

**AGENDA**  
**Hailey Planning and Zoning Commission**  
**Tuesday, September 5, 2023**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

**\*\*\*NEW\*\*\***

**THIS MEETING WILL BE AVAILABLE VIRTUALLY VIA MICROSOFT TEAMS.**

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**Call to Order**

- Public Comment for items not on the Agenda.

**Consent Agenda**

- **CA 1** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Subdivision Application submitted by ARCH Community Housing Trust, Inc., represented by Opal Engineering, to subdivide Lot 64, Blok 5, Sunbeam Subdivision Phase I, into eight (8) sublots, each sublot ranging between 3,935 square feet and 6,998 square feet in size. This project is located off of Gray's Starlight Drive in the Sunbeam Subdivision and is within the Limited Residential (LR-2) Zoning District. This project is to be known as Sunny Townhomes. **ACTION ITEM**
- **CA 2** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a City-initiated Annexation Application to annex a 55-foot-wide section of Quigley Gulch Road, along the southern boundary of the Marvin Gardens No. 1 Subdivision, and adjacent to Quigley Road (A parcel of land falling within the North West ¼ of Section 10 Township 2 North Range 18 East, B.M., and said parcel also falling within the Plat of Marvin Gardens No.1 Subdivision recorded under instrument number 209065 records of Blaine County, Idaho, and said parcel being more particularly described as follows: Commencing at a brass cap marking the center ¼ corner of Section 10, said point falling

South 89°52'19" East 2653.92 feet from a Brass cap marking the West ¼ corner of Section 10, thence proceeding North 0°17'59" West 977.11' along the center section line to a 5/8" rebar marking the South East most corner of said plat and also being the South East corner of the Quigley Road Dedication, and said corner being the True Point of Beginning; Thence North 0°17'59" West 56.73' to a ½" rebar monument marking a point common to the North East corner of the Quigley Road dedication and the South East corner of Lot 3; Thence South 75°30'18" West 1366.67' to a ½" rebar monument marking a point common to the North West corner of the Quigley Road dedication and the South West corner of Lot 4; Thence South 0°08'08" East 56.77' to a 5/8" rebar monument marking the South West corner of the Quigley Road dedication; Thence North 75°30'18" East 1366.84' to the True Point of Beginning, said parcel containing 1.76 acres or 75,166 square feet, more or less), to complete the portion of Quigley Gulch Road that is owned and maintained by the City of Hailey. A copy of the Annexation Plan can be found at [www.haileycityhall.org/community-development/](http://www.haileycityhall.org/community-development/). **ACTION ITEM**

### **Public Hearing**

- **PH 1** Consideration of a Design Review Application by Trent and Kristy Heitzman for a new 1,736 square foot addition to an existing residence which includes an 872 square foot master bedroom, a 576 square foot garage with 288 square feet of storage above the proposed garage. This project is located at 214 N 2<sup>nd</sup> Avenue (Lot 18A, Block 47, Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **PH 2** Consideration of Planned Unit Development (PUD) concept by Darin and Kathleen Barfuss for the proposed Star Light Lane Subdivision, located at the intersection of Silver Star Drive and Broadford Road, within the Limited Residential (LR-2) Zoning District (1371 Silver Star Drive; Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E). The Applicant has drafted a concept for a forthcoming PUD Agreement and Preliminary Plat Application, including five (5) single-family lots and a sixth (6th) lot that will remain as-is. At this time, the Applicant is proposing a Community Housing amenity of one (1) deed-restricted, single- family home in exchange for a waiver to the requirement below:
  - Minimum lot size of the LR-2 Zoning District. **ACTION ITEM**
- **PH 3** Consideration of Consideration of a Preliminary Plat Application by Darin and Kathleen Barfuss wherein Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), at the intersection of Silver Star Drive & Broadford Road, is subdivided into six (6) lots for single-family dwelling units within the Limited Residential (LR-2) Zoning District. This project is in tandem with a Planned Unit Development Application and is to be known as Star Light Lane Subdivision. **ACTION ITEM**

### **Staff Reports and Discussion**

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting: **September 18 , 2023 at 5:30 PM.**
  - **CUP: BCRD SVSEF Yurt**
  - **DR: Morgans Fine Finishes**
  - **DR: ARCH Sunny Townhomes**

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On August 21, 2023, the Hailey Planning and Zoning Commission considered, and recommended approval by the Hailey City Council, a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray's Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District.

### FINDINGS OF FACT

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on August 1, 2023. Three (3) public comments were received prior to the August 21, 2023 hearing; two (2) were submitted via email, and one (1) was received over the phone. All comments were opposed to the project, citing concerns over lot density, increased traffic and congestion, and the impact that subdividing the lot might have on adjacent home values.

**Background:** The Final Plat for Phase I of the Sunbeam Subdivision was approved on April 12, 2021—wherein Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey, was subdivided into 85 units on 70 lots. Phase I includes three (3) cottage lots for a total of 18 cottage units, as outlined in the Planned Unit Development (PUD) Agreement (recorded on June 29, 2020; Instrument #670234). On August 7, 2023, the Pilling Family Trust's Subdivision Application (Panorama Point Subdivision) received a recommendation for City Council approval by the Hailey Planning and Zoning Commission. This Application proposed to subdivide two (2) of the three (3) Phase I cottage townhouse lots into ten (10) sublots with ten (10) new cottage units in total.

The ARCH Community Housing Trust Inc. proposed to subdivide the remaining one (1) Phase I cottage lot, Lot 64, into eight (8) cottage townhouse sublots to serve eight (8) cottage townhouse units under a Preliminary Plat Application. If approved, a new subdivision within Phase I of the Sunbeam Subdivision would be developed, recorded, and named Sunny Townhomes Subdivision.

The Application for the Sunny Townhomes Subdivision proposed to subdivide the 0.93 acres of Lot 64 into eight (8) cottage townhouse sublots between 0.09 and 0.16 acres in size. In addition to the ten (10) cottage lots proposed for the Panorama Point Subdivision at the August 7, 2023 Planning and Zoning Meeting, this application completes the eighteen (18) cottage units planned for Phase I of the Sunbeam Subdivision.

Of relevance to this project, the Hailey Municipal Code defines the following cottage, townhouse, and sublot terms in the following ways:

**TOWNHOUSE DEVELOPMENT:** A multi-family residential project of two (2) or more townhouse units, where permitted under the Hailey zoning ordinance, which may be constructed as either or both of the following:

- A. Building(s) containing two (2) or more townhouse units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to building and fire code requirements, and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along



the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.

B. **“Cottages”**, which are buildings containing single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.

**TOWNHOUSE SUBLLOT:** The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a “townhouse unit”, as defined in this section. Platting of sublots shall follow the procedures set forth in this title and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

**TOWNHOUSE UNIT:** A dwelling including a minimum of one bathroom and a single kitchen, designed for, or occupied as a unit by one family for living and cooking purposes, located in a townhouse development on a platted townhouse subplot.

As specified in the Code, a cottage is a building that contains a single townhouse unit on an individual townhouse subplot. Per Code, townhouse units are required to include a minimum of one (1) bathroom and one (1) kitchen. Furthermore, townhouse units are to be designed or occupied by one (1) family. In other words, cottages are small single-family housing units due to the typically small size of townhouse sublots. As presented to the Commission on May 15, 2023 and June 20, 2023, and at the time of drafting these Findings of Fact, Staff is developing an ordinance to accommodate cottage developments with definitions, standards, and zoning that are distinct from other housing types. At this point in time, cottage development applications—such as this one— will be held to the existing standards within Hailey’s Municipal Code. Staff has worked internally with the Applicant to communicate the City Council’s priorities for the character and intent of cottage developments, as they were negotiated in the Sunbeam Subdivision Planned Unit Development Agreement.

Due to the evolving nature of cottage development definitions, standards, and zoning, and citing the precedent set forth by the corresponding cottage subdivision project associated with Sunbeam Subdivision’s PUD Agreement (Panorama Point), City Staff and Planning and Zoning Commissioners - under advisement from the City of Hailey Attorney - requested that the Applicant submit a Design Review Application and complete a Public Hearing process. Final approval of the Applicant’s Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the Design Review Application associated with Sunny Townhomes Subdivision. This has been made a Condition of Approval.

Additionally, the Applicant and the Commission noted that the Sunny Townhomes Subdivision is proposed to have rental occupancy, and that ARCH will be the sole owner of the subdivided parcels. The Staff Report and previous Condition of Approval language that included references to HOAs (which are traditionally made up of multiple homeowners) appeared to be misleading and inaccurate to the planned circumstances for the site’s long-term management. Staff agreed to alter the Condition of

Approval language to better reflect the single-owner nature of Sunny Townhomes Subdivision. This change is reflected throughout these Findings of Fact.

**Procedural History:** The Applicant submitted their Preliminary Plat Application for the Sunny Townhomes Subdivision on June 20, 2023, and it was certified complete on June 21, 2023. A public hearing before the Planning and Zoning Commission occurred on August 21, 2023 in Hailey City Hall Council Chambers and virtually via Microsoft Teams.

This property is subject to a Planned Unit Development (PUD) Agreement dated June 18, 2020 (Instrument #670234), as well as the Final Plat for Phase I of the Sunbeam Subdivision that was approved on April 12, 2021.

Standards of Evaluation for a Subdivision					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: Public Works Staff have reviewed the proposed application. Any issues, questions, or concerns will be thoroughly reviewed and discussed with the Applicant prior to final design.	
				Fire/Safety: The site’s interior, vehicular access aisle, which services each of the units and also acts as a fire lane, is proposed at the minimum allowable width by Hailey Municipal Code. The Hailey Fire Department is requesting that the Applicant ensure the fire lane is unobstructed and accessible at all times.  The Applicant shall paint all curbs of the lot’s interior, vehicular access aisles with red paint, as well as install signage prohibiting parking along the sides of the access aisle, except in the three (3) designated guest parking spaces shown on site plans. This has been made a Condition of Approval.	
				Water and Sewer: No comments.	
				Building: No comments.	
				Streets: No comments.	
				Finding: Compliance. These standards have been met.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.	
			Staff Comments	Please refer to the specific standards as noted herein.	
16.04.020: Streets:					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>	
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.	

			<b>Staff Comments</b>	<i>N/A – The public streets for Phase I of the Sunbeam Subdivision were platted in 2021 and have since been built/are existing. The project proposed here does not include any new streets.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Cul-De-Sacs; Dead-End Streets:</b> Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.
			<b>Staff Comments</b>	<i>N/A – No cul-de-sacs nor dead-end streets are proposed.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Access:</b> More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<b>Staff Comments</b>	<i>N/A – Each of the proposed cottage units will be accessed via an interior parking access lane, which connects to Gray's Starlight Drive in the northeast quadrant of the parcel. City of Hailey Department Heads have reviewed the site plans and did not recommend more than one (1) access point.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D.</b>	<b>Design:</b> Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<b>Staff Comments</b>	<i>N/A – No streets are proposed, only a single parking access lane from Gray's Starlight Drive to the interior of the lot.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E.</b>	<b>Centerlines:</b> Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<b>Staff Comments</b>	<i>N/A – No public streets nor traffic calming measures are proposed.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F.</b>	<b>Width:</b> Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<b>Staff Comments</b>	<i>N/A – No public streets are proposed.</i>

				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G.</b>	<b>Roadways:</b> Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<b>Staff Comments</b>	N/A – No roadways are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H.</b>	<b>Road Grades:</b> Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<b>Staff Comments</b>	N/A – No new road grades are proposed. The public streets are existing and meet City Standards.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>I.</b>	<b>Runoff:</b> The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<b>Staff Comments</b>	N/A – Storm drains and/or drainage areas of adequate size are in place.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>J.</b>	<b>Signage:</b> The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<b>Staff Comments</b>	The Applicant shall paint all curbs of the lot's interior parking access lane with red paint, as well as install signage prohibiting parking along the sides of the access lane, except in the three (3) designated guest parking spaces shown on site plans. This has been made a Condition of Approval.
				<i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>K.</b>	<b>Dedication; Names:</b> All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<b>Staff Comments</b>	N/A – No new streets nor alleys are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
			<b>L.</b>	<b>Private Streets:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 1.</b>	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<b>Staff Comments</b>	N/A – No private streets are proposed.

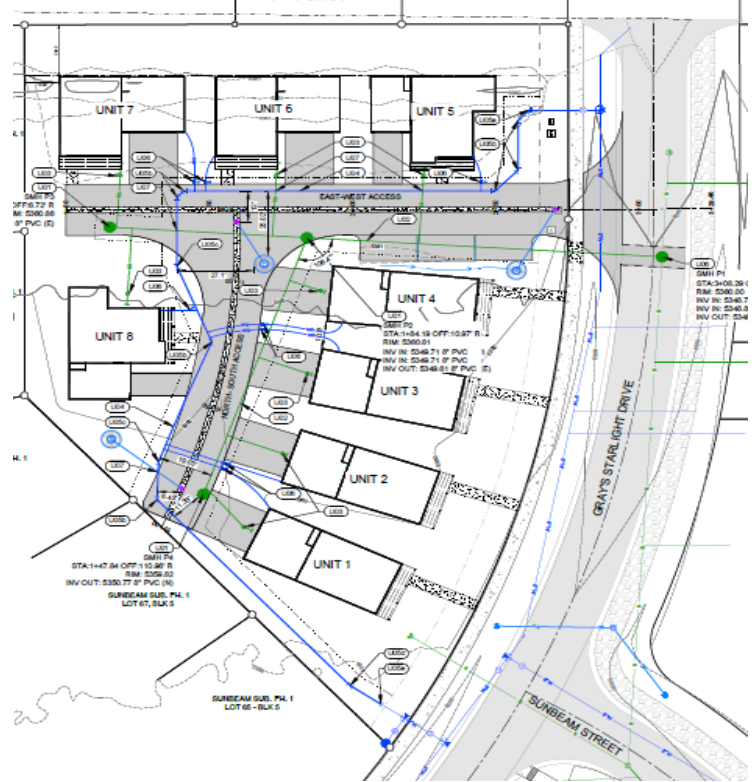
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			Staff Comments	N/A – No private streets are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			Staff Comments	N/A – No private streets are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	N/A – No private streets are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			Staff Comments	N/A – No private streets are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			Staff Comments	N/A – No private streets are proposed.
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			Staff Comments	The proposal includes one (1) parking access lane, which will service all cottage units within the subdivision. Ingress/egress are achieved via this singular approach from Gray's Starlight Drive. The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current

				<p>ownership and any future ownership changes. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>M. 2.</b>	<p><b>Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:</b></p> <p>a) Accessing one residential unit: twelve feet (12')</p> <p>b) Accessing two residential units: sixteen feet (16')</p> <p><b>No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</b></p>
			<b>Staff Comments</b>	<p>N/A. All proposed driveways are located off the private access lane, and only one curb cut is proposed off the public street, Grays Starlight Drive. Minimal impact to the public street is proposed, and driveway dimensions are appropriate for private roads, access lanes, and aisles. The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current ownership and any future ownership changes. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>M. 3.</b>	<p><b>Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.</b></p>
			<b>Staff Comments</b>	<p>N/A – None of the proposed driveways exceed one-hundred and fifty feet (150').</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>M. 4.</b>	<p><b>Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.</b></p>
			<b>Staff Comments</b>	<p>N/A, as no driveways accessing more than one (1) residential dwelling unit are proposed.</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>M. 5.</b>	<p><b>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</b></p>
			<b>Staff Comments</b>	<p>N/A – None of the proposed driveways serve more than one (1) residence.</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 6.</b>	<p><b>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</b></p>
			<b>Staff Comments</b>	<p>No driveways interfere with the maintenance of existing infrastructure. The residential approaches are serviced by a communal parking access lane.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>N.</b>	<p><b>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b></p>

			<b>Staff Comments</b>	<i>The proposed parking access lane has been approved by the Fire Department, with required traffic safety control methods (fire lane paint and signage) and will be inspected for IFC compliance during the final plat inspections.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>O.</b>	<b>Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<b>Staff Comments</b>	<i>The site plan for the interior access lane has been inspected by the Hailey Fire Department and appears to comply with all regulations set forth in the IFC and other applicable codes and ordinances.</i>  <i>Finding: Compliance. This standard has been met.</i>
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	<i>The public street sidewalk and drainage improvements were constructed in Phase I of the Sunbeam Subdivision. The existing pedestrian facilities and proposed drainage are adequate for the site; however, any additional drainage requirements or sidewalk repairs will be reviewed by City Staff prior to final design. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Staff Comments</b>	<i>The sidewalks were constructed for Phase I of the Sunbeam Subdivision and are equal the length of the public street frontage. Unless improvements are needed to the existing sidewalks, this standard has been met. The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C.</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</b>
			<b>Staff Comments</b>	<i>The public street sidewalks were constructed for Phase I of the Sunbeam Subdivision. Units 1-4 are proposed to include a walkway from each unit's eastern frontage, connecting to the existing public sidewalk on Gray's Starlight Drive.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>D.</b>	<b>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</b>
			<b>Staff Comments</b>	<i>The public street sidewalk, adjacent to the site were constructed for Phase I of the Sunbeam Subdivision.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E.</b>	<b>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</b>

			<b>Staff Comments</b>	<p><i>N/A – This is a Preliminary Plat Application for a new cottage subdivision, this project involves more than a Lot Line Adjustment.</i></p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<b>16.04.040: Alleys and Easements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			<b>A.</b>	<b>Alleys:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 1.</b>	<p><b>Alleys shall be provided in all Business District and Limited Business District developments where feasible.</b></p> <p><b>Staff Comments</b> <i>N/A – This project is in the Limited Residential (LR-1) Zoning District.</i></p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 2.</b>	<p><b>The minimum width of an alley shall be twenty-six (26') feet.</b></p> <p><b>Staff Comments</b> <i>N/A – Alleys are not required, nor are they planned.</i></p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 3.</b>	<p><b>All alleys shall be dedicated to the public or provide for public access.</b></p> <p><b>Staff Comments</b> <i>N/A – Alleys are not required, nor are they planned.</i></p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 4.</b>	<p><b>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</b></p> <p><b>Staff Comments</b> <i>Alleys are not required, nor are they planned. The proposed underground utilities are routed in the platted parking access aisle and platted public utility easements. A main line from Gray's Starlight Drive will provide sewer service connection for each of the units. Water service will be provided from two (2) connections to the mainline, also located on Gray's Starlight Drive. The City Water and Wastewater Departments are supportive of the proposed plans.</i></p>



				
				<p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>A. 5.</b></p> <p>Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.</p>	
			<p><b>Staff Comments</b></p>	<p>N/A – Alleys are not required, nor are they planned for this parcel. This area is residential and not commercial.</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>A. 6.</b></p> <p>Dead-end alleys shall not be allowed.</p>	
			<p><b>Staff Comments</b></p>	<p>N/A – The proposed design does not include a dead-end alley.</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>A. 7.</b></p> <p>Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.</p>	

			<b>Staff Comments</b>	<p><i>The proposed plat includes:</i></p> <ul style="list-style-type: none"> <li>• <i>Mutual reciprocal easements for access by all cottage units, as well as by existing and future public and private utilities including, to utilities including but not limited to water, sewer, drainage, cable tv, telephone, natural gas, electrical lines, and roof and site drainage over, under and across their sublots for the repair, maintenance and replacement of those services;</i></li> <li>• <i>A 10' Public Utility and Snow Storage Easement per Sunbeam Subdivision Phase 1, recorded as Instrument Number 682301</i></li> <li>• <i>A Public Utility Easement, 27.84' to 31.99' wide. to benefit the City of Hailey.</i></li> <li>• <i>A 20' wide private irrigation easement to benefit the Sunbeam Subdivision's HOA</i></li> <li>• <i>A snow storage easement to benefit the Sunny Townhomes Subdivision Development.</i></li> </ul> <p><i>Any concerns and/or issues with the proposed easements will be reviewed by the City Engineer and resolved prior to final design. The Applicant shall also address the easement and maintenance of the utilities in the CC&amp;R's for the subdivision. Both stipulations have been made Conditions for Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<p><b>Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:</b></p>
			<b>Staff Comments</b>	<p><i>See Section 16.04.040.A.7 for explanation.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	<p><b>To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</b></p>
			<b>Staff Comments</b>	<p><i>The easements have been explained in the prior Section 16.04.040.A.7. There is no need for a river access easement, as this site does not border the Big Wood River.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<p><b>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the</b></p>

				<b>applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</b>
			<b>Staff Comments</b>	<i>N/A – No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 3.</b>	<b>Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</b>
			<b>Staff Comments</b>	<i>According to snow storage site plans submitted by the project's engineer, the proposed snow removal area measures 9,312 square feet in size. The required snow storage area, per Hailey Municipal Code, is 2,328 square feet. 2,584 square feet of snow storage is provided. No dimensions of any snow storage area is measured at less than 10 feet, and no above ground utilities appear to be impacted.</i>  <i>Finding: Compliance. This standard has been met.</i>
<b>16.04.050: Blocks</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.050</b>	<b>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</b>
			<b>Staff Comments</b>	<i>N/A – This subdivision and proposed plat involves an existing block. No new blocks are proposed.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<b>16.04.060: Lots</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.060</b>	<b>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</b>
			<b>Staff Comments</b>	<i>The project parcel is subject to the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision. The PUD Agreement and Final Plat for Phase I specified that three (3) cottage lots shall be developed into eighteen (18) cottage units. In keeping with the affiliated PUD Agreement and Final Plat, this application proposes eight (8) sublots between 0.09 and 0.16 acres in size, for single-family cottage units, to be known as Sunny Townhomes Subdivision. As such, the remaining cottage lots in Phase I (Lots 41 and 49) have been recommended for City Council approval by the Planning and Zoning Commission, for subdivision into ten (10) cottage lots of an average size of 0.10 acres, to be known as Panorama Point Subdivision.</i>  <i>Also of relevance, the Hailey Municipal Code specifies a minimum lot size for townhouse sublots— "a minimum area equal to that of the perimeter of each</i>

				<p>individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation"— but not a maximum size. The proposed lots meet and exceed the minimum area required for townhouse sublots.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p>
			Staff Comments	<p>N/A</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p>
			Staff Comments	<p>N/A – The plat does not include any double frontage lots.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p>
			Staff Comments	<p>N/A – Each of the proposed sublots are buildable.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p>
			Staff Comments	<p>N/A – No flag lots are proposed.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p>
			Staff Comments	<p>N/A, townhouse sublots are excluded from this requirement. The proposed development has frontage on the public street, Gray’s Starlight Drive.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the</p>

				<p><b>street and alley. Exceptions may be made for corner properties with historic structures.</b></p> <p><i>Staff Comments</i> N/A – This project is not located within the Townsite Overlay (TO) Zone District.</p> <p><i>Finding:</i> Compliance. This standard has been met or is nonapplicable.</p>
<b>16.04.070: Orderly Development</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p><b>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</b></p> <p><i>Staff Comments</i> The proposed project—the development of cottages through Sunny Townhomes Subdivision—is subject to the Phasing Plan and Planned Unit Development for Phase I of the Sunbeam Subdivision. Per the PUD Agreement, “All cottage lots depicted in the PUD development Plan must be developed with cottage units by the Owner or its successors or assigns.” The “Owner shall use commercially reasonable efforts to expedite the development of said cottage units.” This project—the proposed Sunny Townhomes Subdivision—can be understood as a subset of Phase I of the development of the Sunbeam Subdivision, Staff does not see any reason to create an additional phasing plan for the development of the proposed cottage units.</p> <p><i>Finding:</i> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</b></p> <p><i>Staff Comments</i> N/A – Neither the Applicant nor Staff are requesting that the proposed subdivision be phased.</p> <p><i>Finding:</i> Compliance. This standard has been met or is nonapplicable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<p><b>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</b></p> <ul style="list-style-type: none"> <li>a) Provision of on-site or off-site street or intersection improvements.</li> <li>b) Provision of other off-site improvements.</li> <li>c) Dedications and/or public improvements on property frontages.</li> <li>d) Dedication or provision of parks or green space.</li> <li>e) Provision of public service facilities.</li> <li>f) Construction of flood control canals or devices.</li> <li>g) Provisions for ongoing maintenance.</li> </ul> <p><i>Staff Comments</i> N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D.</b>	<p><b>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</b></p> <ul style="list-style-type: none"> <li>1. Streets, whether public or private, shall provide an interconnected</li> </ul>

				<p>system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</p> <ol style="list-style-type: none"> <li>2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</li> <li>3. Water main lines and sewer main lines shall be designed in the most effective layout feasible.</li> <li>4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</li> <li>5. Park land shall be most appropriately located on the Contiguous Parcels.</li> <li>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</li> <li>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</li> </ol> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<b>Staff Comments</b>	<p>N/A – The Commission and Council completed this process for the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision, of which this project is a part. The PUD required that a 4.54-acre park/open area space and a six-foot (6') wide pedestrian trail be completed during Phase I.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<b>16.04.080: Perimeter Walls, Gates, and Berms</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.080</b>	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<b>Staff Comments</b>	<p>N/A – No perimeter walls, gates, landscape berms, nor retaining walls are proposed.</p> <p><u>Finding:</u> Compliance. This standard has been met or is nonapplicable.</p>
<b>16.04.090: Cuts, Fills, Grading and Drainage</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<b>Staff Comments</b>	<p>The Commission and Council completed this process for the Planned Unit Development Plan and Final Plat for Phase I of the Sunbeam Subdivision. Through those processes, cottages were planned for this site.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 1.</b>	<b>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</b>
			<b>Staff Comments</b>	<i>The City Engineer will determine whether a Soils Report is required for this project.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<b>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</b> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			<b>Staff Comments</b>	<i>A Grading/Site Improvement Plan has been submitted and is under review by the City Engineer.</i>  <i>Finding: Compliance. This standard has been met.</i>
			<b>B.</b>	<b>Design Standards: The proposed subdivision shall conform to the following design standards:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	<b>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</b>
			<b>Staff Comments</b>	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading/Site Improvement Plan has been submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<b>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</b>
			<b>Staff Comments</b>	<i>N/A</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 3.</b>	<b>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</b>
			<b>Staff Comments</b>	<i>A permanent irrigation system is proposed for the site, servicing sixty-one (61) trees and one hundred and eighty-seven (187) shrub/grass/perennial clusters. Approximately four-thousand six hundred and fifty (4,650) square feet of low</i>

				<p>water grass cover is proposed as well. Revegetation of the site appears substantial, and the flat topography of the lot discourages erosion.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 4.</b>	<p><b>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</b></p> <ul style="list-style-type: none"> <li>a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing &amp; Materials (ASTM).</li> <li>c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</li> <li>d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</li> <li>e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</li> </ul>
			<b>Staff Comments</b>	<p><i>Proposed grading and drainage appear to be adequate for the site but shall meet the approval of the City Engineer, this has been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 5.</b>	<p><b>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</b></p>
			<b>Staff Comments</b>	<p><i>A Drainage Plan has been submitted. Runoff shall be collected at the entryway of the subdivision's parking access lane, within landscaping, and at the parking access lane spur that services Units 1-4 and Unit 8. Storm water will be retained onsite. These have been made Conditions of Approval and will be reevaluated at final design, prior to Final Plat approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<b>16.04.100: Overlay Districts</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			<b>A.</b>	<b>Flood Hazard Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 1.</b>	<p><b>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</b></p>
			<b>Staff Comments</b>	<p><i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i></p>



				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 2.</b>	<b>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 3.</b>	<b>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Hillside Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 1.</b>	<b>Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<b>Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 3.</b>	<b>All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<b>16.04.110: Parks, Pathways and Other Green Spaces</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.</b>	<b>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</b>
			<b>Staff Comments</b>	<i>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
			<b>A. 1.</b>	<b>Parks:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 1. a.</b>	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p><b>P = x multiplied by .0277</b></p> <p><b>“P” is the Parks contribution in acres</b></p>

