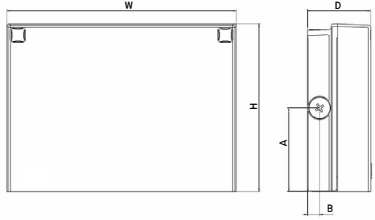
# WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

## Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

## Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W <sup>1</sup> 30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	2,900 Lumens, 24W 40K 4000K	347 347V <sup>3</sup>	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>2</sup>	DWHXD White
WPX2 LED	6,000 Lumens, 47W 50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) <sup>2</sup>	DBLXD Black
WPX3 LED	9,200 Lumens, 69W		PE Photocell <sup>3</sup>	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

### NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

### CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

### INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

### LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



## Performance Data

### Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

### Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

### HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

### Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT <b>E4WH</b> DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT <b>E14WC</b> DDBXD

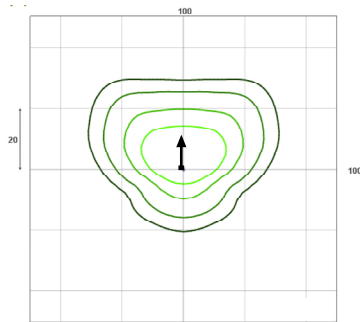
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

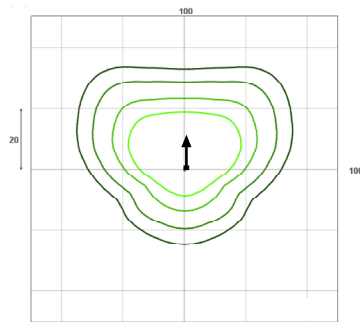
#### LEGEND

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<span style="display:inline-block; width:10px; height:10px; background-color:#00c080; border:1px solid black;"></span> 0.5 fc
<span style="display:inline-block; width:10px; height:10px; background-color:#90e090; border:1px solid black;"></span> 1.0 fc

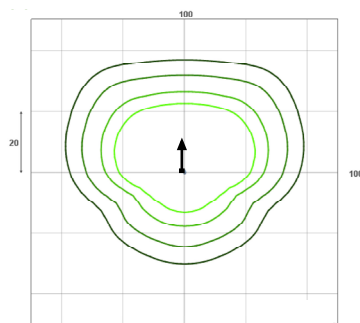
WPX1 LED P1



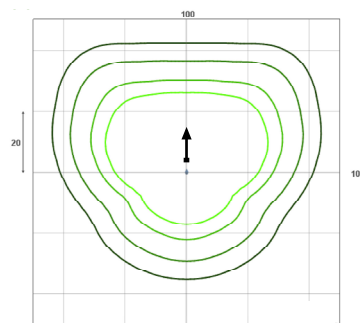
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

**Return to Agenda**