				<p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<b>Staff Comments</b>	<p>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision.</p> <p><u>Finding: Compliance. This standard has been met or is nonapplicable.</u></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.1.b</b>	<p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p>
			<b>Staff Comments</b>	<p>N/A – The proposed subdivision is located within the Limited Residential (LR-1) Zoning District.</p> <p><u>Finding: Compliance. This standard has been met or is nonapplicable.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<p><b>Pathways:</b> The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			<b>Staff Comments</b>	<p>Sidewalks and shared-use paths were constructed for Phase I of the Sunbeam Subdivision and are adequate for the site. No additional pathways are proposed at this time.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Multiple Ownership:</b> Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> <li>a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or</li> <li>b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</li> <li>c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</li> <li>d) <b>Parks and Lands Board:</b> The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based</li> </ul>

				on compliance with the master plan and provisions of this ordinance.
			<b>Staff Comments</b>	N/A  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Parks and Lands Board:</b> The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<b>Staff Comments</b>	N/A – This application is subject to the existing Planned Unit Development Agreement for Phase I of the Sunbeam Subdivision, which addressed park/open space requirements. No additional Park/Open Space is required at this time.  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
			<b>D.</b>	<b>Minimum Requirements:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>D. 1.</b>	<b>Private Green Space:</b> Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<b>Staff Comments</b>	The Applicant shall address the maintenance of the outdoor shared space delineated by the easement between the proposed townhouse sublots in CC&R's for the subdivision. This has been made a Condition of Approval.  <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 2.</b>	<b>Neighborhood Park:</b> A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<b>Staff Comments</b>	N/A  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 3.</b>	<b>Mini Park:</b> A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<b>Staff Comments</b>	N/A  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 4.</b>	<b>Park/Cultural Space:</b> A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<b>Staff Comments</b>	N/A

				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	<p><b>Pathway:</b> Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A)2 for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p><b>Specific Park Standards:</b> All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	<p>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	<p>Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	<p>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	<p>Shall require low maintenance or provide for maintenance or maintenance endowment.</p>
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F.</b>	<b>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F. 1.</b>	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<b>Staff Comments</b>	<i>N/A – Please refer to Section 16.04.110(A.2) for further information.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F. 2.</b>	<b>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</b>
			<b>Staff Comments</b>	<i>N/A – Please refer to Section 16.04.110(A.2) for further information.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
			<b>G.</b>	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 1.</b>	<b>Shall meet the minimum applicable requirements required by section 4.10.04 of this section.</b>
			<b>Staff Comments</b>	<i>N/A – Please refer to Section 16.04.110 for further detail.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 2.</b>	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<b>Staff Comments</b>	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&amp;R's for the subdivision. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 3.</b>	<b>The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.</b>
			<b>Staff Comments</b>	<i>N/A – Please refer to Section 16.04.110 for further detail.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 4.</b>	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<b>Staff Comments</b>	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&amp;R's for the subdivision. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
			<b>H.</b>	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 1.</b>	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<b>Staff Comments</b>	<i>N/A – The required park/open space is existing and was developed according to the PUD Agreement for Phase I of the Sunbeam Subdivision.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 2.</b>	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal</b>

				shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<b>Staff Comments</b>	<i>Please reference Section 16.04.110 for further detail.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<b>Staff Comments</b>	<i>Please reference Section 16.04.110 for further detail.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<b>Staff Comments</b>	<i>Please reference Section 16.04.110 for further detail.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<b>16.05: Improvements Required:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<b>Staff Comments</b>	<i>The Applicant plans to construct the infrastructure that is necessary for municipal services, if the project is approved.</i>  <i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<b>Staff Comments</b>	<i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<b>Staff Comments</b>	<i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date

				of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<b>Staff Comments</b>	<i>Finding: Compliance. This standard will be met.</i>
<b>16.05.020: Streets, Sidewalks, Lighting, Landscaping</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.020</b>	<b>Streets, Sidewalks, Lighting, Landscaping:</b> The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<b>Staff Comments</b>	<i>This standard shall be met, has been made a Condition of Approval, and will be reevaluated at final design, prior to Final Plat approval.</i>  <i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Street Cuts:</b> Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Signage:</b> Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<b>Staff Comments</b>	<i>N/A – Signage for the public street names is existing, this project does not any other signage.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Streetlights:</b> Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance.
			<b>Staff Comments</b>	<i>N/A – No streetlights are planned for this project.</i>  <i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.030</b>	<b>Sewer Connections:</b> The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval.

				At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval.</i>
				<i>Finding: Compliance. This standard has been met.</i>
<b>16.05.040: Water Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval.</i>
				<i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A – This project is not within the Townsite Overlay (TO) District.</i>
				<i>Finding: Compliance. This standard has been met or is nonapplicable.</i>
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to Final Plat approval. This has been made a Condition of Approval.</i>
				<i>Finding: Compliance. This standard has been met.</i>
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			<i>Staff Comments</i>	<i>All utilities are shown to be installed underground and accessible via easements. The easements shall meet the approval of the City Engineer, this has been made a Condition of Approval.</i>
				<i>Finding: Compliance. This standard has been met.</i>
<b>16.05.070: Parks, Green Space</b>				



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			Staff Comments	See Section 16.04.110 for further detail.  Finding: Compliance. This standard has been met or is nonapplicable.
<b>16.05.080: Installation to Specifications; Inspections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			Staff Comments	An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design.  Finding: Compliance. This standard will be met.
<b>16.05.090: Completion; Inspections; Acceptance</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			Staff Comments	Finding: Compliance. This standard will be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	N/A – The completion of all major infrastructure by the Developer is preferred over bonding.  Finding: Compliance. This standard has been met or is nonapplicable.
<b>16.05.100: As Built Plans and Specifications</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	As built drawings will be required.  Finding: Compliance. This standard will be met.
<b>16.08: Townhouses:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such

				documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>The proposed subdivision is for single-family cottages that do not include party walls. The Subdivision is also proposed to have a single owner and offer the townhomes as rentals, negating the presence of an HOA. However, the Applicant shall include CC&amp;Rs to address the maintenance of utilities and shared outdoor space in the easements. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.08.020</b>	<b>Garages:</b> All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Vehicular access on the proposed plat directly leads to the cottage units, where garages can be assumed.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.08.030</b>	<b>Storage, Parking Areas:</b> Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Each single-family cottage unit is required to have two (2) parking spaces, this has been made a Condition of Approval.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.08.040</b>	<b>Construction Standards:</b> All townhouse development construction shall be in accordance with the IBC, IRC, and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>The proposed plat complies with this standard. Although the plat indicates municipal services passing through the sublots, they are protected by easements and do not pass through other buildings.</i>  <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.08.050</b>	<b>General Applicability:</b> All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.08.060</b>	<b>Expiration:</b> Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Final approval of the Applicant's Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the Design Review</i>

				<p><i>Application associated with Sunny Townhomes Subdivision. This has been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	<p><b>Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)</b></p>
			Staff Comments	<p>N/A</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	<p><b>Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)</b></p>
			Staff Comments	<p><i>This project is subject to the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision, which identified this cottage lot and requires the development of eighteen (18) cottage units in Phase I of the Sunbeam Development. Per the affiliated PUD Agreement and Final Plat, eight (8) cottage units are proposed on the parcel in question, and the remaining ten (10) cottage units required in Phase I have been approved and will be of a similar size.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	<p><b>Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only those exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).</b></p>
			Staff Comments	<p>N/A</p> <p><i>Finding: Compliance. This standard has been met or is nonapplicable.</i></p>

## CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, and other Sections of the Hailey Municipal Code and City Standards.

## DECISION

The Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5), located along the public streets of Gray's Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District, is hereby approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (n) are met:

- a) All conditions of the Planned Unit Development approval, dated June 18, 2020, shall be met.
- b) All Fire Department and Building Department requirements shall be met.
  - i. The Applicant shall paint all access aisle curbs with red paint, as well as install signage prohibiting parking alongside the access aisle, g, except in the three (3) designated guest parking spaces shown on site plans.
- c) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant's sole expense include, but will not be limited to:
  - i. Permits for the installation of all drywells.
  - ii. Metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
  - iii. The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d) Drainage facilities, grading, driveways, and utility easements shall be reviewed and approved by the City Engineer prior to Final Plat approval.
- e) Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
- f) The Applicant shall dedicate the parking access lane easement. Such dedication shall be noted as a plat note within the Sunny Townhomes Subdivision Plat.
- g) The Applicant shall address the maintenance of utilities and shared outdoor space between townhouse sublots within the subdivision's CC&R's.
- h) Runoff shall be collected at the entryway of the subdivision's parking access lane, within landscaping, and at the parking access lane spur that services Units 1-4 and Unit 8, and storm water will be retained onsite.

- i) The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current ownership and any future ownership changes.
- j) All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- k) The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- l) The Final Plat must be submitted within three (3) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m) Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.
- n) The final approval of this Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the subsequent Design Review Application associated with Sunny Townhomes Subdivision.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

\_\_\_\_\_  
Jessie Parker, Community Development Assistant

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On August 21, 2023, the Hailey Planning and Zoning Commission recommended for approval by the Hailey City Council an Annexation Application by the City of Hailey to annex a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, as well as the Marvin Gardens Subdivision to the north within Blaine County limits. A shared-use path connecting the Croy Street Pathway to the Quigley Trails Park is planned for the annexation.

Pursuant to Title 14 of the Hailey Municipal Code, and based on the record, the Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law, and Decision.

### FINDINGS OF FACT

**Background:** The City of Hailey requested a recommendation for approval to annex a fifty-five-foot (55') wide section of Quigley Road, where the current and planned use is public access or transportation. The proposed annexation currently functions as a shoulder of the road, or right-of-way (ROW). The plan is to develop it into a shared-use path that will complete the Croy Street and Quigley Road Pathway connection from downtown Hailey to Quigley Trails Park. The uses surrounding the proposed annexation are residential. The proposed annexation abuts the Marvin Gardens Subdivision to the north in Blaine County, as well as the Sunbeam and Deerfield Subdivisions to the west and south within City limits.



This property is within the Hailey Area of City Impact (ACI), which was delineated and shaped by the Area of City Impact Agreement that was adopted by the City on November 14, 1994 as Ordinance 649. The ACI Agreement was enacted to, "...ensure that development of land surrounding Hailey does not directly or indirectly negatively impact Hailey City services, infrastructure or quality of life". Furthermore, the 1994 Agreement determines that "Annexation by Hailey shall be limited to those lands lying within its Area of City Impact", reiterating that "If the City of Hailey wishes to consider annexing lands outside of its Area of City Impact, it shall negotiate its Area of City Impact boundary with Blaine County." In other words, property within the ACI is generally appropriate for annexation into the City.

Of relevance to the shared-use path planned for the proposed annexation, a similar portion of Quigley Road was annexed into the City and developed into a shared-use path during the entitlement process of Sunbeam Subdivision:



- NATURE SUBDIVISION; INSTRUMENT NUMBER 1294247  
-Marvin Gardens No. 1 Subdivision; Instrument Number 209065  
-Mother Lode Addition; Instrument Number 227267  
-Martin Young Subdivision; Instrument Number 237400  
-Marvin Gardens No. 1 Subdivision, Lot 1 Amended; Instrument Number 257550  
-A Replat of Lots 4 and 5, Marvin Gardens No. 1 Subdivision; Instrument Number  
-Drexler Ranch; Instrument Number 317964  
-Martin Young Subdivision Amended; Instrument Number 341009  
-Dove Meadows Subdivision; Instrument Number 355937  
-Malone Subdivision; Instrument Number 378544  
-A Replat of Drexler Ranch Subdivision; Instrument Number 423951  
-Old Cutters Subdivision; Instrument Number 553634  
-Lots 1A and 2A, Block 1, Marvin Gardens No. 1 Subdivision; Instrument Number  
-Lot 5A, Block 3, Mother Lode Addition, Instrument Number 657240
2. A title policy provided by Stewart Title Guaranty Company, File No. 1921937, Date that affect the property. All of said exceptions are NOT shown hereon and said title
  3. Parcels A and B are hereby dedicated to the City of Hailey as open space to benefit contribution requirements.
  4. Parcel C shall be reserved for Phase 2 of Sunbeam Subdivision.
  5. Parcel D is an open space parcel to benefit this development.
  6. Parcel E is to be dedicated to the City of Hailey for Quigley Road Right-of-Way.
  7. Parcel F is hereby dedicated to the City of Hailey for use as a municipal well site.
  8. A temporary agricultural easement shall exist over the entirety of Parcel B, to be v Sunbeam Subdivision.



Connecting downtown Hailey to the Quigley Trails Park with bicycle and pedestrian infrastructure is a longstanding goal of the City. The 2014 Blaine County Bicycle and Pedestrian Master Plan identifies “Connections to Trails and Parks,” as a Hailey project—with specific mention to Quigley Road. In 2018 and 2019, the City of Hailey constructed a separated bike path east on Croy Street, from Main Street to the Wood River Trail—using Transportation Alternatives Program infrastructure grants. The City has used various funding sources to provide the “local match” required of such grants— including revenue from sidewalk in-lieu fees and the Pathways for People levy in reserve. This year, the City:

- extended the Croy Street Pathway, as a shared-use path, east of the Wood River Trail,
- improved the Croy and 8<sup>th</sup> Street intersection geometry to accommodate the shared-use path, and
- connected the Croy Street shared-use path to the shared-use path segment on Quigley Road, which was constructed as a part of the Sunbeam Subdivision.

The proposed annexation pertains to the gap between the eastern edge of the Quigley Road shared-use path segment and the existing Quigley Trails Park. This year, the City of Hailey was awarded another Transportation Alternatives Program Infrastructure Grant to fill this gap and complete the Croy Street to Quigley Road Pathway projects. Construction of the shared-use path is planned for spring/summer 2024. Per the Quigley Farms Planned Unit Development Agreement, the Buttercup Hill Trailhead at Quigley Trails Park and the network of bicycle and pedestrian infrastructure in the subdivision will be developed. The attached “Pathway Report” and below snapshots depict how the Croy Street and Quigley Road Pathways have been funded and function within Hailey’s existing and planned multi-modal network.





The Hailey Comprehensive Plan presents a strong basis for recreation and multi-modal transportation projects. Goals within Section 10: Transportation— as well as Section 5: Land Use, Population, and Growth Management, Section 8: Housing, and Section 13: School Facilities and Transportation— of the Plan highlight the importance of a safe, convenient, and efficient multi-modal transportation system for the benefit of Hailey’s residents, environment, and vibrancy. The following goals from the Plan support the City’s plan to annex and install a separated shared-use path on the remaining portion of Quigley Road:

- “Lessen dependency on the automobile” (Goal 5.5, page 30).
- “Create a maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents” (Goal 10.1, page 43); and
- “Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites” (Goal 13.2, page 47).

Additionally, Section 8: Housing of the Plan comments on the benefits of shorter commutes, which have a higher likelihood of mode-shifting to walking and biking, stating:

- “Productivity of the workforce improves when commutes are shortened”; and
- “Long commutes are not only costly to the workers, but to the environment as well. Carbon emissions are reduced, and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt” (page 38).

Of prominence, the second part of the Plan’s vision statement describes Hailey as “a community whose character of place is defined by safe, walkable, attractive and vibrant residential and commercial neighborhoods and streets.”

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on July 20, 2023. The notice was posted on all boundaries of the subject property on August 14, 2023.

**Standards of Evaluation:**

Chapter 14.01 of the Hailey Municipal Code establishes annexation procedures to promote uniformity and certainty in annexation applications; however, the Section 14.01.020 states, “If city initiates an annexation, the provisions of this chapter shall not govern.” Understanding the flexibility granted to City-initiated applications yet striving for uniformity and certainty across annexation applications, Staff hereby analyzes the submittal requirements for the City-initiated application:

**A. Application fees are established by ordinance.** Exempt.

*Findings: Compliance. Government entities, pursuant Title 14, are exempt from application fees related to government-initiated annexations. The Commission found that this standard has been met.*

**B. A statement of the size of the property in square footage and acres.** Approximately 1.76 acres or 75,166 square feet.

*Findings: Compliance. The Commission found that this standard has been met.*

**C. A description of the proposed project, including the approximate:**

- 1) Number and size of proposed lots.
- 2) Length and location of the proposed water and sewer mains.
- 3) Length and location of proposed streets and alleys; and
- 4) Length and location of the proposed sidewalks.

The City-Initiated Application at hand, to annex Quigley Road, does not involve any new infrastructure aside from the development of a shared-use path in the right-of-way. The proposed shared-use path is fifty-five feet (55') wide, funding for the project has been secured through a competitive Transportation Alternative Program (TAP) grant.

*Findings: Compliance. The Commission found that this standard has been met.*

**D. A schematic design of the entire project showing the proposed uses, density, streets, alleys, easements, and proposed size and location of open spaces and parks.** The proposed use is to maintain and improve the existing use—public access, transportation. The street will retain its name: Quigley Road. Density, alleys, easements, and open spaces/parks are irrelevant to this application because the application does not involve a subdivision.

*Findings: Compliance. The Commission found that this standard has been met.*

**E. A statement describing how the proposed project complies with specific goals and policies of the Hailey comprehensive plan.** Please refer to the narrative in the beginning of this report.

*Findings: Compliance. The Commission found that this standard has been met.*

- F. A statement describing how the proposed project is compatible with adjacent neighborhood(s).** Please refer to the narrative in the beginning of this report. This project is the last segment in a multi-year effort to extend the Croy Street Path to Quigley Trails Park.

*Findings: Compliance. The Commission found that this standard has been met.*

- G. A statement describing how the applicable natural resources (e.g., watercourses, springs, streams, wildlife, and access to public lands) and natural hazards (e.g., avalanche, floodplains, and floodways) are incorporated into proposed project and/or mitigated.** The construction of a shared-use path on Quigley Road increases access to public lands and supports modes of travel that are less harmful to our environment and natural resources. The proposed annexation does not pose any impacts regarding avalanches, floodplains, and floodways.

*Findings: Compliance. The Commission found that this standard has been met.*

- H. A statement describing what contributions and/or dedications the applicant is willing to make as part of the proposed annexation.** N/A - the Applicant and recipient are one in the same, the City.

*Findings: Compliance. The Commission found that this standard has been met.*

- I. A description of how the proposed annexation will protect Hailey's established or proposed wellhead protection zones.** This project will comply with the provisions of the City's wellhead protection zones, like any other street or multi-modal facility in the City.

*Findings: Compliance. The Commission found that this standard has been met.*

- J. A detailed description of how the annexation will impact the existing municipal infrastructure and services (e.g., water, sewer, streets, library, police, fire, and parks).** The proposed annexation is minimal in scope—the City of Hailey already maintains Quigley Road and has planned for the extension of the Croy Street Path to Quigley Trails Park. The proposed annexation will actualize this plan and expand the City's multi-modal network.

*Findings: Compliance. The Commission found that this standard has been met.*

- K. A statement of who will maintain the streets, alleys, parks, and utilities (privately and publicly owned utilities) and how the maintenance of the streets, alleys, parks, and utilities (privately and publicly owned utilities) will be funded.** The proposed annexation and path will be maintained as other City pathways are maintained.

*Findings: Compliance. The Commission found that this standard has been met.*

- L. A phasing plan showing the proposed dates of construction and completion of phased construction for infrastructure, streets, alleys, utilities, and all other development. In the case of a phased project, subsections C and D of this section may be omitted for future phases; however, provisions shall be made within an annexation agreement for submittal of plans and payment of fees for future phases.** N/A, the shared-use path is planned to be constructed in one phase— spring/summer 2024.

*Findings: Compliance. The Commission found that this standard has been met.*

**M. Unless the administrator determines, in the administrator's sole and absolute discretion, one or more of the following studies are not warranted based on the size, scope and impact of a proposed annexation, the following studies shall be submitted:**

- a) Traffic study showing impact on adjacent streets and streets that would serve the proposed project.** The proposed project supports modes of travel that are safer and less expensive than driving. By expanding its multi-modal network, with projects like this one, the City aims to support an increase in mode shift from driving to walking and biking. For existing pedestrians and bicyclists, the proposed project will increase road safety by adequate infrastructure, separate from vehicle travel.
- b) Floodplain study (if applicable).** N/A
- c) Avalanche study (if applicable).** N/A
- d) Wetland study (if applicable).** N/A
- e) Wildlife study.** The proposed annexation does not anticipate an impact on surrounding wildlife. The only anticipated impact is positive—the proposed project supports modes of travel that are less harmful than cars to our environment and natural resources.
- f) A level I environmental study showing the presence of any hazardous waste.** N/A
- g) Contour map depicting fifteen percent (15%) and twenty five percent (25%) slope lines measured at two-foot (2') intervals.** The proposed annexation is on relatively flat ground.

*Findings: Compliance. The Commission found that this standard has been met.*

**N. A list of names and mailing addresses of all property owners within three hundred feet (300') of the external boundaries of the proposed annexation and the names and mailing addresses of all easement holders within the proposed annexation.** Notice was mailed to all residents within three-hundred feet (300') of the proposed annexation.

*Findings: Compliance. The Commission suggested that City Staff communicate with Blaine County on the proposed annexation and further seek a Letter of Consent and/or Support prior to review by the Hailey City Council. Staff will continue to coordinate with Blaine County Land Use, and formalize a support letter, prior to review by Council. This has been added as a Condition of Approval.*

**O. A description of all water rights, including all surface and ground water rights, appurtenant to the real property subject of the annexation. The description of all water rights shall include a description of all the elements of the water rights, including, but not limited to, the source, quantity, priority date, point of diversion, purpose and period of use, place of use, and any provisions or conditions attached to the water right. The applicant shall attach all decrees, licenses, and permits describing the water rights to the application for annexation.** Exempt. The proposed use places no demand on the system; no water rights are affected by this application. The preliminary plans for the shared-use path indicate the location of municipal water, wastewater, and fire hydrants in the Quigley Road right of way.

*Findings: Compliance. The Commission found that this standard has been met.*

Per Section 14.01.090, the Hailey City Council shall make its own findings of fact and conclusions of law to determine:

- a. Whether the proposed application will be harmonious and in accordance with the goals and policies of applicable components of the Hailey comprehensive plan.**

- b. **Whether the proposed annexation would be in the best interests of the citizens of Hailey; and,**
- c. **To the extent possible, whether the proposed annexation will have a negative fiscal impact upon the existing citizens of Hailey at the time of an annexation and in the future.**

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 14, Section 14.01.070, was given.
- 2. The project is in general conformance with the Hailey Comprehensive Plan.
- 3. The project does not jeopardize the health, safety, or welfare of the public.
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Title 14, and other Sections of the Hailey Municipal Code and City Standards.

## **DECISION**

The Hailey Planning and Zoning Commission approved, and recommended for approval by the Hailey City Council, an Annexation Application by the City of Hailey to annex a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, as well as the Marvin Gardens Subdivision to the north within Blaine County limits, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code, Title 14, as well as additional applicable requirements and City Standards, provided condition (a) is met:

- a) The Applicant shall secure a Letter of Consent and/or Support from Blaine County Land Use as to the proposed Annexation Application prior to review by the Hailey City Council.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

\_\_\_\_\_  
Jessie Parker, Community Development Assistant

**Return to Agenda**



## STAFF REPORT

### Hailey Planning and Zoning Commission

### Regular Meeting of September 5, 2023

**To:** Hailey Planning and Zoning Commission

**From:** Emily Rodrigue, Community Development City Planner / Resilience Planner

**Overview:** Consideration of a Design Review Application by Trent and Kristy Heitzman, represented by Mark Gasenica, for an 872 square foot addition to the existing residence, as well as a new 576 square foot attached garage with 288 square feet of second-story storage space. This project is located at 214 N 2<sup>nd</sup> Avenue (Lot 18A, Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. This project is also associated with a Lot Line Adjustment Application, which was considered and approved by the Hailey Planning and Zoning Commission Chair on July 17, 2023.

**Hearing:** September 5, 2023

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**Applicant:** Trent and Kristy Heitzman

**Location:** Lot 18A, Block 47, Hailey Townsite (214 N 2<sup>nd</sup> Avenue)

**Zoning:** General Residential (GR) and Townsite Overlay (TO) Zoning Districts

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on August 17, 2023, and mailed to property owners within 300 feet on August 17, 2023. No public comments were received prior to the Public Hearing.

**Application:** The Applicant is proposing to construct an 872 square foot addition to an existing single-family residence. In addition, a new 576 square foot attached garage with 288 square feet of storage space, located above, is also proposed. The addition and the garage will be located on the northern property line, adjacent to a vacant parcel (Lots 13 and 14). The garage will be accessed via the existing alley on the eastern property boundary.

Current access for the existing residence is located on 2<sup>nd</sup> Avenue via parking located in the public right-of-way, as well as the existing alley.

**Procedural History:** The Design Review Application was submitted on July 26, 2023, and certified complete on August 22, 2023. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on September 5, 2023, in the Hailey City Council Chambers and virtually via Microsoft Teams.

### General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.050</b>	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<b>Engineering:</b> <b>Life/Safety:</b> <i>No comments</i> <b>Water and Sewer:</b> <i>The Water Division recommended that a metal lid and collar for the water vault be installed if the site's meter vault will be placed in hard scape or driven over. While the Applicant confirmed that the meter vault will not be installed in hard scape or driven over, for greater assurances, this has been made a Condition of Approval.</i> <b>Building:</b> <i>No comments</i> <b>Streets:</b> <i>No comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.08A Signs</b>	<b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit. <i>Staff Comments</i> N/A -- Signage is prohibited in residential zones.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040 On-site Parking Req.</b>	<b>17.09.040 On-site Parking Req.</b> See Section 17.09.040 for applicable code. <b>17.09.040 Single family dwelling:</b> 2 spaces minimum, 6 spaces maximum <i>Staff Comments</i> The Municipal Code requires two (2) parking spaces for each single-family residential unit. The proposed single family residential unit includes a two-car garage that is 24 ft. in width, in addition to one (1) 10.5 ft. wide covered parking stall/carport directly adjacent to the garage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08C.040 Outdoor Lighting Standards</b>	<b>17.08C.040 General Standards</b> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:             <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol> <i>Staff Comments</i> Applicant is proposing to install Dark Sky compliant fixtures, which are downcast and low wattage. The proposal meets this standard.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<b>The property is zoned in the General Residential (GR) and Townsite Overlay (TO) Districts</b>  <b>Maximum Building Height:</b> 30' <b>Setbacks:</b> <ul style="list-style-type: none"> <li>• Street R.O.W. Adjacent: 12'; 20' to garage door</li> </ul>



				<ul style="list-style-type: none"> <li>• Private Property Abutment: 1' for every 2.5' of wall height and a minimum of 6'</li> <li>• Alley: 6' minimum</li> </ul> <p><b>Lot Coverage: 30%</b></p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>- Building Height:               <ul style="list-style-type: none"> <li>o Existing building height: Approx. 21'</li> <li>o Proposed building height of addition: 23'-6"</li> </ul> </li> <li>- Proposed Setbacks:               <ul style="list-style-type: none"> <li>o Front Yard (West): 31'-6"</li> <li>o Side Yard (South): Approx. 67'</li> <li>o Side Yard (North): 8' (wall height 12')</li> <li>o Rear Yard/alley (East): 16.5"</li> </ul> </li> <li>- Maximum Lot coverage: 30% for GR in the Townsite Overlay District, with two stories above grade, and a garage.               <ul style="list-style-type: none"> <li>o Proposed lot coverage: 23%                   <ul style="list-style-type: none"> <li>▪ 2,744 square feet (1,296 square foot existing footprint + 872 square foot footprint of the residential addition + 576 square foot footprint of garage addition) = 23% of 11,979 square foot lot</li> </ul> </li> </ul> </li> </ul> <p><i>The proposed bulk requirements – height, lot coverage, building height, and setbacks – have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>N/A: Sidewalks already exist along the property's 2<sup>nd</sup> Avenue frontage. Sidewalk improvements are not required at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(B) Required Water System Improvements</b>	<b>Water Line Improvements:</b> In the townsite overlay district, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed garage addition will be accessed from the alley and the water main lines are existing and located in the alley. While it appears this standard has been met, the Applicant shall ensure main lines adhere to the requirements of this standard throughout the construction process. This has been made a Condition of Approval.</i>

## Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			17.06.090(C)1	1) Site Planning

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</b>
			<i>Staff Comments</i>	<i>The lot is existing, and the proposed structure meets all setback requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Site planning for new development and redevelopment shall address the following:</b> <ul style="list-style-type: none"> <li>• scale and massing of new buildings consistent with the surrounding neighborhood;</li> <li>• building orientation that respects the established grid pattern of Old Hailey;</li> <li>• clearly visible front entrances;</li> <li>• use of alleys as the preferred access for secondary uses and automobile access;</li> <li>• adequate storage for recreational vehicles;</li> <li>• yards and open spaces;</li> <li>• solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</li> <li>• snow storage appropriate for the property;</li> <li>• underground utilities for new dwelling units.</li> </ul>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• The scale of the residence with the new addition and garage is consistent with the scale and massing of buildings in the surrounding neighborhood.</li> <li>• The building orientation will not change with the new addition.</li> <li>• The main entrance will remain on N 2<sup>nd</sup> Avenue.</li> <li>• The proposed addition will build a garage and carport that relocates vehicle access to the alley in the rear.</li> <li>• The size of the existing lawn in the front/western portion of the lot will be maintained; the majority of the lawn in the rear/eastern portion of the property will be maintained.</li> <li>• The addition is located on the west and north side of the lot, facing the alley and an undeveloped parcel, and should not impact neighbors.</li> <li>• Adequate snow storage is identified onsite, at the rear of the parcel and adjacent to the proposed driveway and alleyway.</li> <li>• N/A - This is not a new dwelling unit. This is an addition to an existing dwelling unit. Power is not underground to the structure, nor is it proposed to be.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</b>
			<i>Staff Comments</i>	<i>Building features of the proposed addition, including wood frame walls, incorporate insulation with a higher R-rating and climate control than required by code, thus conserving energy. Solar collection was not a proposed feature of building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	<b>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</b>
			<i>Staff Comments</i>	<b>Guideline: The perceived mass of larger buildings shall be diminished by the design.</b> <i>The proposed addition incorporates varying roof lines, materials, and textures, both matching and compatible with those of the existing house. The largest mass of the addition – the garage – will be built at the rear of the property and mostly shielded from view on N 2<sup>nd</sup> Avenue.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	<b>3. Architectural Character</b>
			17.06.090(C)3a	<b>a. General</b>
				<b>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b>
			<i>Staff Comments</i>	<i>The project proposes an addition to an existing single-family residence built in 1930. The proposed addition does not detract in size nor in character from the house. The proposed addition continues the color schemes and varied roof lines of the historic structure with contemporary materials and features, such as composite lap siding and picture windows. In other words, the proposed addition respects and continues the historical character of the house in new, contemporary ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<b>b. Building Orientation</b>
				<b>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b>
			<i>Staff Comments</i>	<i>The existing entrance is highlighted with a walkway, small open deck, and a fence and gate feature. The project does not propose to alter the main entrance, it shall be maintained as it exists and as it is described herein.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<i>Staff Comments</i>	<i>N/A – The historic primary dwelling structure will remain oriented as it exists. The addition supports the City’s preferred orientation by moving vehicle access to the rear alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<b>c. Building Form</b>
				<b>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<i>Staff Comments</i>	<i>The proposed building is broken up with varying roof lines, materials, and textures compatible with those of the existing house. The size and height of proposed roof massing decreases in the center of the proposed addition and northern property line, which will diminish the perceived scale of the overall residence in the future, should the adjacent lot to the north (and closest to the addition) ever be developed. Overall, the addition and existing house are consistent with the styles and forms found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>d. Roof Form</b>
				<b>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>
			<i>Staff Comments</i>	<i>The front entry to the existing building is currently defined by a roof offset that slopes at an angle lower than and different from the primary roofline of the primary structure. The roofline of the new addition and garage will match the primary roofline of the existing structure. Additionally, the front entry is further defined by an existing arched entryway/doorframe. Due to the matching roofline of the proposed residential addition, and the garage’s orientation on the lot and door placement (facing the alley and away from N 2<sup>nd</sup> Avenue), symmetry across the total residential structure (existing and proposed) is enhanced while also preserving appropriate massing and diminishing the garage. The main entrance to the existing house, which is a historic building, will remain as it exists and is described above in <b>Section 17.06.090(C)3b</b>.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</b>

				<ul style="list-style-type: none"> <li>• Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</li> <li>• Designs should avoid locating drip lines over key pedestrian routes.</li> <li>• Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</li> </ul>
			<i>Staff Comments</i>	<p>All the proposed roof forms on the addition either shed snow and runoff away from entries and pedestrian travel areas or provide snow clips where these areas are present. A metal roof will match the existing residence. However, the northern elevation and roofline of the proposed addition and garage is located at no more than ten (10) feet from the adjacent property.</p> <p>As the Applicant is already providing snow clips elsewhere in the proposed addition, the provisioning of snow clips on the northern roofline will not diminish any aesthetic value for the residence. Staff wish to see the Applicant install such snow shed and runoff mitigation measures along all rooflines sloping towards the northern property boundary. This request is especially prescient, given the Applicant's selection of metal roofing material and recent property owner conflicts at other locations, stemming from metal roofs and snow shed across property boundaries. This measure will prevent potential future conflict.</p> <p>The Applicant shall install snow clips and/or other snow shed and runoff mitigation measures along all rooflines sloping towards the northern property boundary. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<i>Staff Comments</i>	The proposed roof forms, ridge lengths and materials are similar to those traditionally found in the neighborhood. The proposed roof pitches over the garage and addition are similar to or will match the existing structure roof pitch.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>
			<i>Staff Comments</i>	The proposed roof pitches over the garage and addition are consistent with surrounding neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<b>e. Wall Planes</b>
				<b>Guideline: Primary wall planes should be parallel to the front lot line.</b>
			<i>Staff Comments</i>	The proposed structure's primary wall plane is parallel to the adjacent lot line to the north. However, the wall plane of the proposed addition that faces the front lot line is similar in scale to the existing structure's front lot line wall plane. Stucco siding is proposed for the front lot line-facing wall plane, intended to match the stucco siding of the existing residence.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<b>Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood.</b>
			<i>Staff Comments</i>	The wall planes, existing house, and proposed addition are proportional to the site. The proposed addition adds to the rectangular layout of the existing house, which is congruent with the lot. The existing and proposed structures, combined, respect the scale of the surrounding neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<b>Guideline: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<i>Staff Comments</i>	An existing deck roof popout, visible from the south elevation, helps break up the longer wall plane created by the proposed addition. The wall planes on north and west elevations, which will be most visible from the street, are also broken up by offset building footprints (west elevation) and varied rooflines.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	<b>f. Windows</b>
				<b>Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and proportion. They also help to break up the tall wall plane facing N 2<sup>nd</sup> Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	<b>Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<i>Staff Comments</i>	<i>The windows facing the alley are minimal for the proposed addition. Windows proposed for the northern lot line, adjacent to an undeveloped parcel, are present but shielded by multiple large existing trees. An extension of an existing fence is also proposed along this frontage, providing additional privacy between the lots.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	<b>g. Decks and Balconies</b>
				<b>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<i>Staff Comments</i>	<i>N/A. No new decks or balconies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	<b>Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<i>Staff Comments</i>	<i>N/A. No new decks or balconies are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	<b>h. Building Materials and Finishes</b>
				<b>Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing a combination of composite lap siding and stucco siding for the garage and addition. The composite and stucco siding will both be white, matching that of the existing residence and preserving the historic character of the residence. This variety in material and texture will aid in avoiding the look of large, flat walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	<b>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	<i>The design incorporates composite lap siding, black window trim, stucco siding, a variety of windows and rooflines, and metal roofing. The overall massing of the proposed wall planes is broken up.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<b>i. Ornamentation and Architectural Detailing</b>
				<b>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<i>Staff Comments</i>	<i>The proposed addition does not include the residence's front-most wall plane. However, it includes detailing on the front-facing wall plane that is offset and located slightly deeper into the lot. This plane includes variety in rooflines, vents, a large window that will include black trim, and stucco siding.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<b>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<i>Staff Comments</i>	<i>The proposed addition incorporates gabled rooflines, windows, trim detailing, preservation and highlighting of chimneys, all of which are reminiscent of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<b>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<i>Staff Comments</i>	<i>As described in Sections 17.06.090(C)3d, 17.06.090(C)3e, 17.06.090(C)3h, and 17.06.090(C)3i, the proposed design incorporates composite lap siding, black</i>

				window trim, stucco siding, a variety of windows and rooflines, and metal roofing, all of which are all compatible with the historic existing house and Old Hailey neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>4. Circulation and Parking</b>
				<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation, and snow storage issues.</b>
			<i>Staff Comments</i>	<i>Adequate parking is proposed in the new garage and carport with access via the rear alleyway. The existing public sidewalks and curb ramp, plus the private walkway to the main entrance, provide pedestrian access. Snow storage onsite does not impede pedestrian travel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<i>Staff Comments</i>	<i>A proposed two-car garage and one-car carport facing the rear alley will house and screen vehicles from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<i>Staff Comments</i>	<i>The proposed garage and carport are accessed from the existing alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<i>Staff Comments</i>	<i>The proposed addition, accessed from the alley, includes a garage that is attached to the house by a master bedroom and master bathroom.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>
			<i>Staff Comments</i>	<i>N/A – The proposed garage is accessed via the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>
			<i>Staff Comments</i>	<i>N/A – The proposed garage is accessed via the alley and does not involve curb cuts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<i>Staff Comments</i>	<i>The proposed design maintains large outdoor spaces in the front and rear of the parcel. The proposed garage doors are 8' in height. Adequate off-street parking for recreational vehicles is provided.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>5. Alleys</b>
				<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<i>Staff Comments</i>	<i>The proposed design maintains and uses the public alley for vehicular access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<i>Staff Comments</i>	<i>Utilities and vehicular access to the garage is proposed off the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</b>
			<i>Staff Comments</i>	<i>The proposed design in the General Residential zone and the existing alley is gravel. The Applicant understands and shall manage the alley for noxious weed control.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<i>Staff Comments</i>	<i>The design proposes to maintain the minimal existing landscaping on the alleyway—three (3) existing, mature trees—in addition to retaining eight (8) other existing, mature trees onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<b>6. Accessory Structures</b>
				<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<i>Staff Comments</i>	<i>The garage is subordinate in square footage to both the existing residence and the proposed addition, and it is also located at the rear of the parcel and shielded by said addition. It will be accessed via the alleyway and not the street, further diminishing its impact on the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>
			<i>Staff Comments</i>	<i>See Standard 17.06.090(C)6 above for further explanation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<b>7. Snow Storage</b>
				<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<i>Staff Comments</i>	<i>561 square feet of gravel driveway is proposed for the site. 140 square feet of snow storage is required by Code. 320 square feet of snow storage, split evenly on each side of the driveway, is proposed for the site. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b> <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul>
			<i>Staff Comments</i>	<i>Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street. The Applicant should take care to prevent the northern-most snow storage area, located at the northeast corner of the adjoining properties, from impacting any future development and residency that may occupy the adjacent parcel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<b>8. Existing Mature Trees and Landscaping</b>
				<b>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</b>
			<i>Staff Comments</i>	<i>Existing trees are identified onsite and are proposed to be maintained.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	<b>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</b>
			<i>Staff Comments</i>	<i>N/A. Other than the lot's eleven (11) existing trees, no other significant landscape features are identified on the site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<b>Guideline: Noxious weeds shall be controlled according to State Law.</b>
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Applicant shall control them according to State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)9	<b>9. Fences and Walls</b>
				<b>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</b>
			<i>Staff Comments</i>	<i>Twenty (20) feet of new fence is proposed along N 2<sup>nd</sup> Avenue, to tie into the existing fencing for the existing residence and continue north, partially shielding</i>

				<i>the proposed addition. The Applicant shall apply for a Fence Permit Application and receive approval prior to constructing the fence to ensure that all new fencing adheres to Hailey Municipal Code as it pertains to design and function. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	<b>Guideline: Retaining walls shall be in scale to the streetscape.</b>
			<i>Staff Comments</i>	<i>N/A – There are no existing or proposed retaining walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)10	<b>10. Historic Structures</b>
				<b>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</b> <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul>
			<i>Staff Comments</i>	<i>The existing house was built in 1930 and is maintained in the proposed project. The proposed project includes a residential addition and garage, which is described in the application overview. As described in Sections 17.06.090(C), the façades of the addition and garage are congruous with the surrounding area and will provide matching elements to the existing residence. It contributes to the overall charm of Old Hailey and incorporates aspects of modern design, distinguishable from the historic structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)10	<b>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</b> <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure:               <ul style="list-style-type: none"> <li>~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade;</li> <li>~ Exterior materials that are compatible with the original building materials should be selected;</li> <li>~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>~ The visual impact of the addition should be minimized from the street;</li> <li>~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> <li>~ The roof form and slope of the roof on the addition should be in character with the original building;</li> <li>~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.</li> </ul> </li> </ul>
			<i>Staff Comments</i>	<i>The proposed addition and garage do not alter the existing structure. See section 17.06.090(C) for specific examples and discussion of how each of these standards are met.</i>



- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety, or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one -year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head

approval and shall meet City Standards where required. Requirements include but are not limited to:

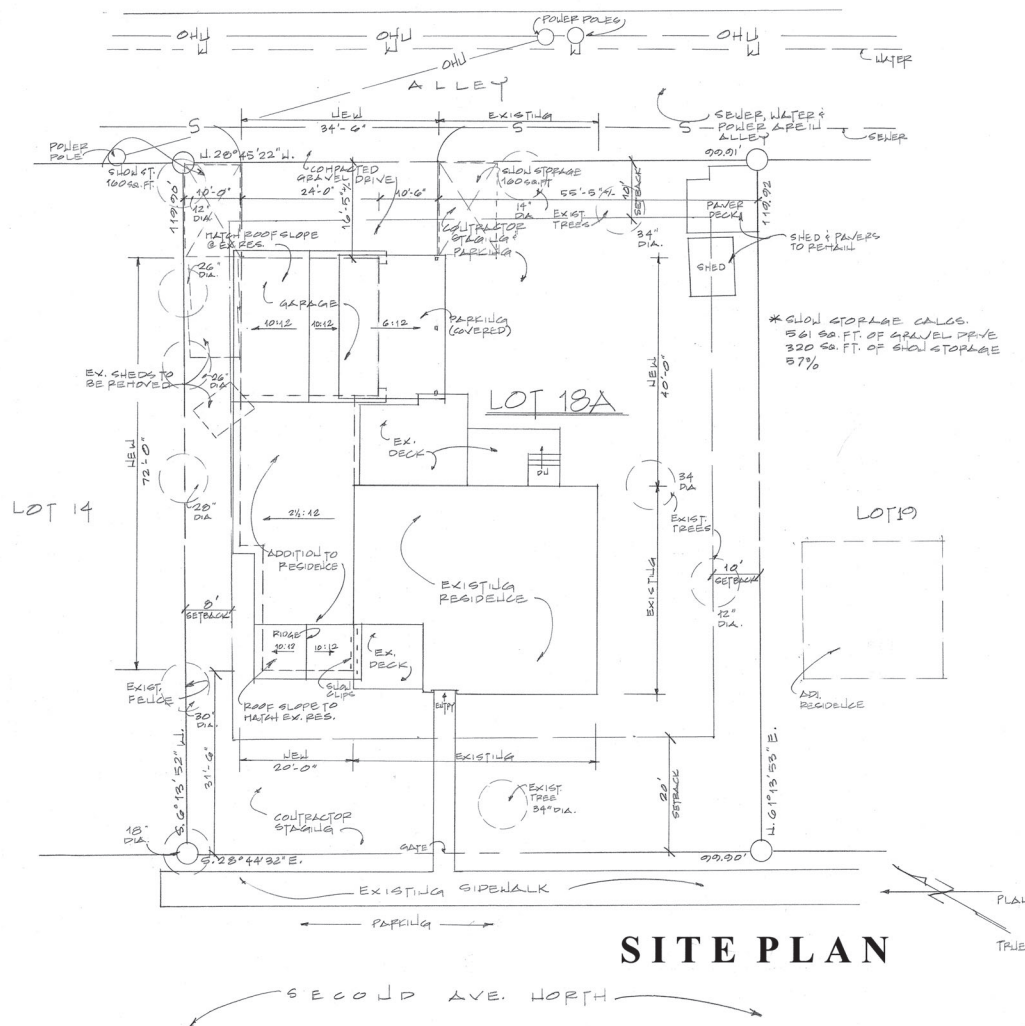
- i. Metal collar and lid for water vault
- ii. Main lines
- d) The project shall be constructed in accordance with the application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) The Applicant shall install snow clips and/or other snow shed and runoff mitigation measures along all rooflines sloping towards the northern property boundary.
- g) The Applicant shall submit a Fence Permit Application and received approval prior to fence construction to ensure that all new fencing adheres to Hailey Municipal Code as it pertains to design and function.
- h) If noxious weeds are present on the site, the Applicant shall control them according to State Law.
- i) The Sidewalk In-Lieu Fees are hereby waived, pursuant to Section 17.06.070(A).
- j) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- k) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- l) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

**Motion Language:**

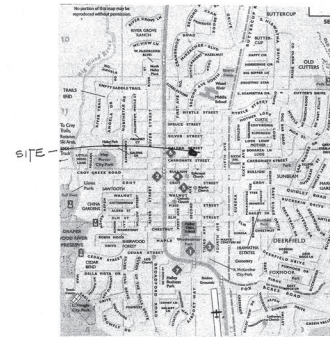
**Approval:** Motion to approve a Design Review Application by Trent and Kristy Heitzman for an 872 square foot addition to an existing 2,016 square foot residence, as well as a new 576 square foot attached garage with 288 square feet of storage, located above, to be located at 214 N 2<sup>nd</sup> Avenue (Lot 18A, Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (l) are met.

**Denial:** Motion to deny a Design Review Application by Trent and Kristy Heitzman for an 872 square foot addition to an existing, 2,016 square foot residence, as well as a new 576 square foot attached garage with 288 square feet of storage, located above, to be located at 214 N 2<sup>nd</sup> Avenue (Lot 18A, Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].



**NOTES:** ALL LANDSCAPING TO REMAIN EXCEPT AT NEW CONSTRUCTION.  
ALL EXISTING TREES TO REMAIN.  
SITE IS CONSIDERED FLAT AND NO CHANGE TO EXISTING SITE DRAINAGE WILL OCCUR.



**VICINITY MAP**  
U.T.S.



**NEIGHBORHOOD MAP**  
U.T.S.

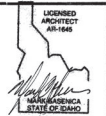
ENTIRE PROPERTY IS CURRENTLY FENCED. FENCE TO BE REMOVED AT NEW GARAGE AND PARKING.  
GARDEN AND FOUNTAIN TO REMAIN

### LEGAL DESCRIPTION

Hailey Lots  
Lot 18A, Block 47  
Hailey, Idaho

Zoning GR  
Group R-3 Occupancy  
Type V-N Construction

Area of Lot (0.275 ac.)	11979 sq.ft.
Existing Basement	288 sq.ft.
Existing Main Level Residence	1296 sq.ft.
Existing Upper Level Residence	432 sq.ft.
Total Existing Residence	2016 sq.ft.
New Residence	872 sq.ft.
Total Square Footage of Residence	2888 sq.ft.
New Garage	576 sq.ft.
New Garage Storage	288 sq.ft.
Lot Coverage	22.9 %
Building Height	23'-6"



**MARK A. GASENICA ARCHITECT**  
ARCHITECTURE PLANNING PROJECT MANAGEMENT  
PO BOX 4573 KETCHUM, IDAHO 83340 208.720.1509

HAILEY, IDAHO

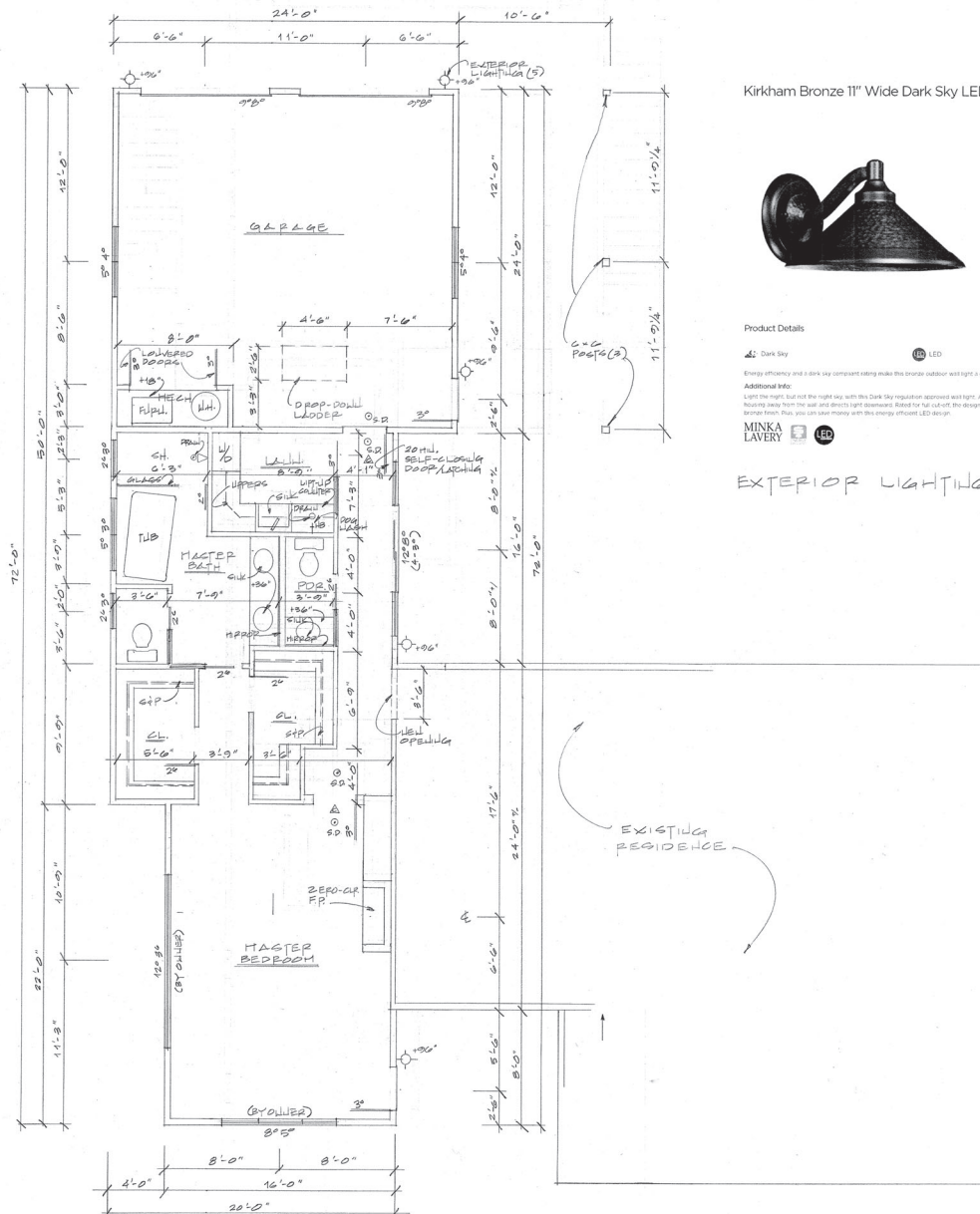
AN ADDITION/REMODEL TO THE  
**HEITZMAN RESIDENCE**

**SITE PLAN**

**1**

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SCALE: 1" = 10'-0"



Kirkham Bronze 11" Wide Dark Sky LED Outdoor Wall Light



Product Details

Dark Sky

LED

Energy efficiency and a dark sky compliant rating make this outdoor wall light a great choice for your home.

Additional Info:

Light the night, but not the night sky, with this Dark Sky regulation approved wall light. A built-in arm extends the light housing away from the wall and directs light downwards. Rated for full cut-off, this design features a warm hampered Appear bronze finish. Plus, you can save money with this energy efficient LED design.

MINKA LAVERY



- 11" wide x 6 1/2" high. Extends 1/2" from the wall. Backplate is 8" wide.
- 10 watt LED is comparable to a 60 watt incandescent bulb. Light output is 800 lumens. 2700K color temperature. 40-75°.
- Dark Sky approved for full cut-off. California Title 24 compliant.
- From the Minka Lavery lighting collection.
- Appear bronze finish. Metal construction.
- Meet location outdoor rating.

EXTERIOR LIGHTING (5 LOC.)

AN ADDITION/REMODEL TO THE

HEITZMAN RESIDENCE

MAIN LEVEL FLOOR PLAN

HAILEY, INDIAN

SCALE: 1/8" = 1'-0"

MARK A. GASENICA ARCHITECT  
ARCHITECTURE PLANNING PROJECT MANAGEMENT  
PO BOX 4573 KETCHUM, IDAHO 83340



2

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AN ADDITION/REMODEL TO THE

# HEITZMAN RESIDENCE

## UPPER LEVEL PLAN

HAILEY, IDAHO

**MARK A. GASENICA ARCHITECT**  
ARCHITECTURE PLANNING PROJECT MANAGEMENT  
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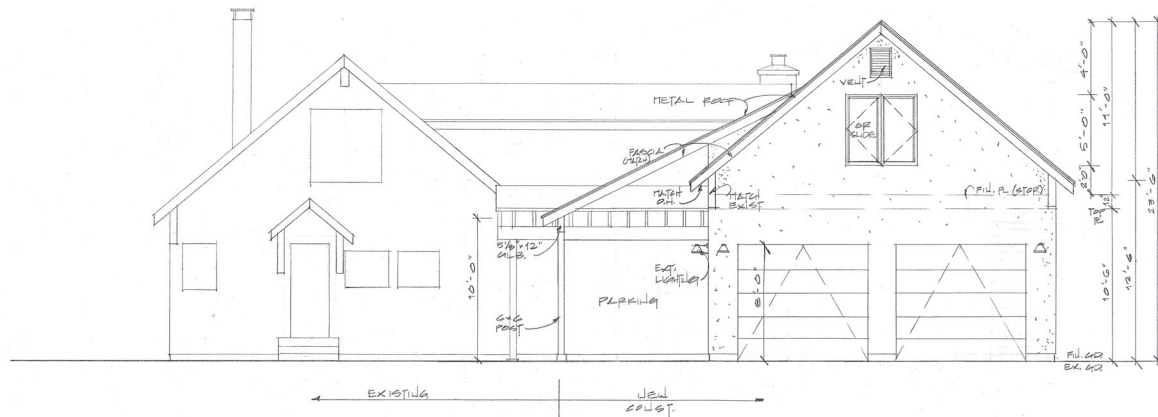


3

SCALE 1/4" = 1'-0"

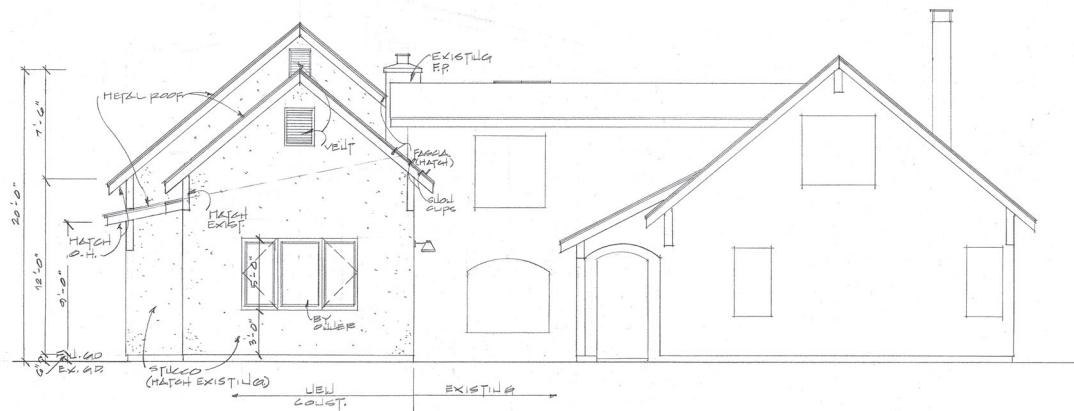
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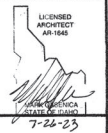


**EAST ELEVATION**

**NOTE:** ALL NEW EXTERIOR MATERIAL AND COLORS TO MATCH EXISTING RESIDENCE EXCEPT METAL ROOF TO BE STANDING SEAM, COLOR-CHARCOAL



**WEST ELEVATION**



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HAILEY, IDAHO

SCALE 1/2" = 1'-0"

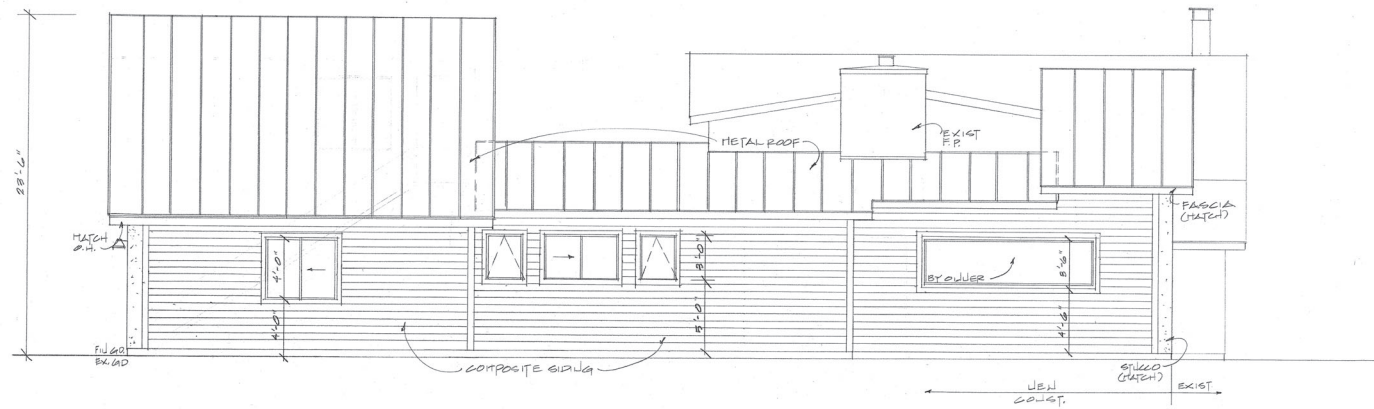
AN ADDITION/REMODEL TO THE

**HEITZMAN RESIDENCE**

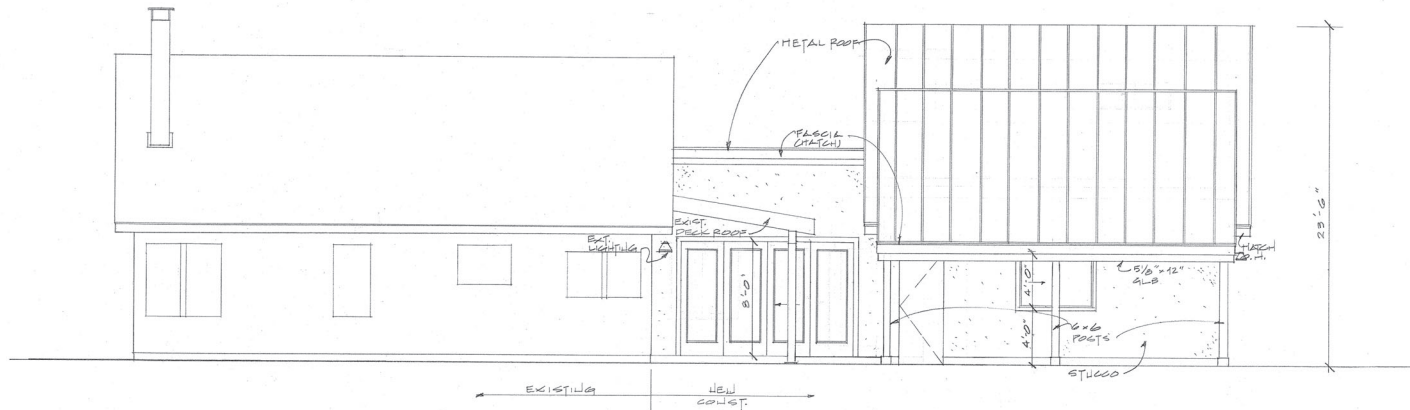
**EXTERIOR ELEVATIONS**

**4**

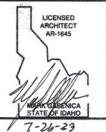
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**NORTH ELEVATION**



**SOUTH ELEVATION**



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HAILEY, IDAHO

SCALE: 1/2" = 1'-0"

AN ADDITION/REMODEL TO THE  
**HEITZMAN RESIDENCE**  
**EXTERIOR ELEVATIONS**

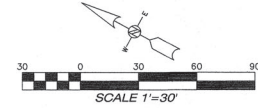
**5**

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PRELIMINARY PLAT SHOWING  
 LOT 18A, BLOCK 47, HAILEY TOWNSITE.  
 WHEREIN THE INTERIOR LOT LINES OF LOTS 15 THRU LOT 18, BLOCK 47 ARE ELIMINATED.  
 LOCATED WITHIN SECTION 9, T2N., R18E., B.M.  
 CITY OF HAILEY, BLAINE COUNTY, IDAHO.  
 JUNE, 2023.

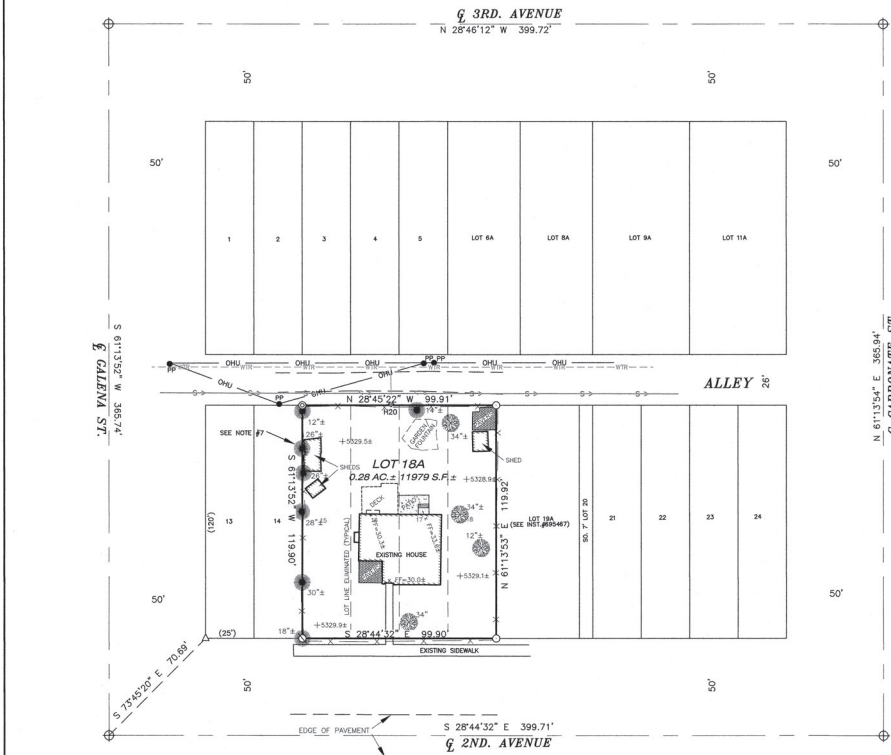


LEGEND

- PROPERTY BOUNDARY
- ( ) RECORD DATA PER PLAT
- ⊕ FOUND 2" ALUMINUM CAP ON 5/8" REBAR
- FOUND 5/8" LS 13280
- ⊙ FOUND SPIKE IN TREE W/KEY ATTACHED
- ⊙ FOUND 3/4" IRON PIN
- 100' WATER METER
- ⬤ POWER/UTILITY POLE
- △ CALCULATED THE POINT TO CENTERLINE
- WATER LINE PER CITY MAPS
- SEWER LINE PER CITY MAPS
- X- APPROX. FENCE LINE LOCATION
- OVERHEAD UTILITY LINE
- 5330.19 ± SPOT ELEVATION
- 30' CONFEROUS TREE (APPROX. SIZE/LOCATION)
- 34' DECIDUOUS TREE (APPROX. SIZE/LOCATION)

SURVEY NOTES/NARRATIVE

1. THE PURPOSE OF THIS PLAT IS ELIMINATE THE INTERIOR LOT LINES AS SHOWN, THUS CREATING LOT 18A, BLOCK 47, HAILEY TOWNSITE.
2. ALL MONUMENTS THAT WERE FOUND WE ACCEPTED AS EITHER ORIGINAL CORNERS OR REPLACEMENT CORNERS BY OTHER SURVEYORS.
3. REFERENCE SURVEY/PLAT INSTRUMENT #s: 506361, 553137, 571049, 685467.
4. CURRENT ZONING: GENERAL RESIDENTIAL AND PROPERTY IS WITHIN THE TOWNSITE OVERLAY DISTRICT.
5. ADDRESS: 214 NORTH 2nd AVENUE.
6. A TITLE POLICY WAS PROVIDED BY SUN VALLEY TITLE CO. ORDER#1427524, DATED MAY 20, 2014.
7. TREE LOCATIONS AND DIAMETERS SHOWN ARE APPROXIMATE. TREES ALONG THE NORTHERLY PROPERTY LINE ARE CONSIDERED (MORE OR LESS) WITH THE PROPERTY LINE. IT IS SUGGESTED THAT THE NEIGHBOR TO THE NORTH BE CONSULTED PRIOR TO ANY TREE REMOVAL.



HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied.  
 Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

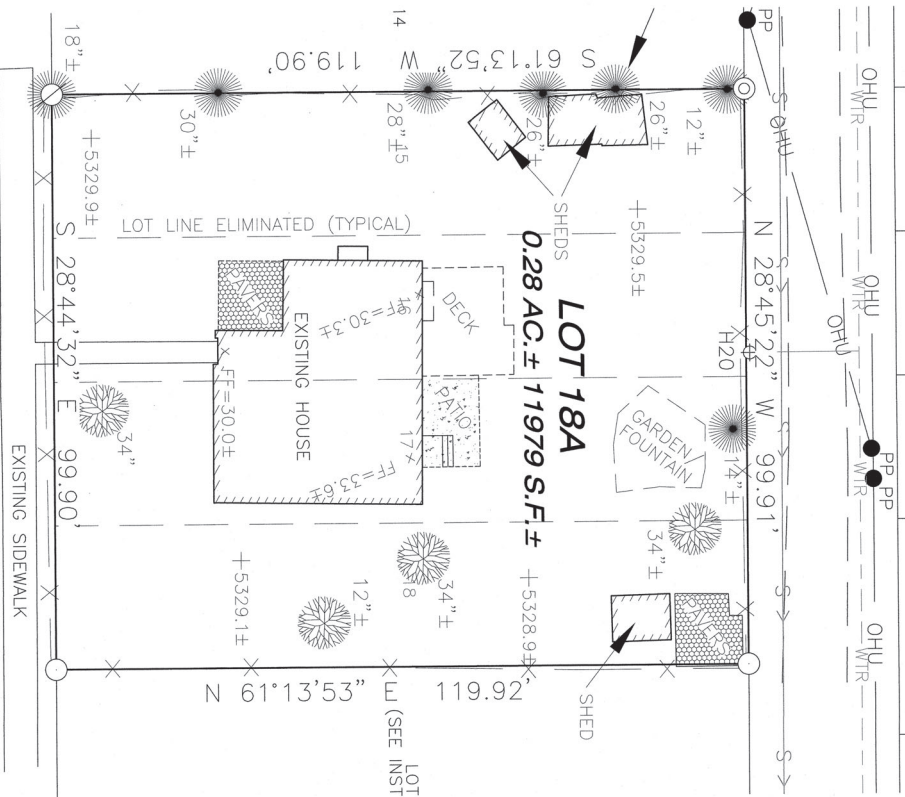
Date: \_\_\_\_\_

South Central District Health Dept., EHS



PREPARED BY:  
**ORION SURVEYING PLLC**  
 SURVEYING AND MAPPING  
 P.O. BOX 655  
 BELLEVUE, IDAHO 83313  
 (208) 721-3849

# 1"=10' WORKSHEET



# HEITZMAN RESIDENCE

Roofing – Standing Seam Metal Roof



Charcoal (17)

Window Color



Black

**Per Applicant, all siding – including stucco and composite – will match existing residence and will be “Antique White”.**

# Kirkham Bronze 11" Wide Dark Sky LED Outdoor Wall Light



## Product Details



Energy efficiency and a dark sky compliant rating make this bronze outdoor wall light a great choice for your home.

### Additional Info:

Light the night, but not the night sky, with this Dark Sky regulation approved wall light. A bent arm extends the light housing away from the wall and directs light downward. Rated for full cut-off, the design features a warm hammered Aspen bronze finish. Plus, you can save money with this energy efficient LED design.

**MINKA  
LAVERY**



- 11" wide x 6 1/2" high. Extends 12 1/4" from the wall. Backplate is 6" wide.
- 10 watt LED is comparable to a 60 watt incandescent bulb. Light output is 269 lumens. 2700K color temperature. 80 CRI.
- Dark sky approved for full cut off. California Title 24 compliant.
- From the Minka Lavery lighting collection.
- Aspen bronze finish. Metal construction.
- Wet location outdoor rated.

**Return to Agenda**



## STAFF REPORT

### Hailey Planning and Zoning Commission

### Regular Meeting of September 5, 2023

**To:** Hailey Planning and Zoning Commission  
**From:** Cece Osborn, Community Development City Planner  
**Overview:** Consideration of a Planned Unit Development (PUD) concept by Darin and Kathleen Barfuss for the proposed Star Light Lane Subdivision, located at the intersection of Silver Star Drive and Broadford Road, within the Limited Residential (LR-2) Zoning District (1371 Silver Star Drive; Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E). The Applicant has drafted a concept for a forthcoming PUD Agreement and Preliminary Plat Application, including five (5) single-family lots and a sixth (6<sup>th</sup>) lot that will remain as-is. At this time, the Applicant is proposing a Community Housing amenity of one (1) deed-restricted, single-family home in exchange for a waiver to the requirement below:

- Minimum lot size of the LR-2 Zoning District.

**Hearing:** September 5, 2023

---

**Applicant:** Darin and Kathleen Barfuss  
**Location:** 1371 Silver Star Drive (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E)  
**Zoning/Size:** Limited Residential (LR-2); 1.20 acres (52,272 square feet)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners and public agencies on August 16, 2023. Onsite Notice was posted on August 28, 2023.

**Application:** The proposed project is located at the intersection of Silver Star Drive and Broadford Road in the Limited Residential (LR-2) Zoning District, or 1731 Silver Star Drive (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E). The Applicant seeks to subdivide the entire parcel into six (6) lots. While the parcel is bifurcated by Silver Star Drive, the Applicant seeks to subdivide the northern piece into five (5) single-family lots ranging in size from 9,620 to 12,027 square feet— to be known as Star Light Lane Subdivision. The Applicant does not plan to develop the southern parcel, Lot 6, at this time.

**Waiver Requested:** Chapter 17.10.040: Developer Benefits, allows for the request of modifications or waivers of the zoning and subdivision requirements. The Applicant requests the following waiver:

- Waiver of the minimum lot size in the Limited Residential (LR-2) Zoning District (Section 17.04B.050).

**Amenity Proposed:** Chapter 17.10.030.I General Requirements, Amenities, requires that each Planned Unit Development Application provide one (1) or more amenities. Community Housing is listed as an eligible amenity and defined in the Hailey Municipal Code as such:

**Through a deed restriction, a dwelling unit that is restricted by size, type, and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.**

Within the proposed Star Light Lane Subdivision, the Applicant is offering to designate one (1) of the single-family dwellings as a Community Housing Unit to local, full-time employees, local employers, or local community housing providers. Specifically, the draft PUD Agreement defines the eligible purchasers as such:

- 4.1.1 Local Full-Time Employee: A person who has been a full-time resident of Blaine County, employed, and physically working in Blaine County for at least one (1) year. Employment in Blaine County must entail a minimum of 1,500 hours worked per calendar year shared between one (1) or more Local Employers. Full-Time Employees may have breaks in employment due to a temporary physical or mental disability, acting as primary caretaker of a disabled relative or child, extended vacation that does not exceed six months every six years, or full-time education or training.
- 4.1.2 Local Employer: An organization that is physically located and operating in Blaine County. A local employer must pay wages or a salary to one (1) or more people who reside in Blaine County.
- 4.1.3 Local Community Housing Provider: An official organization that is dedicated to the cause of creating, securing, or coordinating housing for full-time employees and employers local to Blaine County.

While the proposed PUD would allow the Community Housing Units to be sold, refinanced, and resold at market value, a deed covenant would restrict the sale to purchasers based on the eligibility criteria specified above. This type of deed covenant does not involve price appreciation caps, income limits, monthly rental rate limits, nor household size requirements. Yet, it can be instrumental to housing markets in resort towns by restricting ownership and tenancy to full-time residents and workers in the locale.

Such a program is modeled by the Vail “InDeed” program and Park City’s “Lite Deed Restriction Program.” It is also exemplified as a Condition of Approval within the River Lane and Maple Street Apartments projects and resembles the Blaine County Housing Authority’s (BCHA) “Section L” Income Category. Per Section L, certain BCHA units are available based on “No Income Limit but [the stipulation that a member of the household] must be a full-time resident of Blaine County” (see BCHA’s [2020 Community Housing Guidelines, page 2](#)). Similarly, Community Housing units owned and managed by local employers support housing accessibility for our local workforce and community members.

There is preliminary data from Hailey’s forthcoming Housing Needs Assessment that highlights the housing burdens of people making 100-120% of the area median income. Preliminary data shows that the rate of home ownership for people in Hailey earning about \$80,000 per year is low - of the people in this income group, about half rent and half own their homes. The low rate of home ownership in the 100-120% AMI group indicates outpricing and the need for more “Section L” housing. As discussed above, housing that is reserved for full-time residents and workers yet not capped at a certain value is beneficial both to resort communities and the people who call them home.



Both the eligibility criteria for purchasers and the proposed type of deed covenant aligns with the City's longstanding and urgent housing goals. The Hailey Comprehensive Plan speaks to the economic, environmental, and social benefits of increasing housing accessibility for the local workforce and community members. Specifically, Section 8: Housing of the Comprehensive Plan states:

- "If affordable housing for employees to purchase and/or rent cannot be provided, it will limit the growth potential and sustainability of local businesses";
- "Carbon emissions are reduced, and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt; and
- "Quality of life and safety improve when critical care employees live within close responding distance. Children do better in school when parents are at home in the mornings and evenings. Homeowners are more active in their communities, creating a greater vibrancy and sense of unity" (Section 8: Housing, page 38).

Additionally, the Plan references mechanisms that encourage or support housing accessibility, including land use planning and housing programs that provide a diversity of unit types for households with varying needs. In recent years, the City has sought to diversify Hailey's housing stock by planning for townhouses, duplexes, cottages, accessory dwellings, tiny homes on wheels, co-living dwellings, as well as Community Housing units. Variety in the unit types and eligibility stipulations of Hailey's Community Housing is also important. As stated by the Plan, "the types and methods of providing community housing should be re-examined, but the ongoing need for affordable homes – whether for rent or for sale – remains an important challenge" (Section 8: Housing, page 38).

While market home prices continue to exceed affordability standards for working families in the community—even for families earning above the Area Medium Income— Staff welcomes the Applicant's proposed amenity of one (1) new single-family Community Housing unit. Additionally, Staff finds the proposed amenity to be commensurate with the requested waivers and modifications of the zoning and subdivision requirements.

**Procedural History:** The Applicant submitted a Planned Unit Development Application, in tandem with a Preliminary Plat Application, on December 12, 2022, then heard by the Planning and Zoning Commission on March 6, 2023 in tandem with a Preliminary Plat Application. On July 19, 2023 the Applicant re-submitted a plat to reflect the Commission's recommendation. The updated Preliminary Plat and Planned Unit Development Applications will be heard on September 5, 2023 before the Commission virtually via Go-To-Meeting and in-person in the Council Chambers at Hailey City Hall.

Standards of Evaluation
17.10.030: General Requirements:

<b>A.</b>		<b>The minimum gross size for properties that may be developed as a PUD is one (1) acre, except in the Business and Limited Business zoning districts within the Central Business District, the minimum gross size shall be 18,000 square feet. All land within the development shall be contiguous except for intervening streets and waterways.</b>
<b>Staff Comments</b>		<i>The proposed PUD site is 1.20 acres or 52,272 square feet in size and, therefore, compliant with this standard.</i>
<b>B.</b>		<b>A tract or parcel of land proposed for PUD development must be in one (1) ownership or the subject of an application filed jointly by the owners of all property included.</b>
<b>Staff Comments</b>		<i>The parcel is in the ownership of Darin and Kathleen Barfuss.</i>
<b>C.</b>		<b>Area Development Plan:</b>
	<b>C.1</b>	<b>When the owner of Contiguous Parcels is required to obtain PUD approval for any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</b>
	<b>C.1.a</b>	<b>Streets, whether public or private, shall provide an interconnected system and be adequate to accommodate anticipated vehicular and pedestrian traffic.</b>
<b>Staff Comments</b>		<i>The Applicant is not proposing any new streets, neither public nor private.</i>  <i>Per the recommendation of Staff, the Applicant has removed sidewalk improvements on the Silver Star Drive frontage. Rather than provide an island of sidewalks, the Applicant has agreed to construct a portion of the shared-use path via sidewalk in-lieu fees and to satisfy the parks/pathway requirement. A shared-use path exists up to Stoney Cove Road, and South River Street improvements are anticipated in the next few years. The exact contribution will be drafted and deliberated by Hailey City Council at a later date. A Condition of Approval has been added, reliant upon approval of the affiliated Planned Unit Development Agreement.</i>
<b>C.1.b</b>		<b>Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways, and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</b>
<b>Staff Comments</b>		<i>See above, Section 17.10.030.C.1.A.</i>
<b>C.1.c</b>		<b>Water main lines and sewer main lines shall be designed in the most effective layout feasible.</b>
<b>Staff Comments</b>		<i>Water and wastewater services are readily available. The proposed connections have been approved by Public Works Staff and have been analyzed in the associated Preliminary Plat Staff Report.</i>  <i>The Applicant is contemplating an additional application to amend the Colorado Gulch Preserve Annexation, Services, and Development Agreement to change the stipulations that trigger connection to municipal services—from subdivision to a 10-year timeline, sale, or development of the parcel—and dedicate an additional Star Light Subdivision residence as a community housing unit. Under this model, one (1) community housing unit would be tied to the Planned Unit Development Agreement and waiver of the minimum LR-2 lot size. The other community housing unit would be tied to an amendment of the Colorado Gulch Preserve Annexation, Services, and Development Agreement and provision of municipal water and wastewater connections (or lack thereof) to the proposed Lot 6.</i>
<b>C.1.d</b>		<b>Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</b>
<b>Staff Comments</b>		<i>The proposed connections have been approved by Public Works Staff and will be analyzed prior recording of the Final Plat.</i>
	<b>C.1.e</b>	<b>Park land shall be most appropriately located on the Contiguous Parcels.</b>
<b>Staff Comments</b>		<i>The Applicant proposes to satisfy the Parks/Pathways requirement with a pathways contribution, see Section 17.10.030.C.1.a.</i>
<b>C.1.f</b>		<b>Grading and drainage shall be appropriate to the Contiguous Parcels.</b>
<b>Staff Comments</b>		<i>A Grading and Drainage Plan will be submitted and reviewed by the City Engineer.</i>
<b>C.1.g</b>		<b>Development shall avoid easements and hazardous or sensitive natural resource areas.</b>

<b>Staff Comments</b>		<i>N/A – No hazardous nor sensitive natural resource areas exist onsite.</i>
<b>C.2</b>		<b>Upon any approval of the PUD Application, the Owner shall be required as a Condition of Approval to record the Area Development Plan or a PUD Agreement depicting and/or detailing the approved Area Development Plan. The Area Development Plan shall bind the Owner and Owner's successors.</b>
<b>Staff Comments</b>		<i>The PUD Agreement has been submitted and is currently under review by the City Attorney. At this time, the Applicant plans to develop Lots 1-5 per the concurrent Preliminary Plat Application and maintain Lot 6 as-is.</i>
<b>D.</b>		<b>Solar Access: Street and lot orientation, landscaping, and placement of structures shall provide for solar access to all south roofs and walls to the maximum extent feasible in order to promote energy efficiency.</b>
<b>Staff Comments</b>		<i>As proposed, the single-family dwellings are south facing, maximizing solar access to the buildings and roofs. The Applicant is further proposing to prewire each home for future solar installations to promote energy efficiency and minimize energy consumption.</i>
<b>E.</b>		<b>Access: Access shall be provided in accordance with standards set forth in Chapter 16.04, Development Standards, of this Code. Buildings may not be so arranged that any structure is inaccessible to emergency vehicles.</b>
<b>Staff Comments</b>		<i>The Applicant proposes vehicular and emergency access to the proposed single-family residences via a joint driveway (to lots 4 &amp; 5) and parking access lane (to lots 1-3). Site access is under review by the Fire Department. Any concerns or issues will be brought to the hearing.</i>
<b>F.</b>		<b>Underground Utilities: Underground utilities, including telephone and electrical systems, shall be required within the limits of all PUDs.</b>
<b>Staff Comments</b>		<i>All utilities will be underground.</i>
<b>G.</b>		<b>Public Easement: In each case where a PUD project is located adjacent to public lands, a public easement to those lands shall be provided. All existing public accesses to public lands must be preserved.</b>
<b>Staff Comments</b>		<i>N/A – The proposed project is not located adjacent to public lands.</i>
<b>H.</b>		<b>Pathways: In each case where a PUD project encompasses a non-vehicular pathway as depicted on the Master Plan, a pathway constructed to City standards shall be provided.</b>
<b>Staff Comments</b>		<i>The Applicant has agreed to construct a portion of the Broadford Road shared-use path by diverting sidewalk in-lieu fees to the pathway, and to satisfy the parks/pathway requirement. A shared-use path exists up to Stoney Cove Road, and South River Street improvements are anticipated in the next few years. The exact contribution will be drafted and deliberated by Hailey City Council.</i>
<b>I.</b>		<b>Amenities: Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the applicant, to ensure a public benefit:</b>
	<b>I.1</b>	<b>Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public. Green space shall be set aside in accordance with the following formulas:</b>

		For residential PUDs	A minimum of .05 acres per residential unit.	
		For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.	
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.2	<b>Active Recreational Facilities:</b> Active recreational facilities include amenities such as a swimming pool, tennis courts or playing fields, of a size appropriate to the needs of the development. The PUD agreement shall contain provisions requiring that such facilities be maintained in perpetuity or replaced with another similar recreation facility.		
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.3	<b>Public Transit Facilities:</b> Public transit facilities include a weather protected transit stop or transit station and must be located on a designated transit route.		
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.4	<b>Preservation Of Vegetation:</b> Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six-inch (6”) caliper on the site.		
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.5	<b>Wetlands:</b> Protection of significant wetlands area must constitute at least ten percent (10%) of the gross area of the proposed PUD.		
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.6	<b>River Enhancement:</b> Enhancement of the Big Wood River and its tributaries, must include stream bank restoration and public access to or along the waterway.		
<b>Staff Comment</b>		<i>N/A – The Applicant is providing Community Housing as an amenity.</i>		
	I.7	<b>Community Housing:</b> For residential PUDs, the provision of at least ten percent (10%) of the approved number of dwelling units or lots as community housing units affordable to households earning between seventy percent (70%) and one hundred twenty percent (120%) of the area median income. This provision may be modified for individual projects based on the merits of the proposal as determined by the Commission and Council.		
<b>Staff Comment</b>		<p><i>The Applicant is proposing to designate one (1) out of the five (5) new single-family residences as Community Housing Units. As described at the start of this report and permitted by the portion of the standard that grants the Commission and Council flexibility, City Staff and the Applicant have negotiated that the single-family Community Housing Units be sold under a deed covenant to local, full-time employees, local employers, or local community housing providers, as defined in the PUD Agreement. The deed covenant will not involve price appreciation caps, income limits, monthly rental rate limits, nor household size requirements. Please refer to the Staff Report narrative for more information about the justification and merits of this type of deed covenant.</i></p> <p><i>Both the eligibility criteria for purchasers and the deed restriction stipulation support the City’s longstanding and urgent housing goals. Additionally, City Staff finds them to be commensurate with the requested waivers and modifications of zoning and subdivision requirements. Specifically, the draft PUD Agreement defines the eligible purchasers as such:</i></p> <ul style="list-style-type: none"> <li>- 4.1.1 <u>Local Full-Time Employee:</u> A person who has been a full-time resident of Blaine County, employed, and physically working in Blaine County for at least one (1) year. Employment in Blaine County must entail a minimum of 1,500 hours worked per calendar year shared between one (1) or more Local Employers. Full-Time Employees may have breaks in employment due to a temporary physical or mental disability, acting as primary caretaker of a disabled relative or child, extended vacation that does not exceed six months every six years, or full-time education or training.</li> </ul>		

		<ul style="list-style-type: none"><li>- 4.1.2 <u>Local Employer</u>: An organization that is physically located and operating in Blaine County. A local employer must pay wages or a salary to one (1) or more people who reside in Blaine County.</li><li>- 4.1.3 <u>Local Community Housing Provider</u>: An official organization that is dedicated to the cause of creating, securing, or coordinating housing for full-time employees and employers local to Blaine County.</li></ul> <p>Staff welcomes the Applicant's proposed amenity of one (1) new single-family Community Housing unit. Additionally, Staff finds the proposed amenity to be commensurate with the requested waivers and modifications of the zoning and subdivision requirements.</p>				
	I.8	<b>Local Deed-Restricted Housing:</b> For residential PUDs, the provision of at least thirty percent (30%) of the approved number of dwelling units or lots as local deed-restricted housing as defined by the local housing authority in its Community Housing Guidelines and reserved for households within the political boundaries of Blaine County Idaho (residing full-time in Hailey, Idaho), and whose primary residence is within the residential PUD.				
Staff Comment		As described above, the Applicant is offering to deed restrict and designate 20% of the PUD's dwellings as Community Housing Units.				
	I.9	<b>Real Property:</b> Dedication or conveyance of real property or an interest in real property to the city.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.10	<b>Sidewalks.</b> Off-site sidewalk improvements shall be constructed according to City Standard Improvement Drawings and provided (in addition to sidewalk improvements that are required by ordinance adjacent to the subject property) in accordance with the following formulas: <table><tr><td>For residential PUDs</td><td>A minimum of 100 linear feet per residential unit.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>A minimum of 100 linear feet per 1000 square feet of gross floor area.</td></tr></table>	For residential PUDs	A minimum of 100 linear feet per residential unit.	For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.
For residential PUDs	A minimum of 100 linear feet per residential unit.					
For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.					
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.11	<b>Underground Parking:</b> Underground parking must be provided for at least fifty percent (50%) of the required number of parking spaces in the PUD.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.12	<b>Energy Consumption.</b> All principal buildings within the PUD must comply with sustainable building practices, as follows: <table><tr><td>For residential PUDs</td><td>Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.</td></tr></table>	For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.	For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.
For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.					
For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.					
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
	I.13	<b>Other Amenities:</b> Other project amenities and/or benefits to the community that are found, by recommendation of the commission and approval of the council, to promote the purpose of this chapter and the goals and objectives of the comprehensive plan.				
Staff Comment		N/A – The Applicant is providing Community Housing as an amenity.				
17.10.040: Developer Benefits:						

<b>The Council may grant modifications or waivers of certain zoning and/or subdivision requirements to carry out the intent of this Chapter and the land use policies of the City.</b>	
<b>Staff Comment</b>	<i>In exchange for offering Community Housing Units, the Applicant requests a waiver to the minimum lot size of the Limited Residential (LR-2) Zoning District (Section 17.04B.050).</i>
<b>17.10.040.01: Density Bonus:</b>	
<b>A.</b>	<p><b>The following maximum increases in density may be granted only if one of the following conditions are met, and if no other density increase has been granted:</b></p> <p><i>Hailey's Municipal Code does not specify an underlying density for the LR-2 Zoning District. However, it does specify a minimum lot size, to which the Applicant has requested a waiver.</i></p> <p><i>The site of the proposed PUD is 1.20 acres or approximately 52,272 square feet in size. By-right, the LR-2 Zoning District permits four (4) single-family lots of approximately 13,068 square feet in size on the site. The Applicant is proposing a total of five (5) dwelling units—marking a 25% increase to the maximum allowed density. The proposed plat assimilates with the Limited Residential (LR-1) Zoning District, as well as the neighborhood directly north of the site, where the minimum lot size requirement is 8,000 square feet.</i></p>
	<b>A.1 Ten percent (10%): Solar, wind, geothermal or other alternative renewable energy source will provide at least fifty percent (50%) of the total energy needs of the PUD.</b>
<b>Staff Comment</b>	<i>N/A</i>
	<b>A.2 Ten percent (10%): At least twenty five percent (25%) of the property included in the PUD is located in the floodplain and no development occurs within the floodplain.</b>
<b>Staff Comment</b>	<i>N/A</i>
	<b>A.3 Ten percent (10%): The developer of the PUD provides or contributes to significant off-site infrastructure benefiting the city (e.g., water tank, fire station).</b>
<b>Staff Comment</b>	<i>N/A</i>
	<b>A.4 Twenty percent (20%): The developer of the PUD provides or contributes to significant multi-modal infrastructure providing both vehicular and nonvehicular amenities benefiting the city and Wood River Valley.</b>
<b>Staff Comment</b>	<i>As described in detail under Section 17.10.030.C.1.a and H, the Applicant proposes to construct a section of the Broadford Road shared-use path— with sidewalk in-lieu fees and to satisfy the parks/pathway requirement. A shared-use path exists up to Stoney Cove Road, and South River Street improvements are anticipated in the next few years. The exact contribution will be drafted and deliberated by Hailey City Council.</i>
	<b>A.5 Ten percent (10%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for silver certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.</b>
<b>Staff Comment</b>	<i>N/A</i>
	<b>A.6 Fifteen percent (15%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for gold certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.</b>
<b>Staff Comment</b>	<i>N/A</i>
	<b>A.7 Twenty percent (20%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for platinum certification. The bonus</b>

	unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
<b>Staff Comment</b>	N/A
<b>B.</b>	Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015)
<b>Staff Comment</b>	<i>City Staff finds the proposed community housing benefit to be commensurate with the requested waiver.</i>
<b>17.10.040.02: Density Transfer:</b>	
Densities may be transferred between zoning districts within a PUD provided the resulting density shall be not greater than aggregate overall allowable density of units and uses allowed in the zoning districts in which the development is located.	
<b>Staff Comment</b>	N/A – No density transfer is requested.
<b>17.10.040.05: Phased Development Allowed:</b>	
The development of the PUD may be planned in phases provided that as part of the general submission, a development schedule is approved which describes:	
<b>A.</b>	<b>Parcels:</b> The parcels that are to be constructed upon in each phase and the date of each phase submission.
<b>Staff Comment</b>	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
<b>B.</b>	<b>Number of Units:</b> The number of units to be built in each submission.
<b>Staff Comment</b>	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
<b>C.</b>	<b>Schedule For Completion:</b> A schedule for making contributions (if any), for the completion of project amenities and public improvements, for posting of security pursuant to subsection 17.10.050.08 of this Chapter, for dedication of Green Space, for conveyance of community housing and/or provision of employee housing.
<b>Staff Comment</b>	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
<b>D.</b>	<b>Stage Planning:</b> Each stage within the PUD shall be so planned and related to existing and/or planned services and facilities, including commercial space, such that each phase is self-sufficient and not dependent on later phases and so that failure to proceed to the subsequent stages will not have any adverse impacts on the PUD, its surroundings, or the community in general. Each stage shall also be planned so as to ensure that green space and any other amenities will be provided along with proposed construction at each phase of construction.
<b>Staff Comment</b>	<i>N/A – The Applicant is not proposing a phased development, nor is City Staff requesting it.</i>
<b>17.10.040.06: Modifications to the Subdivision Standards:</b>	
Standards in the Subdivision Title for streets, sidewalks, alleys, and easements, lots and blocks, and parks may be allowed. The requirements for sidewalks in the zoning districts set forth in Section 16.04.030 shall not be waived.	
<b>Staff Comment</b>	<i>Rather than complete the sidewalk improvements requested by this standard, the Public Works Department has recommended, and the Applicant has agreed, to construct a portion of the Broadford shared-use path. The reasons being that there are no sidewalks in the surrounding neighborhood; Staff agrees that an extension of the Broadford shared-use path would provide greater connectivity than an island of sidewalks on Silver Star Drive. The City is actively working towards closing the gap and further developing the Broadford shared-use path, and the Applicant's participation will greatly assist with this effort.</i>

<b>Subsection 17.10.050.04(C) sets forth Standards of Evaluation required by the City Council.</b>		
<b>A.</b>	<b>Standards of Evaluation</b>	
	<b>A.1</b>	<b>The proposed development can be completed within one (1) year of the date of approval or phase according to a development schedule as submitted in accordance with Section 17.10.040.05 of this chapter and approved by the City;</b>
<b>Staff Comment</b>		<i>This standard shall be met within the standard timeline of a Building Permit, or 548 days. This has been added as a Condition of Approval.</i>
	<b>A.2</b>	<b>The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic;</b>
<b>Staff Comment</b>		<i>The existing public streets, Silver Star Drive and Broadford Road, are adequate to carry the residential traffic generated from the proposed units.</i>
	<b>A.3</b>	<b>The PUD will not create excessive additional requirements at public cost for public facilities and services;</b>
<b>Staff Comment</b>		<i>No excessive costs are anticipated from this project.</i>
	<b>A.4</b>	<b>The existing and proposed utility services are adequate for the population densities and non-residential uses proposed;</b>
<b>Staff Comment</b>		<i>Utility services are available and are adequate to service the density proposed.</i>
	<b>A.5</b>	<b>The development plan incorporates the site's significant natural features;</b>
<b>Staff Comment</b>		<i>The site is empty and flat, it does not contain any natural features worthy of protection.</i>
	<b>A.6</b>	<b>Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner;</b>
<b>Staff Comment</b>		<i>N/A – No phases are proposed.</i>
	<b>A.7</b>	<b>One or more amenities as set forth in subsection 17.10.030I of this chapter shall be provided to ensure a public benefit;</b>
<b>Staff Comment</b>		<i>Please refer to Section I of this report for further details.</i>
	<b>A.8</b>	<b>All exterior lighting shall comply with the standards set forth in subsection 17.08C of this chapter; and</b>
<b>Staff Comment</b>		<i>All exterior lighting will be compliant, this has been made a Condition of Approval.</i>
	<b>A.9</b>	<b>The proposed PUD Agreement is acceptable to the applicant and the City.</b>
<b>Staff Comment</b>		<i>A draft PUD Agreement has been submitted and is attached. The City Attorney is currently reviewing the PUD Agreement, and comments, if any, will be brought to the hearing.</i>



**Summary and Suggested Conditions:** The Commission shall conduct a public hearing and review the Application, all supporting documents and plans, and recommendations of City Staff, in making their recommendation to the Council. In any public hearing on a PUD Application, the presiding officer may order the hearing to be continued for up to thirty (30) days at the same place, in which case no further published notice shall be required.

1. The proposed development is subject to Preliminary Plat approval by the Hailey City Council.
2. The project shall receive Planned Unit Development approval subject to the conditions outlined in the PUD Development Agreement.
3. A waiver is hereby granted as follows:
  - a. Waiver of the minimum lot size in the Limited Residential (LR-2) Zoning District (Section 17.04B.050).
4. In exchange for the waivers granted, the Applicant shall provide a community benefit through the provision of Community Housing:
  - a) By way of a deed covenant, the developer will restrict one (1) of the five (5) new single-family residential lots/units for sale to local employees, local employers, and/or local housing providers, as defined by the Planned Unit Development Agreement.
  - b) The designated community housing unit shall be identical to at least one (1) other new, market-rate residence in the subdivision.
5. The proposed development can be completed within the standard timeline of a Building Permit, or 548 days.

**Motion Language:**

**Approval:** Motion to recommend approval by the Hailey City Council a Planned Unit Development (PUD) Application by Darin and Kathleen Barfuss for the proposed Star Light Lane Subdivision, located at the intersection of Silver Star Drive and Broadford Road, within the Limited Residential (LR-2) Zoning District (1371 Silver Star Drive; Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), finding that the application meets all City Standards, and that Conditions (1) through (5) are met.

**Denial:** Motion to deny the Planned Unit Development (PUD) Application by Darin and Kathleen Barfuss for the proposed Star Light Lane Subdivision at the intersection of Silver Star Drive and Broadford Road in the Limited Residential (LR-2) Zoning District (1371 Silver Star Drive; Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].

STAR LIGHT LANE SUB

JULY 7th, 2023  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333



EXTERIOR PERSPECTIVE

SHEET INDEX

- CS1 COVER SHEET  
CS2 CODE COMPLIANCE  
01 PRELIMINARY PLAT  
02 PRELIMINARY PLAT/SUBLOTS  
G010 GENERAL NOTES  
G020 SITE SURVEY  
G100 DETAILS SHEET  
G101 DETAILS SHEET  
G102 UTILITY LAYOUT AND SEWER PROFILE SHEET  
G103 RIGHT-OF-WAY GRADING AND DRAINAGE PLAN  
L-10 SITE PLAN  
L-20 LANDSCAPE PLAN  
L-30 GRADING PLAN  
A-1 GROUND LEVEL/UPPER LEVEL FLOOR PLAN  
A-2 ROOF PLAN/BUILDING SECTION  
A-3 EXTERIOR ELEVATION  
A-4 EXTERIOR PERSPECTIVES  
A-5 MATERIAL BOARD

PROJECT TEAM

**ARCHITECT:**  
Blincoe Architecture  
POST OFFICE BOX 4424  
REYNOLDS, IDAHO 83340  
(208) 726-1915  
**LANDSCAPE ARCHITECT:**  
JACOB THOMAS  
BELLEVUE, ID 83725  
(208) 710-0110  
**CIVIL:**  
Galena Engineering, Inc  
317 N RIVER ST  
HAILEY, ID 83333  
(208) 786 1705

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**Blincoe Architecture**  
ARCHITECTS  
1371 SILVER STAR DRIVE  
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TEL: (208) 726-1915

LICENSED  
ARCHITECT  
AR 004802  
CHAD E. BLINCOE  
STATE OF IDAHO

STAR LIGHT LANE SUB  
1371 SILVER STAR DRIVE  
HAILEY, ID 83333

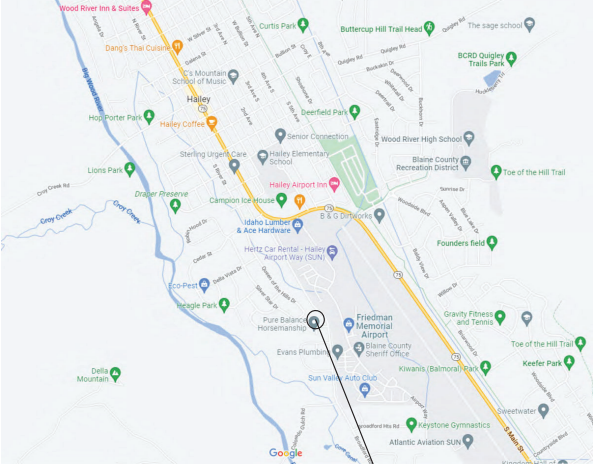

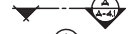


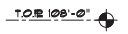





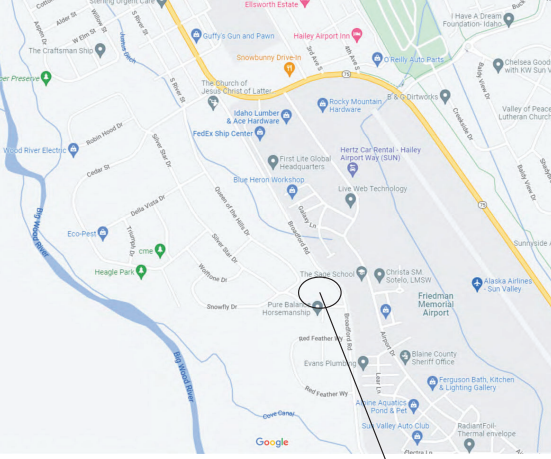
PUD APPLICATION SET - REVISED  
NOT FOR CONSTRUCTION

JOB #:	00332
PLOT DATE:	7/7/23
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△	PUD APPLICATION 12/9/22
△	PUD APPLICATION REVISED 7/7/23
△	
△	
△	

CS1

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STAR LIGHT LANE SUB  
JULY 7th,2023  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

<p><b>CODE COMPLIANCE:</b></p> <p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.</p> <p>2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70.</p> <p>ROOFING: • ALL ROOFING SHALL COMPLY WITH CHAPTER 10 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>STAIRWAYS: • ALL STAIRWAYS SHALL COMPLY WITH SECTION 1010 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>BUILDING ENVELOPE: • SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>LIGHTING EQUIPMENT: • SHALL COMPLY WITH SECTION 1401 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>ATTC ACCESS: • SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CHIMNEYS AND FIREPLACES: • ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 10 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND SECTION 402.4.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>GLASS AND GLAZING: • SHALL COMPLY WITH SECTION 703 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>PLUMBS: • SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CRAWLSPACE VENTING: • SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>LIVING SPACE VENTILATION: • SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 36 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p> <p>SOUND ISOLATION/TRANSMISSION • SHALL COMPLY WITH SECTION 702 AND SECTION 1001 OF THE 2018 INTERNATIONAL BUILDING CODE.</p>	<p><b>GENERAL NOTES:</b></p> <p>NOTE:</p> <p>1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.</p> <p>2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.</p> <p>3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.</p> <p>5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF HAILEY BUILDING DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS.</p> <p>6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE.</p> <p>7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.</p> <p>8. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION. NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.</p> <p>9. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE RETAINING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.</p> <p>10. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER &amp; GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS &amp; DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.</p> <p>11. ALL HYDRANT HEAT TUBING AND CONCRETE MIX IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB CONTRACTOR. ARCHITECT IS NOT RESPONSIBLE FOR CRACKING OF CONCRETE.</p>	<p><b>VICINITY MAP</b></p>  <p><b>SITE</b></p>																		
<p><b>ARCHITECTURAL SYMBOLS</b></p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p><b>BUILDING DATA</b></p> <p>OCCUPANCY : R3</p> <p>CONSTRUCTION TYPE : 1 WOOD FRAME</p> <table><tr><td>SQUARE FOOTAGE</td><td>PER UNIT</td><td></td></tr><tr><td>MAIN LEVEL AREA</td><td>899</td><td>#</td></tr><tr><td>UPPER LEVEL AREA</td><td>309</td><td>#</td></tr><tr><td>TOTAL LIVING</td><td>1,242</td><td>#</td></tr><tr><td>GARAGE</td><td>246</td><td>#</td></tr><tr><td>TOTAL</td><td>1,388</td><td>#</td></tr></table> <p>PROPERTY AREA : 1.25 ACRE</p> <p>LOT COVERAGE : 14.1%</p> <p>BUILDING CODE : 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE CITY OF HAILEY</p> <p>2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF HAILEY</p> <p>2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF HAILEY</p> <p>ZONING : LR-2</p> <p>PHYSICAL ADDRESS : 1371 SILVER STAR DR</p> <p>LEGAL DESCRIPTION : HAILEY PR S1/2 TL 77N &amp; TL 77W SEC 16 2N 16E</p> <p>PARCEL NUMBER : RPH180604500</p> <p>CITY OF HAILEY BUILDING DEPARTMENT.</p> <p>CITY OF HAILEY FIRE DEPARTMENT</p>	SQUARE FOOTAGE	PER UNIT		MAIN LEVEL AREA	899	#	UPPER LEVEL AREA	309	#	TOTAL LIVING	1,242	#	GARAGE	246	#	TOTAL	1,388	#	<p><b>NEIGHBORHOOD MAP</b></p>  <p><b>PROJECT LOCATION</b></p>
SQUARE FOOTAGE	PER UNIT																			
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PUD APPLICATION SET - REVISED  
NOT FOR CONSTRUCTION

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LICENSED  
ARCHITECT  
AR 004802  
CHAD E. BLINCOE  
STATE OF IDAHO

**STAR LIGHT LANE SUB**  
1371 SILVER STAR DRIVE  
HAILEY, ID 83333

JOB #: 00332  
PLOT DATE: 1/1/23  
DESIGN REVIEW:  
PERMIT:  
CONSTRUCTION:  
REVISIONS:  
PUD APPLICATION 12/9/22  
PUD APPLICATION RVSID 1/1/23

**CS2**

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**REUSE OF DRAWINGS:** These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galbraith-Burdman's Engineering.

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC) AND CITY OF HALEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THIS STANDARD AND CITY OF HALEY STANDARDS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL DCLINE (1-800-342-1586) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE REGULATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D458. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
8. PRIOR TO AFTER THE SUBGRADE, THE SUBGRADE SHALL BE COVERED WITH 12 INCHES OF PLANK, COURSE GRAVEL, THE CONTRACTOR SHALL PROOF-ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIALS, AND/OR AREAS NOT CAPABLE OF BEING PROOF-ROLLED TO THE REQUIRED DENSITY. THE SUBGRADE OR SUBGRADE COVER IS WHEN THE SOIL MOISTURE, HUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
9. IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DAMAGE TO THE SUBGRADE BY DAMAGED SUBGRADE BY OVER EXCAVATION, TO FIRM SUBGRADE, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH P.T.R. GRAVEL.
10. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.0.3, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTED PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM 1599 OR ITD 7-1.
11. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 602, TYPE I (ITD STANDARD 703.0.4, 3/4" #8). SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTED PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM 1599 OR ITD 7-1.
12. ALL ASPHALT CONCRETE PAVEMENT SHALL CONFORM TO ISPC SECTIONS 810, 810, AND 811 FOR CLASS B PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (3/8") NOMINAL, SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ALL ASPHALT SHALL BE PG 58-28 CATERING TO TABLE 803B IN ISPC SECTION 805.
13. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL, PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRECT BY APPLYING MEMBRANE-FORMING CURB PROTECTION, TYPE 1000, OR EQUITIVELY AS THE ENGINEER DETERMINE. SUBSEQUENT TO THE FINISH OF A STRUCTURE TWO WEEKS OF TESTING.
16. ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRUG SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM T-99.
17. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THE LOSS OR DISTURBANCE OF THE MONUMENT, ACCESSORY TO CORNER OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIAL TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. TESTING LOCATION AND FREQUENCY SHALL MEET ISPC AND ADA COUNTY HIGHWAY DESIGN AND CONSTRUCTION REQUIREMENTS.



SHEET INDEX	
SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
<u>UTILITIES:</u>	
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.10	UTILITY PLAN
<u>GRADING:</u>	
C2.00	RIGHT-OF-WAY GRADING & DRAINAGE PLAN

CHAD BLINCOE  
BLINCOE ARCHITECTURE  
251 NORTHWOOD WAY, SUITE E  
KETCHUM, IDAHO 83340

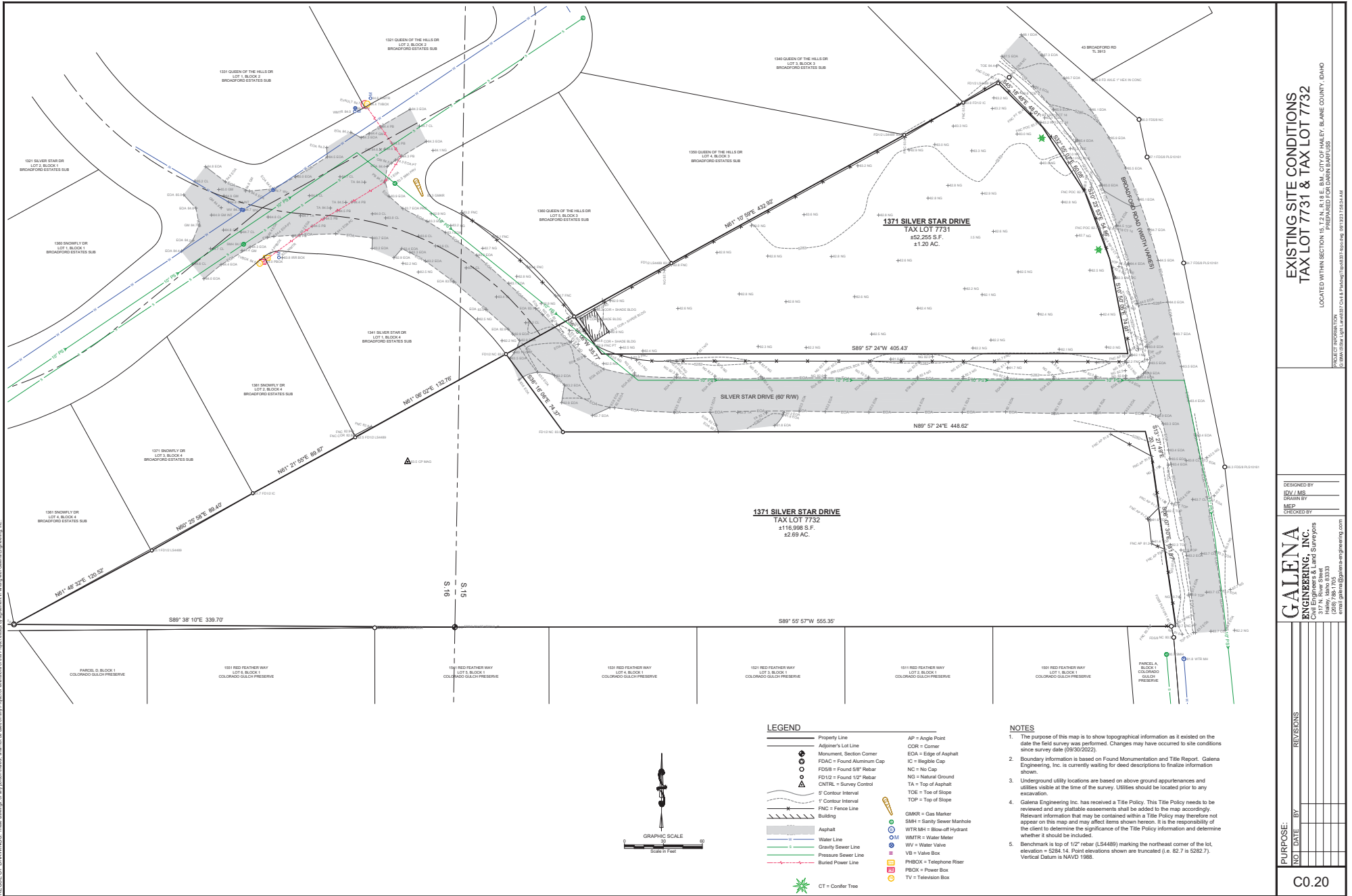
JACOB THOMAS, ASLA  
INSITE SCAPE

MATT SMITHMAN, PE  
GALENA-BENCHMARK ENGINEERING  
PO BOX 733  
100 BELL DRIVE  
KETCHUM, IDAHO 83340

ROB BREIER, PLS  
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PO BOX 733  
100 BELL DRIVE  
KETCHUM, IDAHO 83340

C0.10

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EXISTING SITE CONDITIONS  
TAX LOT 7731 & TAX LOT 7732

LOCATED WITHIN SECTION 15, T.2N, R.18E, B.M. CITY OF HALEY, BLAINE COUNTY, IDAHO  
PROJECT INFORMATION  
OWNER: GALENA ENGINEERING, INC.  
DATE: 08/30/2022

DESIGNED BY  
DRAWN BY  
CHECKED BY

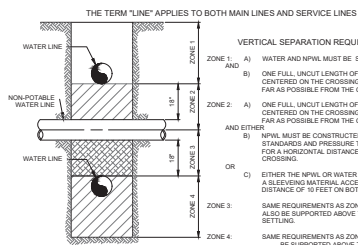
**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Blaine, ID 83406  
(208) 786-1705  
email: galena@galena-engineering.com

PURPOSE:  
NO DATE BY

C0.20



REVIEW OF DRAWINGS: These drawings are prepared by the City of Hailey and are subject to the standard of care of the City Engineer. The City Engineer is not responsible for the design of the project or the construction of the project. The City Engineer is not responsible for the design of the project or the construction of the project. The City Engineer is not responsible for the design of the project or the construction of the project.



#### VERTICAL SEPARATION REQUIREMENTS

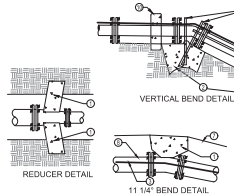
- ZONE 1:**
- A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18"
  - B) ONE FULL UNCLUT LENGTH OF BOTH NPWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2:**
- A) ONE FULL UNCLUT LENGTH OF BOTH NPWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
  - B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR**
- ZONE 3:**
- C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A BLENDING MATERIAL, ACCEPTABLE TO DEC FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 4:**
- SAME REQUIREMENTS AS ZONE 3 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

#### HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1:**
- A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
- ZONE 2:**
- A) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
  - B) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- AND EITHER**
- C) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
  - D) SITE SPECIFIC REQUIREMENTS APPROVED BY DEC.
- OR**
- E) NOT ALLOWED WITHOUT DEC WAIVER.
- NOTE:**
- SANITARY SEWER FORCE MAINS MUST HAVE MIN. 18" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEC.

#### 1 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION

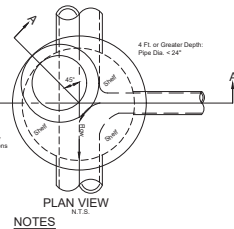
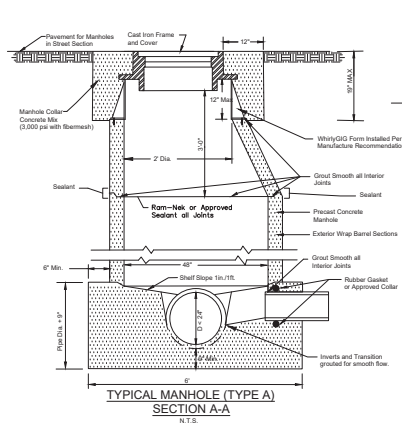
N.T.S.



#### THURST AREA FOR HORIZONTAL BENDS\*\*

SOIL BEARING PRESSURE = 2000 PSF				
WORKING PRESSURE RATING = 150 PSI				
SAFETY FACTOR = 1.5				
MINIMUM SQUARE FEET OF THRUST AREA UNDO UNDISTURBED EARTH				
PIPE SIZE	TEE, PLUG OF VALVE	90° BEND	45° BEND	22 1/2° 11 25° BENDS OR REDU.
4"	0.8	1.1	0.8	0.5
6"	1.4	2.0	1.1	0.6
8"	3.2	4.5	2.4	1.2
10"	5.7	8.0	4.3	2.2
12"	8.8	12.4	6.4	3.4
14"	13.2	18.9	9.7	5.0
16"	17.3	24.5	13.3	6.8
18"	22.8	32.0	17.3	8.8
20"	28.6	40.5	21.9	11.2

REUSE OF DRAWINGS: These drawings, in whole or in part, shall not be used without the prior written approval of the City of Haley. Any reuse of these drawings without the prior written approval of the City of Haley shall be at the user's sole risk and shall not be considered an endorsement of the City of Haley.

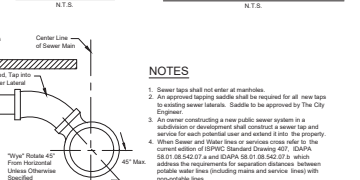
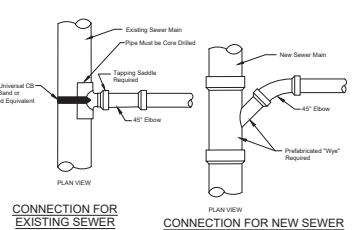
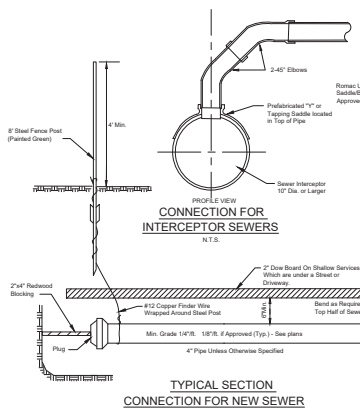


**NOTES**

- Optional seal in place manhole base with approved pipe connections may be used with 60' approval.
- Service lines shall not be connected to manholes.
- Manhole, frame and cover (18" to 24") shall be made of: A. Frame, cover, and concrete collar, shall be 0" to 14" below the grade of pavement.
- Why? PVC is utilized in rubber ring or gasket collar to be installed where the pipe is in contact with manhole base and/or flangeless channels, in order to insure a watertight seal.
- See drawing No. 18.14.010.2 for manhole manhole, Type B.
- Frame and cover shall be adjusted to grade after pouring. A steel plate shall cover the concrete collar prior to placing gravel and pavement. A steel circular collar shall be made in the new pavement to install the grade ring, frame and concrete collar.
- Manhole shall be located so that the Frame and Cover will be at least 6' from the edge of the pavement and 10' from the edge of the right-of-way.
- Flangeless Duct Plan Required on all Manholes that are not on Paved Streets.
- Exterior wrap material shall be 22-oz. Rubber or approved equal.
- Concrete collar shall be provided for all manholes.
- No steps are allowed. If steps are removed repair holes with grout.
- Torque limit to manufacturer's specifications (50 ft-lbs typical).

**TYPICAL MANHOLE (TYPE A) SECTION A-A**  
N.T.S.

**1 CITY OF HAILEY DETAIL SEWER MANHOLE - TYPE A (18.14.010.C.1)**  
C1.01



**NOTES**

- Sewer lines shall not enter or manholes.
- An approved tapping saddle shall be required for all new taps to existing sewer laterals. Saddle to be approved by The City Engineer.
- All sewer construction in a new public sewer system is a subdivision or development shall construct a sewer tap and service for each potential user and extend it to the property.
- When Sewer and Water lines or services cross refer to the current edition of SPWCC Standard Drawing 407. (DAPA 58.01.08.542.07 and DAPA 58.01.08.542.07) which address the requirements for separation distances between water and sewer lines (including manholes and service lines) with non-potable lines.

**TYPICAL SECTION CONNECTION FOR NEW SEWER**  
N.T.S.

**2 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
C1.01

**SEWER CONSTRUCTION NOTES**

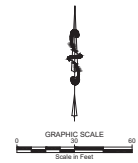
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "DAWD STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (DAWD) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEQ APPROVAL STAMP AND A COPY OF THE DEQ APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL MAINS AND SERVICES SHALL COMPLY WITH DAPA 58.01.08.542.07 a AND DAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET C2.20). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES (WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES).
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- POTABLE/ON-POTABLE CROSSINGS SHALL COMPLY WITH SPWCC STANDARD DRAWING NO. 50-407 AND DAPA SECTION 58.01.08.542.07.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- ALL SEWER SERVICE STUDS SHALL BE MARKED AND CAPPED WITH A GREEN PANTED METAL FENCE POST. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER SPWCC. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH (SPWCC) TYPE 1 BEDDING MATERIAL.
- TRENCHES SHALL BE BACK-FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER MAINS AND SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH "DWD" AND THE CITY OF HAILEY STANDARDS. NO SEWER MAIN OR SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE TO THE CITY AND ENGINEER PRIOR TO TESTING. REFER TO HAILEY CODE SECTION 18.10.012.
- ALL SEWER MAINS SHALL BE CONSTRUCTED OF PVC PIPE CONFORMING TO ASTM D3034 SDR 35. MINIMUM PIPE DIAMETER FOR GRAVITY SEWER MAINS SHALL BE 18 INCHES. MINIMUM SLOPE FOR 18-INCH SEWER MAIN SHALL BE 0.4% MINIMUM PIPE AT SLOPES INDICATED ON PLANS.
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPWCC STANDARD DRAWING 50-501. MINIMUM DIAMETER SHALL BE 48 INCHES. AT ALL PIPE INTERSECTIONS, CHANGES IN ALIGNMENT, CHANGES IN GRADE, AND AT TERMINAL ENDS.

**WATER MAIN CONSTRUCTION NOTES**

- WATER MAINS AND SERVICES SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER MAIN OR SERVICES SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY AND ENGINEER. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE TO THE CITY AND ENGINEER PRIOR TO TESTING. REFER TO HAILEY CODE SECTION 18.10.015.
- ALL WATER MAINS LESS THAN 12" IN DIAMETER AND WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'). MEASURED FROM FINISHED GRADE. WATER MAINS GREATER THAN OR EQUAL TO 12" IN DIAMETER SHALL HAVE A MINIMUM COVER OF FIVE (5'), MEASURED FROM FINISHED GRADE.
- ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH SPWCC SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LACING WIRE INSULATED PER SPWCC SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
- SEE FLUSHING AND DISINFECTION REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF HAILEY WATER AND SEWER DEPARTMENT FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSISF STANDARD D901. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (0.05% BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO SPWCC 50-403 AND THE CITY OF HAILEY STANDARDS.
- ALL VALVES SHALL BE GATE VALVES WITH NON-EROSIVE "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER SPWCC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER SPWCC 50-406 AND THE CITY OF HAILEY SPECIFICATIONS.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM 1.304 STAINLESS STEEL, WITH ANSI/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A330. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
- ALL WATER MAINS SHALL COMPLY WITH DAPA 58.01.08.542.07 a AND DAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET C2.20). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH SPWCC SECTION 404 AND THE CITY OF HAILEY STANDARDS. A USC IIC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SERVICE OUTAGE SHALL BE 4 HOURS.
- EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

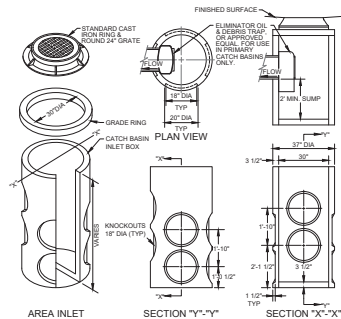
**FLUSHING AND DISINFECTION**

- FLUSHING PRIOR TO DISINFECTION**
  - BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
  - USE A MINIMUM FLOWING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
  - IF NO HYDRANT IS AVAILABLE AT THE END OF THE MAIN, PROVIDE A TAP OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
  - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
  - CONDUCT A VISUAL AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN FLUSHING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL, THAT MAY HAVE ENTERED THE MAINS.
  - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- DISINFECTION OF WATER PIPES**
  - GENERAL
    - COMPLY WITH ANSI/AWWA C 901, DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
    - KEEP THE INTERIOR OF ALL PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
    - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
  - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
    - LIQUID CHLORINE
      - FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
      - STANDARD: ANSI/AWWA B 301.
      - EXCUTION: USES ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND EJECTORS.
      - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
    - SOLID HYPOCHLORITE
      - FORM: LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
      - STANDARD: ANSI/AWWA B 300.
      - CALCIUM HYPOCHLORITE
        - FORM: GRANULAR OR IN 50 LBS TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
        - STANDARD: ANSI/AWWA B 300.
  - METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
    - TABLET OR GRANULAR METHOD
      - SOLUTION STRENGTH: 25 MG/L MINIMUM.
      - USE: ONLY IF THE PIPES AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SWEWED JOINT TEST PIPES.
      - PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH AND AT 500-FOOT INTERVALS.
      - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 50 CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT, HYDRANT BRANCH AND OTHER APPURTENANCES. ATTACH TABLETS TO THE INSIDE OF THE PIPE USING AN EACH BRANCH AND AT 500-FOOT INTERVALS.
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C1.10



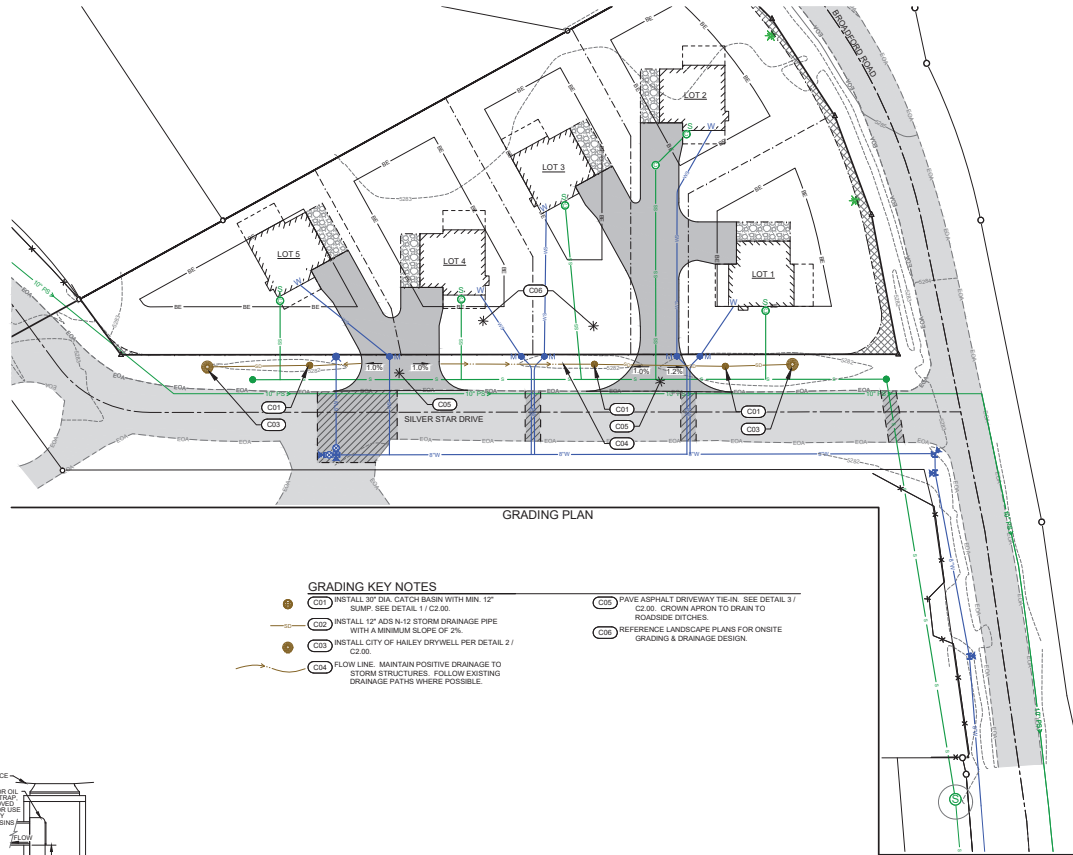


- CATCH BASIN INSTALLATION NOTES**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
  2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
  3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN SPWCD SECTION 505. PIPE BEDDING EXTENDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
  4. FILL THE BALANCE OF THE DESIGNATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

1  
C2.00 30" DIAMETER PRIMARY CATCH BASIN  
N.T.S.

2  
C2.00 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)  
N.T.S.

3  
C2.00 TYPICAL STREET ASPHALT SECTION  
N.T.S.



**GRADING KEY NOTES**

- C01 INSTALL 30" DIA. CATCH BASIN WITH MIN. 12" SLUMP. SEE DETAIL 1 / C2.00
- C02 INSTALL 12" ADS N-12 STORM DRAINAGE PIPE WITH A MINIMUM SLOPE OF 2%.
- C03 INSTALL CITY OF HAILEY DRYWELL PER DETAIL 2 / C2.00
- C04 FLOW LINE. MAINTAIN POSITIVE DRAINAGE TO STORM STRUCTURES. FOLLOW EXISTING DRAINAGE PATHS WHERE POSSIBLE.
- C05 PAVE ASPHALT DRIVEWAY TIE-IN. SEE DETAIL 3 / C2.00. CROWN APPROX. TO DRAIN TO ROADSIDE DITCHES.
- C06 REFERENCE LANDSCAPE PLANS FOR ONSITE GRADING & DRAINAGE DESIGN.

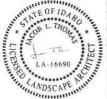
**RIGHT-OF-WAY GRADING & DRAINAGE PLAN**  
**STAR LIGHT LANE SUBDIVISION**  
LOCATED WITHIN SECTION 15, T2N, R18E, B4M, CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PROJECT INFORMATION  
DESIGNED BY: CT  
DRAWN BY: CT  
CHECKED BY: MS  
SURVEY DATE:  
PREPARED FOR: DARRIN DARRINSON  
C:\DMS\2024\1511\STARLIGHT\CT & M\Grading\Grading.dwg 02/28/2024 11:18:38 AM



DESIGNED BY: CT  
DRAWN BY: CT  
CHECKED BY: MS  
SURVEY DATE:  
GALENA-BENCHMARK ENGINEERING, INC.  
1000 E. Main Street, Suite 100  
Hailey, Idaho 83401  
(208) 735-8113  
www.galena-benchmark.com

REVISIONS
1. ISSUE FOR DESIGN REVIEW
2. DATE: 02/28/2024
3. BY: CT

C2.00



**INSITE**  
**SCAPE**

Jacob Thomas  
(208) 732-0218  
jacob@insitescape.com

**STAR LIGHT SUBDIVISION**  
1371 SILVER STAR DRIVE  
HAILEY, IDAHO 83333

**SITE PLAN**

PUD SUBMISSION  
REV. #4

**L-1.0**

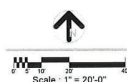
07/06/2023

**LEGEND**

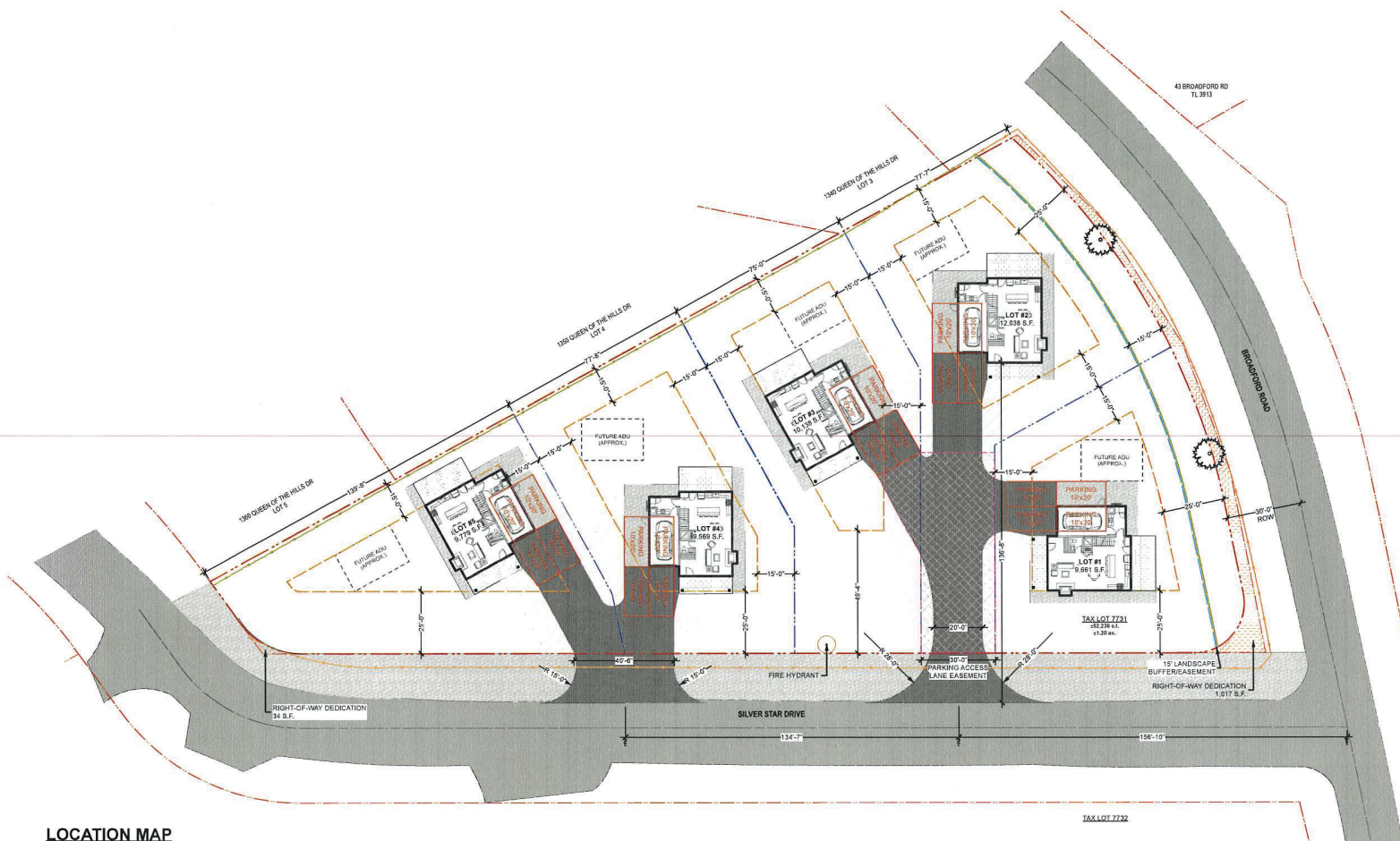
- PROPERTY LINE
- SUBLOT PROPERTY LINE
- SETBACK
- LANDSCAPE BUFFER/EASEMENT
- EXISTING FENCE - TO BE REMOVED
- EXISTING FENCE - TO REMAIN
- PROPOSED PRIVACY FENCE - 4' TALL
- PROPOSED RIGHT-OF-WAY DEDICATION - DEDICATED TO CITY OF HAILEY PER REPLAT
- PARKING ACCESS LANE EASEMENT
- PROPOSED SNOW STORAGE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED PAVERS
- PROPOSED GRAVEL
- EXISTING EVERGREEN TREE - TO REMAIN

**NOTES**

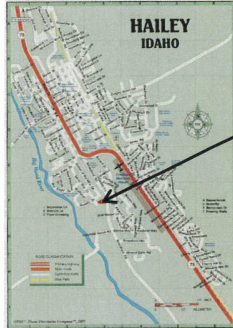
- This plan was prepared for the express use of the Client and is not transferable to others without written consent.
- This is a Conceptual Plan only. It is subject to change and is not intended to be used as a construction document.
- Boundary information is based on record information. Please refer to the recorded plat.
- Refer to plot notes, conditions, covenants and restrictions on original plat.
- All site & survey information based on survey(s) provided by the Client and prepared by Gidney Engineering (10/31/22, #8337).
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: Uniform Building Code, Uniform Mechanical Code, Uniform Fire Code, NFPA standards, National Electrical Code, Uniform Plumbing Code. All as adopted by City of Hailey.
- Drainage of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority.
- Contractor shall review these plans thoroughly, make a detailed site visit, and immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid.
- Above and below ground utility locations are approximate and must be located and verified in the field before any excavation. All regulations with regard to hard-copy setbacks must be followed.
- Prior to any site work, the Contractor, with assistance from the Landscape Architect, shall construct a durable barrier delineating the previously agreed upon LIMIT OF DISTURBANCE. All construction and construction related activities shall take place within this limit ONLY, with no disturbance occurring outside this limit.



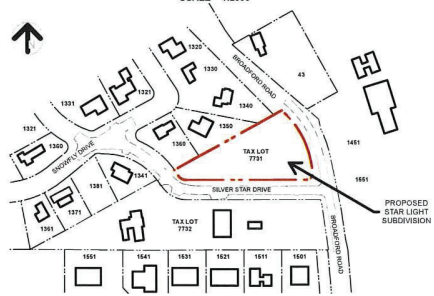
**SUBMISSION SET**  
**NOT FOR CONSTRUCTION**



**LOCATION MAP**  
SCALE = 1:40000



**VICINITY MAP**  
SCALE = 1:2000



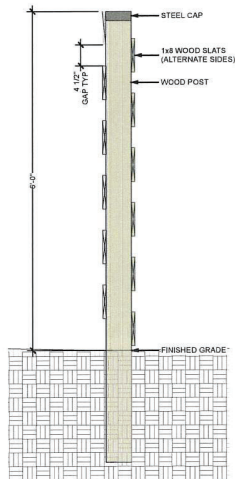
**R.O.W. DEDICATED TO CITY OF HAILEY = 1,051 S.F.**

**PRIVATE PARK SPACE & BUFFER = 0 S.F.**  
(0.0277 ACRES x 43,560 S.F.) x 5 UNITS = 6,033 S.F. REQUIRED PER CODE  
(6,033 S.F. SHORT)

**SIDEWALK = 0 L.F.**  
100 L.F. x 5 UNITS = 500 L.F. REQUIRED PER CODE  
(500 L.F. SHORT)

**SNOW STORAGE = 4,481 S.F.**  
25% x 7,512 S.F. ON-SITE PARKING & DRIVE = 1,878 S.F. REQUIRED PER CODE  
(2,603 S.F. EXTRA)





A PRIVACY FENCE TYP.



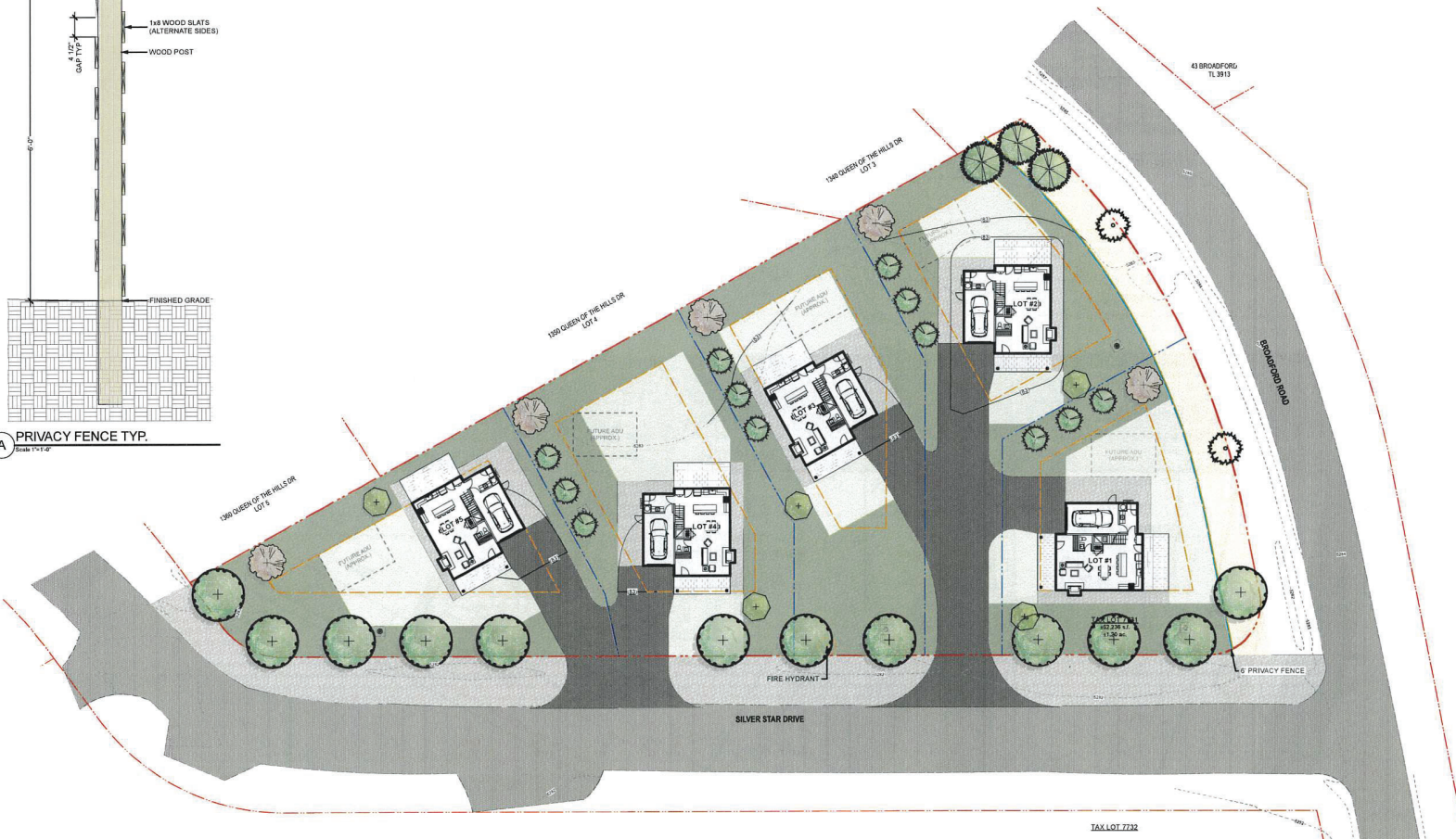
PRIVACY FENCE  
-STAIN TO MATCH CHIMNEY STONE



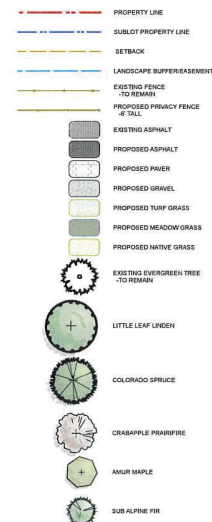
PAVERS: MUTUAL MATERIALS  
-1X2 VANCOUVER BAY GREY



GRAVEL: 3/4 MINUS  
-COMPACTED @ UTILITY AREAS

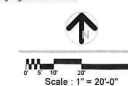


## LEGEND



## NOTES

- This plan was prepared for the express use of the Client and is not transferable to others without written consent.
- This is a Conceptual Plan only. It is subject to change and is not intended to be used as a construction document.
- Boundary information is based on record information. Please refer to the recorded plat.
- Refer to plat notes, conditions, covenants and restrictions on original plat.
- All site & survey information based on survey(s) provided by the Client and prepared by Galina Engineering (10/21/22, #6337).
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: Uniform Building Code, Uniform Mechanical Code, Uniform Fire Code, NFPA standards, National Electrical Code, Uniform Plumbing Code, all as adopted by the City of Hailey.
- Drawings of existing facilities are in general diagrams. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority.
- Contractor shall review these plans thoroughly, make a detailed site visit, and immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid.
- Above and below ground utility locations are approximate and must be located and verified in the field before any excavation. All excavations with regard to hand-dig utilities must be followed.
- Prior to any site work, the Contractor, with assistance from the Landscape Architect, shall construct a durable barrier delineating the previously agreed upon LIMIT OF DISTURBANCE. All construction and construction related activities shall take place within this limit ONLY, with no disturbance occurring outside this limit.
- All proposed plant material to comply with the American Association of Nurserymen standards including, but not limited to: size, character, quality, planting and irrigation procedures.
- An automated sprinkler system shall be designed and installed to coordinate with each specific planting area and site-specific microclimate, soil type and topography. Special care shall be given to the design and installation of the irrigation system and watering schedule so as to maximize water use efficiency. An automated irrigation check shall be used for controlling all irrigation zones.
- All existing plant material to remain shall be protected from all construction activities during the entire construction process.
- All existing soils that are to be used for planting shall be evaluated and appropriately amended to support the specific plant needs in each specified planting area.
- Contractor shall decompect all soils that are to be planted into prior to planting & seeding.
- A temporary irrigation system shall be required at all times during the construction process in order to provide adequate and reliable water to all existing vegetation to remain.



## PLANT SCHEDULE

TREE	ID	COMMON NAME	BOTANICAL NAME	QTY	SIZE	REMARKS
	ABla	Sub Alpine Fir	Abies lasiocarpa	12	12" tall B&B	
	MApr	Crabapple, Prunifera	Malus x Prunifera	5	3" DBH B&B	Amend with mycorrhiza
	PIpu	Colorado Spruce	Picea pungens	3	16" tall B&B	
	Tico-G	Greenspire Littleleaf Linden	Tilia cordata 'Greenspire'	12	3" DBH B&B	Amend with mycorrhiza
SHRUB	ACgl	Amur Maple	Acer ginnala	5	6" B&B	

**SUBMISSION SET**  
NOT FOR CONSTRUCTION



Jacob Thomas  
(208) 732-0218  
jacob@insite-landscape.com

**STAR LIGHT SUBDIVISION**  
1371 SILVER STAR DRIVE  
HAILEY, IDAHO 83333

**LANDSCAPE PLAN**

PUD SUBMISSION  
REV. #4

**L-2.0**

07/06/2023



**INSITE**  
**SCAPE**

Jacob Thomas  
(208) 720-0218  
jacob@insitescape.com

**STAR LIGHT SUBDIVISION**  
1371 SILVER STAR DRIVE  
HAILEY, IDAHO 83333

**GRADING PLAN**

PUD SUBMISSION  
REV. #4

**L-3.0**

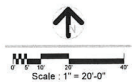
07/06/2023

**LEGEND**

- PROPERTY LINE
- SUBLOT PROPERTY LINE
- SETBACK
- LANDSCAPE BUFFER/SEPARATION
- EXISTING FENCE - TO REMAIN
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED SLOPE
- PROPOSED SWALE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED DRYWELL
- PROPOSED CATCH BASIN
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED PAVEMENT
- PROPOSED GRAVEL
- EXISTING EVERGREEN TREE - TO REMAIN

**NOTES:**

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- This is a Conceptual Plan only. It is subject to change and is not intended to be used as a construction document.
- Boundary information is based on record information. Please refer to the recorded plat.
- Refer to plat notes, conditions, covenants and restrictions on original plat.
- All site & survey information based on surveys provided by the Client and prepared by Dakota Engineering (10/31/22) 83333.
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: Uniform Building Code, Uniform Mechanical Code, Uniform Fire Code, IFPA standards, National Electrical Code, Uniform Plumbing Code, as adopted by the City of Hailey.
- Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are tentative and have equal priority and priority.
- Contractor shall review these plans thoroughly, make a detailed site visit, and immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid.
- Above and below ground utility locations are approximate and must be located and verified in the field before any excavation. All negotiations with regard to hard-dig setbacks must be followed.
- Prior to any site work, the Contractor with assistance from the Landscape Architect, shall construct a durable barrier delineating the previously agreed upon LIMIT OF DISTURBANCE. All construction and construction related activities shall take place within this limit ONLY, with no disturbance occurring outside this limit.
- All disturbed soils on slopes greater than 33% (2:1) shall be protected from excessive erosion. BMPs shall be provided to ensure soil stabilization and established plantings can hold the soil naturally.
- Sub-surface conditions have not been accounted for. Appearance of sub-standard situations including, but not limited to bedrock, poor soil structure/texture, sub-surface water, utilities and/or existing drainpipes may change the proposed design.



**SUBMISSION SET**  
NOT FOR CONSTRUCTION





MAIN LEVEL AREA	839 SQ. FT.
UPPER LEVEL AREA	403 SQ. FT.
TOTAL LIVING:	1,742 SQ. FT.
GARAGE:	246 SQ. FT.
TOTAL AREA:	1,988 SQ. FT.

PUD APPLICATION SET - REVISED  
NOT FOR CONSTRUCTION

STAR LIGHT LANE SUB  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

JOB #:	003.22
PLOT DATE:	7/7/23
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	PRELIMINARY 6/2/22
	PRELIMINARY 7/11/22
	PUD APPLICATION SET 12/9/22
	PUD APPLICATION RVSD 7/7/23

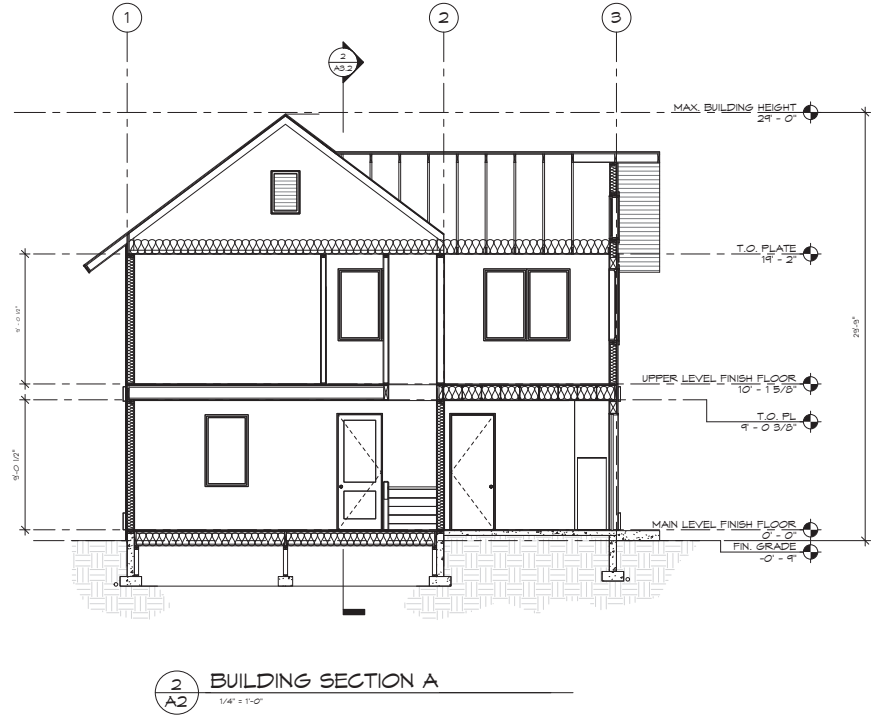
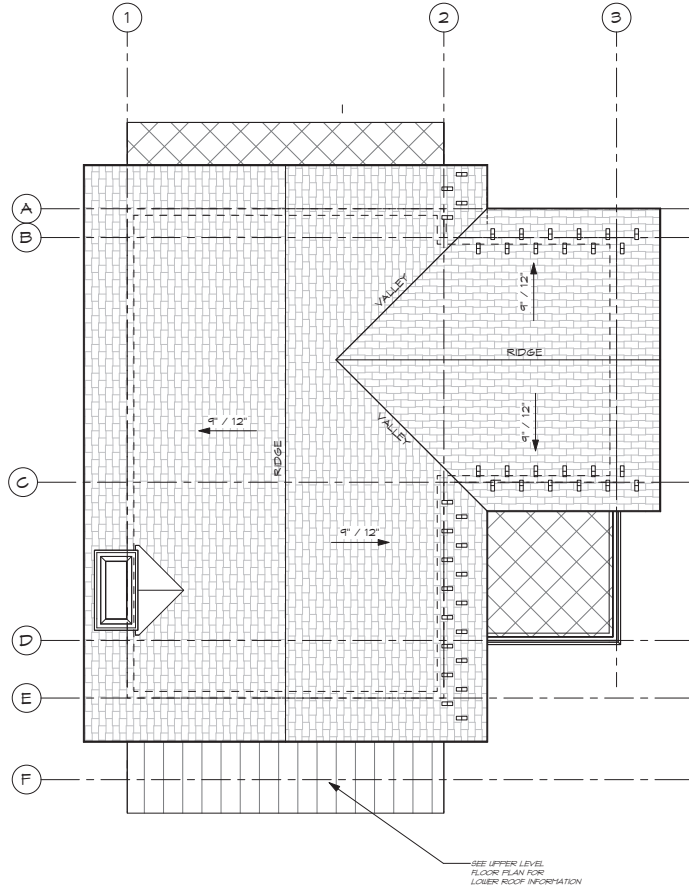
A1

[www.BlincoeArchitecture.com](http://www.BlincoeArchitecture.com)  
**Blincoe Architecture**

Mail:  
UPS/ FedEx  
251 Northwood Way Suite E  
Ketchum, Idaho 83340  
Email:  
Info@kline.net  
Tel.: 208.270.1324

LICENSED  
ARCHITECT  
AR 984802  
12/1/22  
CHAD E. BLINCOE  
STATE OF IDAHO

AN EPIC OF DISCOVERY: This Ponderosa and its inhabitants are not just a backdrop for the story, but a character in their own right. The Ponderosa is a place of discovery, a place where the boundaries of the known world are being pushed back. The Ponderosa is a place of discovery, a place where the boundaries of the known world are being pushed back.



PUD APPLICATION SET - REVISED  
NOT FOR CONSTRUCTION

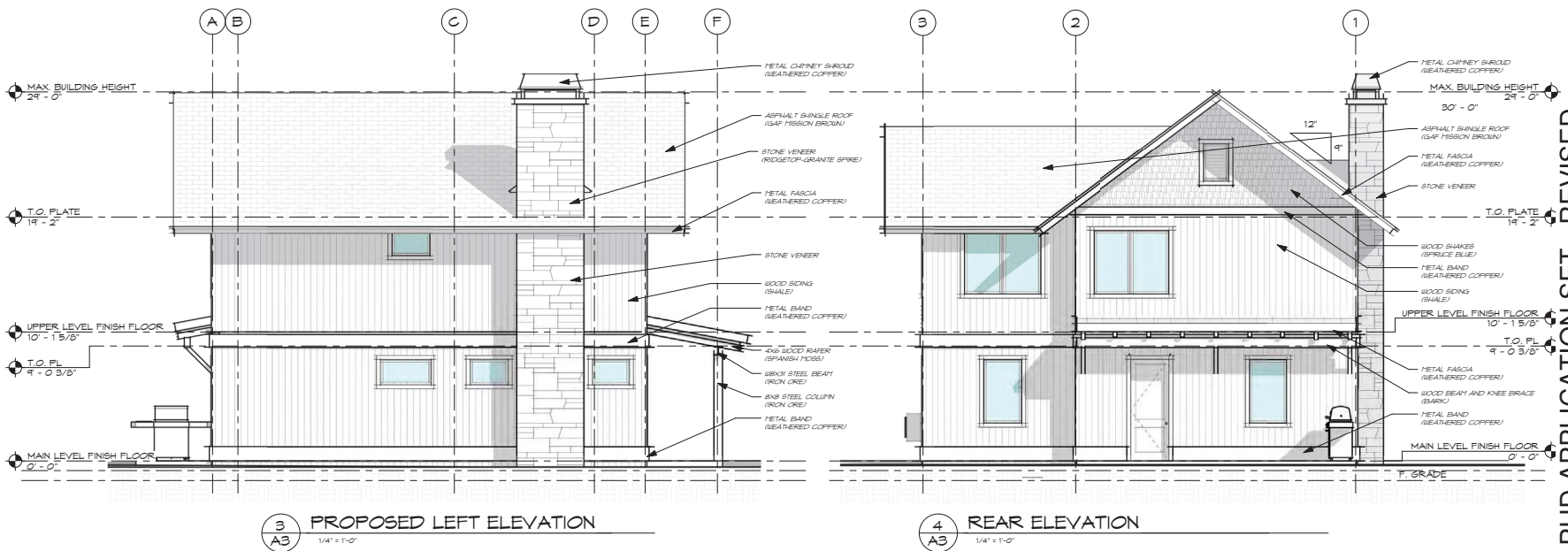
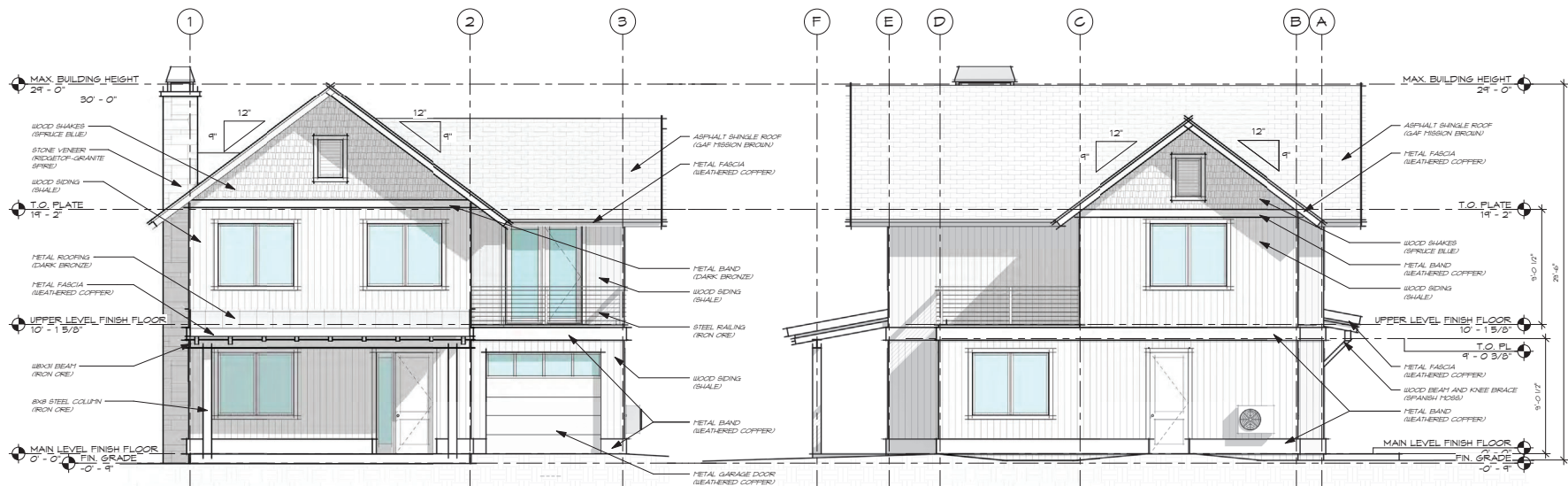
www.BlincoeArchitecture.com  
**Blincoe Architecture**  
Architects  
1371 Silver Star Drive  
Hailey, Idaho 83333  
Phone: 208.750.1335  
info@blincoearchitecture.com

BA  
LICENSED ARCHITECT  
NO. 88492  
CHAD E. BLINCOE  
STATE OF IDAHO

STAR LIGHT LANE SUB  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

JOB #: 003.22  
PLOT DATE: 7/7/23  
DESIGN REVIEW:  
PERMIT:  
CONSTRUCTION:  
SUBMISSIONS/REVISIONS:  
PRELIMINARY 6/2/22  
PRELIMINARY 7/11/22  
PUD APPLICATION SET 12/9/22  
PUD APPLICATION RVSD 7/7/23

A2



www.BlincoeArchitecture.com  
**Blincoe Architecture**  
ARCHITECT  
1371 SILVER STAR DRIVE  
HAILEY, IDAHO 83333  
TEL: 208.750.1325  
info@blincoearchitecture.com

LICENSED  
ARCHITECT  
NR 954902  
CHAD E. BLINCOE  
STATE OF IDAHO

**STAR LIGHT LANE SUB**  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

JOB #: 003.22  
PLOT DATE: 7/7/23  
DESIGN REVIEW:  
PERMIT:  
CONSTRUCTION:  
SUBMISSIONS/REVISIONS:  
PRELIMINARY 6/2/22  
PRELIMINARY 7/11/22  
PUD APPLICATION SET 12/9/22  
PUD APPLICATION RVSD 7/7/23

**A3**

**PUD APPLICATION SET - REVISED**  
**NOT FOR CONSTRUCTION**

CONSIDERATION OF DOCUMENTS: THE DRAWINGS, SPECIFICATIONS, AND INSTRUMENTS OF SERVICE ARE THE PROPERTY OF BLINCOE ARCHITECTURE, AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION.



A4

STAR LIGHT LANE SUB  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

[www.BlincoeArchitecture.com](http://www.BlincoeArchitecture.com)

**Blincoe Architecture**

ARCHITECTS

251 Northwood Way Suite E  
Ketchikan, Idaho 83340  
Email: [info@blincoearchitects.net](mailto:info@blincoearchitects.net)  
Tel: 208-720-3325

BA

LICENSED ARCHITECT  
AR 964502

OCHAD E. BLINCOE  
CHAIRMAN OF IDAHO

12/14/12

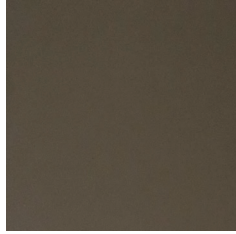
As indicated, all work shall conform to the applicable provisions of the International Building Code and Blincoe on approved plans.





ASPHALT ROOF

MISSION BROWN ASPHALT



FLASHINGS/BELLY BAND

FEATHERED COPPER



WOOD RAFTERS

SPANISH MOSS



WINDOW/BEAM/COLUMN

IRON ORE COLOR



METAL ROOFING

DARK BRONZE STANDING SEAM METAL



WOOD SHAKE SIDING

SPRUCE BLUE STAIN



VERTICAL WOOD SIDING

SHALE STAIN



STONE SIDING

RIDGETOP-GRANITE SPIRE

**DestinationLighting**  
Customer Service: 1-800-653-6536 or [info@destinationlighting.com](mailto:info@destinationlighting.com)  
M-F: 7am-5pm & Sunday: 11am-4pm (PST)  
LED Black Outdoor Wall Light Cylinder 2700K

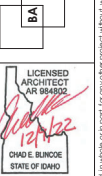


Product Number:	002-405	Beam Spread Degree:	40
Manufacturer:	Design Classics Lighting	Dark Sky:	Yes
Model Number:	1771-07-30362 LED	Energy/Star Compliant:	No
Collection:	ask and jill	Shade Material:	Metal Glass
Manufacturer Finish:	Matte Black	Material:	Aluminum Glass
Manufacturer Shade Color:	Matte Black	Shipping:	UPS Regular
Total Wattage:	6.5w	Certification Agencies:	ETL
Voltage Type:	Line Voltage	Backplate Dimensions:	4.5
Average Rated Life:	25,000 hrs	Wet Locations:	Yes
Dimmable:	With Standard Dimmer	Damp Locations:	Yes
Height:	5.5 in.	Harsh Environments:	No
Width:	4.5 in.	Weight:	1.4 lbs
Depth:	3.38 in.	Kelvin Temperature:	2700
Wattage:	6.5	Lumens:	520
Bulb Type:	LED	Color Rendering Index:	80
Bulb Shape:	A60 E16	Made in America:	No
Base Type:	Twist Lock (GU10)	Dusk To Dawn:	No
Number Of Bulbs:	1	Motion Sensor:	No
Bulb Included:	No	Title 24:	No
Beam Spread:	Fixed		

## EXTERIOR LIGHTING

PUD APPLICATION SET - REVISED  
NOT FOR CONSTRUCTION

**Blincoe Architecture**  
www.BlincoeArchitecture.com  
Architect  
1371 Silver Star Drive  
Hailey, Idaho 83333  
Phone: 208.750.1335  
info@blincoearchitecture.com

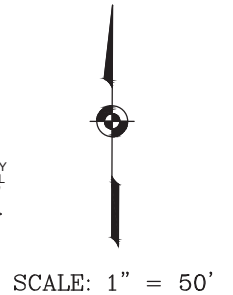
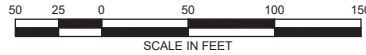


**STAR LIGHT LANE SUB**  
1371 SILVER STAR DRIVE  
HAILEY ID, 83333

JOB #:	003.22
PLOT DATE:	7/7/23
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
PRELIMINARY	6/2/22
PRELIMINARY	7/11/22
PUD APPLICATION SET	12/9/22
PUD APPLICATION RVSD	7/7/23

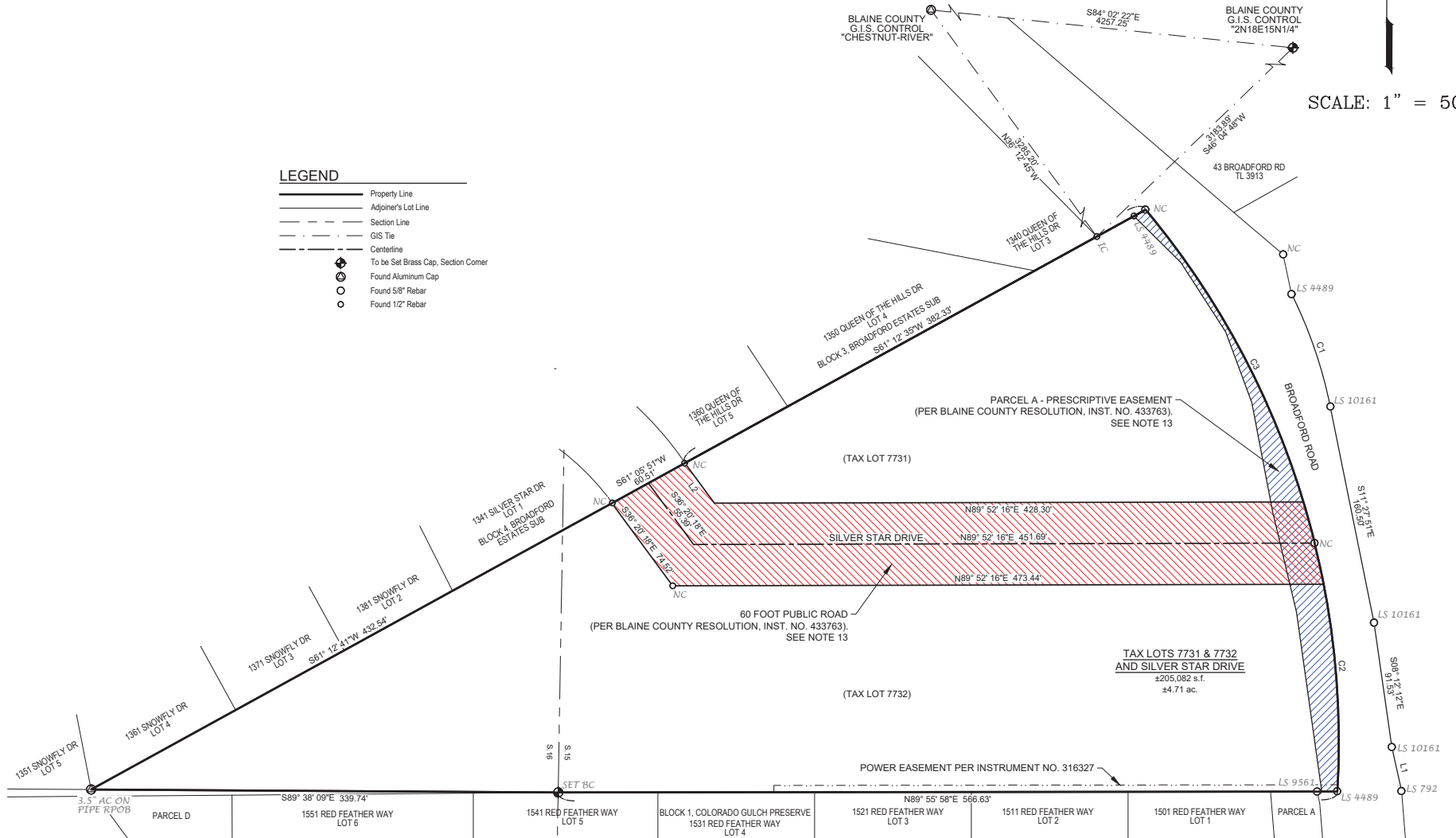
A5

A PRELIMINARY PLAT SHOWING  
**STAR LIGHT LANE SUBDIVISION**  
 WHEREIN TAX LOTS 7731 & 7732 ARE SUBDIVIDED  
 LOCATED WITHIN SECTION 15, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 JULY 2023



**LEGEND**

- Property Line
- Adjoiner's Lot Line
- - - Section Line
- · - GIS Tie
- - - Centerline
- ⊙ To be Set Brass Cap, Section Corner
- ⊙ Found Aluminum Cap
- Found 5/8" Rebar
- Found 1/2" Rebar



**EXISTING BOUNDARY, EASEMENT, AND RIGHT-OF-WAY EXHIBIT**

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date \_\_\_\_\_ South Central District Health Dept., EHS

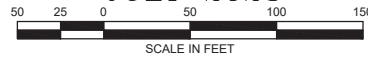
PROFESSIONAL LAND SURVEYOR  
 LICENSED  
 20893  
 STATE OF IDAHO  
 ROBERT O. BREIER

ROBERT O. BREIER, P.L.S. 20893

STAR LIGHT LANE SUBDIVISION  
 GALENA ENGINEERING, INC.  
 HAILEY, IDAHO  
 1 OF 5  
 Job No. 8337

# A PRELIMINARY PLAT SHOWING STAR LIGHT LANE SUBDIVISION

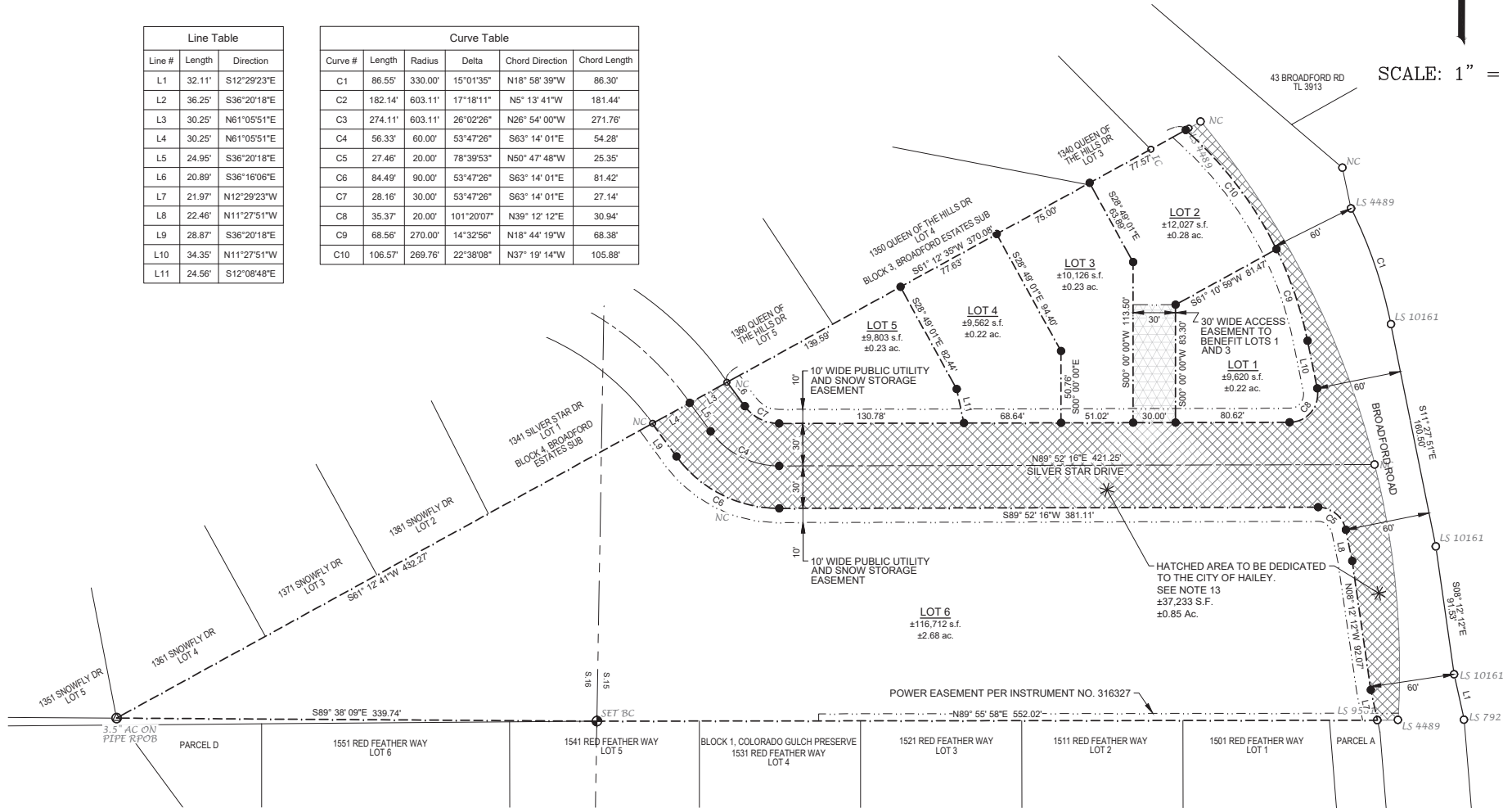
JULY 2023



SCALE: 1" = 50'

Line Table		
Line #	Length	Direction
L1	32.11'	S12°29'23"E
L2	36.25'	S36°20'18"E
L3	30.25'	N61°05'51"E
L4	30.25'	N61°05'51"E
L5	24.95'	S36°20'18"E
L6	20.89'	S36°16'06"E
L7	21.97'	N12°29'23"W
L8	22.46'	N11°27'51"W
L9	28.87'	S36°20'18"E
L10	34.35'	N11°27'51"W
L11	24.56'	S12°08'48"E

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	
C1	86.55'	330.00'	15°01'35"	N18° 58' 39"W	86.30'	
C2	182.14'	603.11'	17°18'11"	N5° 13' 41"W	181.44'	
C3	274.11'	603.11'	26°02'26"	N26° 54' 00"W	271.76'	
C4	56.33'	60.00'	53°47'26"	S63° 14' 01"E	54.28'	
C5	27.46'	20.00'	78°39'53"	N50° 47' 48"W	25.35'	
C6	84.49'	90.00'	53°47'26"	S63° 14' 01"E	81.42'	
C7	28.16'	30.00'	53°47'26"	S63° 14' 01"E	27.14'	
C8	35.37'	20.00'	101°20'07"	N39° 12' 12"E	30.94'	
C9	68.56'	270.00'	14°32'56"	N18° 44' 19"W	68.38'	
C10	106.57'	269.76'	22°38'08"	N37° 19' 14"W	105.88'	



## LEGEND

### EXISTING ITEMS

	Property Line
	Adjoiner's Lot Line
	Section Line
	Centerline
	Found Aluminum Cap
	Found 5/8" Rebar
	Found 1/2" Rebar

### PROPOSED ITEMS

	Lot Line
	Easement, type and width as shown
	Access Easement
	Right-of-way Dedication
	Set 5/8" Rebar
	To be Set Brass Cap, Section Corner



ROBERT O. BREIER, P.L.S. 20893

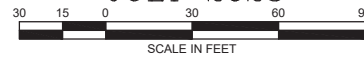
STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

2 OF 5  
Job No. 8337

# A PRELIMINARY PLAT SHOWING STAR LIGHT LANE SUBDIVISION

JULY 2023



SCALE: 1" = 30'

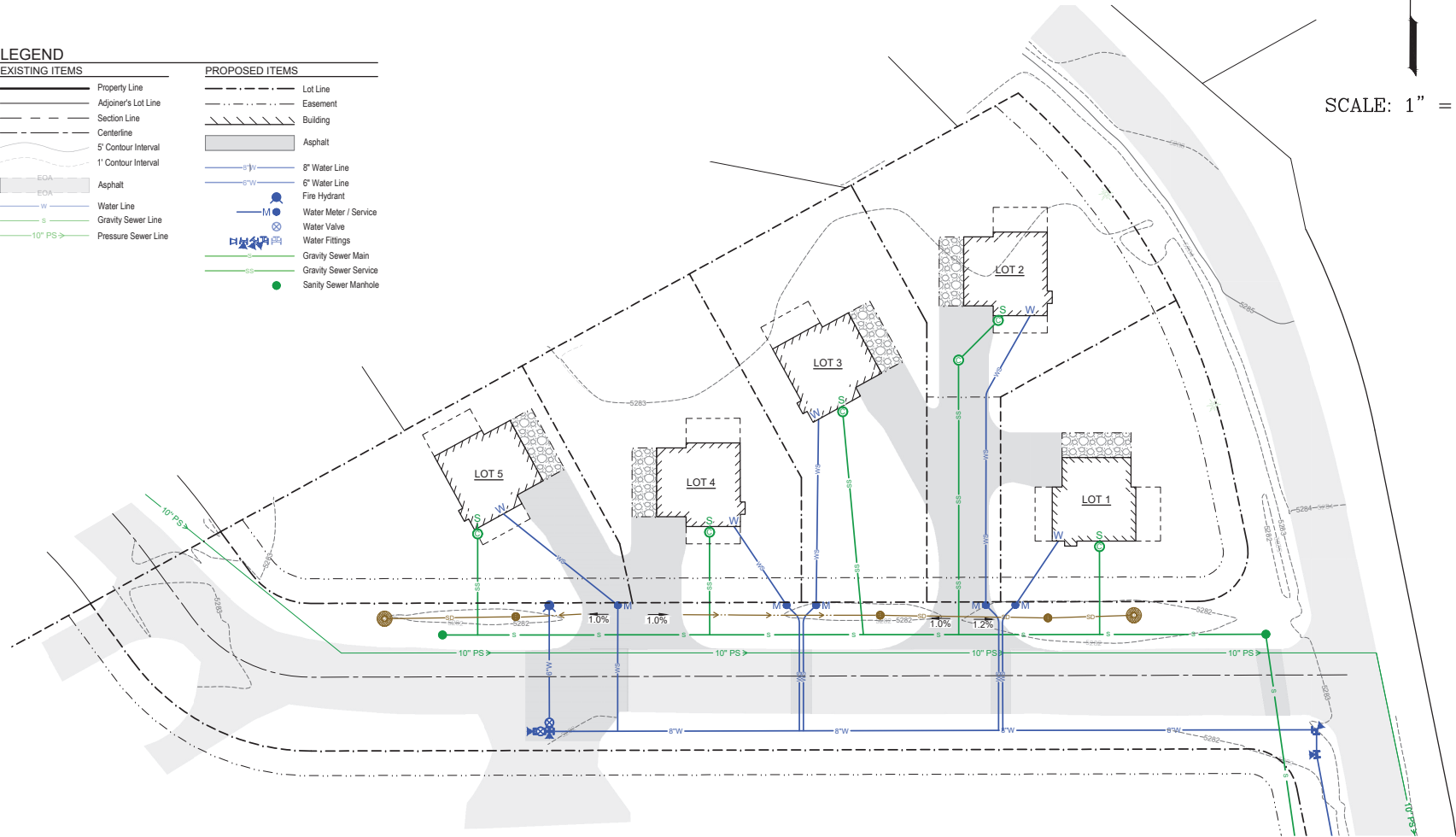
## LEGEND

### EXISTING ITEMS

	Property Line
	Adjoiner's Lot Line
	Section Line
	Centerline
	5' Contour Interval
	1' Contour Interval
	Asphalt
	Water Line
	Gravity Sewer Line
	Pressure Sewer Line

### PROPOSED ITEMS

	Lot Line
	Easement
	Building
	Asphalt
	8" Water Line
	6" Water Line
	Fire Hydrant
	Water Meter / Service
	Water Valve
	Water Fittings
	Gravity Sewer Main
	Gravity Sewer Service
	Sanity Sewer Manhole



## PROPOSED IMPROVEMENT PLAN



ROBERT O. BREIER, P.L.S. 20893

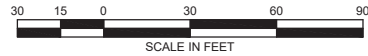
STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

3 OF 5  
Job No. 8337

A PRELIMINARY PLAT SHOWING  
STAR LIGHT LANE SUBDIVISION

JULY 2023



SURVEY NARRATIVE & NOTES

1. The purpose of this plat is to subdivide the property as described on Deed of Trust, Instrument Number 451485, records of Blaine County, Idaho, adjust the alignment of Silver Star Drive, and provide 60ft of Right-of-Way for Broadford Road. All found monuments were accepted as either original or replacements of original corners.
2. Referenced Documents:
  - a. Corporation Warranty Deed, Instrument Number 138243
  - b. Blaine County Commission Resolution (and Order) 9939, Instrument Number 433763
  - c. Deed of Trust, Instrument Number 451485
  - d. Hailey Ordinance No. 1224, Annexation Agreement and Area Legal Description, Instrument Number 647661
3. The distances shown are measured. Refer to the above referenced documents for the previous record data.
4. Unless otherwise shown hereon, this survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, ditches, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
5. Underground utility locations are based on subdivision design drawings, above ground appurtenances and utilities visible at the time of the survey. Utilities should be located prior to any excavation.
6. A Lot Book Report has been issued by Pioneer Title Co., File Number 814591, dated 7/25/2022. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. Some of the encumbrances and easements listed in the title report are NOT plottable hereon. Review of specific documents is required, if further information is desired.
7. All townhouse subplot owners shall have mutual reciprocal easements for existing and future water, sewer, cable tv, telephone, natural gas and electrical lines over, under and across their townhouse sublots for the repair, maintenance and replacement of those services.
8. Buyers and owners are advised that this property is located near the Friedman Memorial Airport. Present and future impacts may be annoying and interfere with the unrestricted use and enjoyment of the property. These noise impacts might change over time by virtue of number of aircraft, louder aircraft, seasonal variations, and time-of-day variations that may change airport, aircraft, and air traffic control operating procedures or layout. The user's own personal perceptions of the noise exposure could change, and his or her sensitivity to aircraft noise could increase.
9. See Page 2 for metes and bounds of proposed sublots.
10. Current and proposed Zoning to remain as "LR-2."
11. All new utilities shall be placed underground.
12. The Declaration of Conditions, Covenants, and Restrictions have been recorded in Blaine County as Instrument Number \_\_\_\_\_.
13. Public Road and Prescriptive Easements described in Blaine County Commission Resolution (and Order) 9939, Instrument Number 433763, and depicted on Sheet 1 are hereby vacated and replaced by the areas proposed for dedication to the City of Hailey as shown on Sheet 2.



ROBERT O. BREIER, P.L.S. 20893

STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

4 OF 5  
Job No. 8337

**Return to Agenda**



## STAFF REPORT

### Hailey Planning and Zoning Commission Regular Meeting of September 5, 2023

**To:** Hailey Planning & Zoning Commission  
**From:** Cece Osborn, Community Development City Planner  
**Overview:** Consideration of a Preliminary Plat Application by Darin and Kathleen Barfuss wherein Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), at the intersection of Silver Star Drive & Broadford Road, is subdivided into six (6) lots for single-family dwelling units within the Limited Residential (LR-2) Zoning District. This project is in tandem with a Planned Unit Development Application and is to be known as Star Light Lane Subdivision.

**Hearing:** September 5, 2023

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**Applicant:** Darin and Kathleen Barfuss  
**Location:** 1371 Silver Star Drive (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E)  
**Zoning/Size:** Limited Residential (LR-2) Zoning District; 1.20 acres (52,272 square feet)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on August 16, 2023.

**Background:** The proposed project is located at the intersection of Silver Star Drive and Broadford Road in the Limited Residential (LR-2) Zoning District - at 1371 Silver Star Drive (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E). The Applicant seeks to subdivide the entire parcel into six (6) lots. While the parcel is bifurcated by Silver Star Drive, the Applicant seeks to subdivide the northern piece into five (5) single-family lots ranging in size from 9,620 to 12,027 square feet — to be known as Star Light Lane Subdivision. The Applicant does not plan to develop the southern parcel, Lot 6, at this time.

By-right, the Limited Residential (LR-2) Zoning District permits four (4) single-family lots of approximately 13,068 square feet in size on the northern piece of the parcel. In association with an Application for a Planned Unit Development Agreement, which requests a waiver to the LR-2 minimum lot size requirement, the Applicant is proposing a total of five (5) dwelling units— marking a 25% increase to the maximum density of single-family residences found in LR-2 neighborhoods. The proposed plat assimilates with the Limited Residential (LR-1) Zoning District and neighborhood directly north of the site, where the minimum lot size requirement is 8,000 square feet.

**Procedural History:** The original Preliminary Plat Application was certified complete on December 12, 2022, then heard by the Planning and Zoning Commission on March 6, 2023 in tandem with a Planned Unit Development Agreement. On March 6, 2023, the Planning and Zoning Commission took no action on the proposed plat but recommended that the Applicant reconfigure the plat to reflect a lower density— six (6) or seven (7) residential lots instead of nine (9). On July 19, 2023 the Applicant re-submitted a plat reflecting the Commission's recommendation. The updated Preliminary Plat Application will be heard on September 5, 2023 before the Commission virtually via Go-To-Meeting and in-person in the Council Chambers at Hailey City Hall.



Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<b>Engineering:</b> <i>The Public Works Department appreciates that the Applicant has agreed to construct a portion of the Broadford shared-use path—to fulfill their Parks/Pathway requirement and in-lieu of sidewalks along the Silver Star Drive frontage. Reason being that there are no sidewalks in the LR-2 neighborhood; instead of creating an island of sidewalks, City Staff strongly prefers that the Applicant assist with the incremental effort to extend the Broadford shared-use path.</i>
			<b>Life/Safety:</b> <i>No comments.</i>	
			<b>Water and Sewer:</b> <i>No comments.</i>	
			<b>Building:</b> <i>No comments.</i>	
			<b>Streets:</b> <i>See above, from Engineering.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	<b>Applicability:</b> <i>The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.</i>
			<b>Staff Comments</b>	<i>Please refer to the specific standards as noted herein.</i>
<b>16.04.020: Streets:</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			16.04.020	<b>Streets:</b> <i>Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<b>Development Standards:</b> <i>All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.</i>
			<b>Staff Comments</b>	<i>N/A – The project proposed here does not include any new public streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Cul-De-Sacs; Dead-End Streets:</b> <i>Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.</i>
			<b>Staff Comments</b>	<i>N/A – No cul-de-sacs nor dead-end streets are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<b>Access:</b> <i>More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions, or other factors that could limit access.</i>
			<b>Staff Comments</b>	<i>Access to the single-family residences is proposed via two (2) joint driveways from Silver Star Drive. Per the recommendation of City Staff and in compliance with Hailey's Municipal Code, the Applicant minimized the curb cuts off of Silver Star Drive.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<b>Design:</b> <i>Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic</i>



				calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<b>Staff Comments</b>	<i>N/A – This standard only applies to public streets; no public streets are proposed in this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E.</b>	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<b>Staff Comments</b>	<i>N/A – No public streets nor traffic calming measures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F.</b>	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<b>Staff Comments</b>	<i>N/A – No public streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G.</b>	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<b>Staff Comments</b>	<i>N/A – No roadways are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H.</b>	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor is there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<b>Staff Comments</b>	<i>N/A – No roadways are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>I.</b>	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<b>Staff Comments</b>	<i>Storm drains and/or drainage areas of adequate size are in place.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>J.</b>	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<b>Staff Comments</b>	<i>N/A – No signs are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>K.</b>	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<b>Staff Comments</b>	<i>N/A – No streets nor alleys are proposed.</i>
			<b>L.</b>	<b>Private Streets:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 1.</b>	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial

				developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 2.</b>	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 3.</b>	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 4.</b>	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 5.</b>	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 6.</b>	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guests and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<b>Staff Comments</b>	<i>N/A – No private streets are proposed.</i>
			<b>M.</b>	<b>Driveways:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 1.</b>	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<b>Staff Comments</b>	<i>The proposal includes one (1) joint driveway to two (2) residences and one (1) parking access lane to three (3) residences. The proposed joint driveway and parking access lane are compliant with the Hailey Municipal Code and International Fire Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 2.</b>	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16')

				No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			<i>Staff Comments</i>	<i>The proposed plat appears compliant with this requirement, a Condition of Approval reiterating this requirement has been added for assurance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>The proposed joint driveway and parking access lane are compliant with the Hailey Municipal Code and International Fire Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>This has been made a Condition of Approval—the Applicant shall edit the plat notes to designate a vehicular access easement on the joint access lane and declaring it unbuildable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>The proposed plat includes an easement on the parking access lane, a Condition of Approval has been added requiring the Applicant to a) create an easement on the joint driveway, and b) designate the joint driveway and parking access lane as unbuildable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			<i>Staff Comments</i>	<i>None of the proposed driveways interfere with the maintenance of existing infrastructure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>The proposed parking access lane is compliant with the Hailey Municipal Code and International Fire Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways, or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>The proposed parking access lane is compliant with the Hailey Municipal Code and International Fire Code.</i>
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>Rather than complete the sidewalk improvements requested by this standard, the Staff has recommended, and the Applicant has agreed to construct a portion of the Broadford shared-use path. The reasons being that there are no sidewalks in the surrounding neighborhood; Staff agrees that an extension of the Broadford shared-use path would provide greater connectivity than an island of sidewalks on Silver Star Drive. The City is actively working towards closing the gap and further developing the Broadford shared-use path, and the Applicant's participation will greatly assist with this effort.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Staff Comments</b>	<i>As mentioned above, Staff would prefer, and the Applicant has agreed to divert sidewalk in-lieu fees to the construction of the Broadford Road shared-use path. There are no sidewalks in the vicinity, and the extension of the Broadford shared-use path is a priority. A shared-use path along Broadford Road is a contemplated, and a prioritized public amenity, as specified in the Master Transportation Plan and Blaine County Bicycle and Pedestrian Master Plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C.</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</b>
			<b>Staff Comments</b>	<i>No sidewalks exist adjacent to the site. At this time, City Staff would prefer that the Applicant assist with completing the Broadford Road shared-use path by diverting sidewalk in-lieu fees to the buildout of the shared-use path, rather than building a sidewalk segment on Silver Star Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>D.</b>	<b>Sites located adjacent to a public street or private street that are not currently through streets, regardless of whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</b>
			<b>Staff Comments</b>	<i>At this time, City Staff would prefer that the Applicant assist with completing the Broadford Road shared-use path by diverting sidewalk in-lieu fees to the build out of the shared-use path, rather than building a sidewalk segment on Silver Star Drive.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E.</b>	<b>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</b>
			<b>Staff Comments</b>	<i>N/A – This is a Preliminary Plat Application for a new subdivision, involving more than a Lot Line Adjustment.</i>

#### 16.04.040: Alleys and Easements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			<b>A.</b>	<b>Alleys:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 1.</b>	<b>Alleys shall be provided in all Business District and Limited Business District developments where feasible.</b>
			<b>Staff Comments</b>	<i>N/A – This project is in the Limited Residential (LR-2) Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 2.</b>	<b>The minimum width of an alley shall be twenty-six (26') feet.</b>
			<b>Staff Comments</b>	<i>N/A – Alleys are not required, nor are they planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 3.</b>	<b>All alleys shall be dedicated to the public or provide for public access.</b>
			<b>Staff Comments</b>	<i>N/A – Alleys are not required, nor are they planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 4.</b>	<b>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</b>
			<b>Staff Comments</b>	<i>N/A – Alleys are not required, nor are they planned. The proposed utilities will be installed underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 5.</b>	<b>Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.</b>
			<b>Staff Comments</b>	<i>N/A – Alleys are not required, nor are they planned for this parcel. This area is residential and not commercial.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 6.</b>	<b>Dead-end alleys shall not be allowed.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed design does not include a dead-end alley.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 7.</b>	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas, and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			<b>Staff Comments</b>	<i>A ten-foot (10') wide easement along the Silver Star and Broadford Road frontages is shown and provides access to utilities and designates snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			<b>Staff Comments</b>	<i>A ten-foot (10') wide easement along the Silver Star and Broadford Road frontages is shown and provides access to utilities and designates snow storage. An easement on the parking access lane provides vehicular access to Lot 1-3, the Applicant shall designate an easement on the joint driveway per a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			<b>Staff Comments</b>	<i>N/A – No natural resource, riparian area, hazardous area, or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 3.</b>	Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk, and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			<b>Staff Comments</b>	<i>Snow storage for the plat is incorporated in the ten-foot (10') wide easement along the Silver Star and Broadford Road frontages; however, the exact snow storage required of the joint driveway and parking access lane have not been calculated. A calculation of the requirement and details of the joint driveway and parking access lane shall be provided prior to approval of the Final Plat, this has been made a Condition of Approval.</i>
<b>16.04.050: Blocks</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.050</b>	<b>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</b>
			<b>Staff Comments</b>	<i>N/A – This subdivision and proposed plat involves an existing block. No new blocks are proposed.</i>
<b>16.04.060: Lots</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.060</b>	<p><b>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the district in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</b></p> <p><b>Staff Comments</b> <i>Per the affiliated PUD Application, the Applicant is requesting a waiver to the minimum lot size of the LR-2 Zoning District, which is 12,000 square feet.</i></p> <p><i>Specifically, the Applicant is proposing to develop five (5) lots between 9,620 and 12,027 square feet in size; and has chosen not to develop the remaining 116,712 square feet of the parcel designated as Lot 6. A Condition of Approval has been added, requiring that irrigation on Lot 6 be restricted to not more than one-half (1/2) acre.</i></p> <div data-bbox="633 1047 1396 1505" data-label="Figure"> </div> <p><i>To further ensure best practices in water usage and water conservation, the following shall be added as a plat note and a restriction in the Development Agreement:</i></p> <p><i>The following turf landscape restrictions apply.</i></p> <ol style="list-style-type: none"> <li><i>For lots less than or equal to 10,000 square feet, a maximum of thirty-five percent (30%) of the total land area of each residential lot may be turf up to a maximum of 3,000 square feet.</i></li> <li><i>For lots greater than 10,000 square feet and less than or equal to 13,000 square feet, a maximum of thirty percent (25%) of the total land area of each residential lot may be turf up to a maximum of 3,250 square feet.</i></li> </ol>

				<p>iii. Promotes a low water use landscape through the use of drought tolerant plants either from an approved list or as recommended by a landscape design professional.</p> <p>iv. Each residential irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.</p> <p><i>The following have been made Conditions of Approval and will be embedded with the PUD Agreement.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p> <p><b>Staff Comments</b> N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p> <p><b>Staff Comments</b> With vehicular access limited to Silver Star Drive, the Applicant has resolved the issues with the two (2) double frontage lots. Conditions of Approval have also been added requesting that the Applicant a) include a plat note that prohibits vehicular access from Broadford Road, b) create an easement on the joint driveway, and c) designate the joint driveway and parking access lane as unbuildable.</p> <p><i>The proposed plat dedicates a portion of the Broadford Road frontage to the City in an effort to assist with improving the geometry of the road to be uniform around the curve.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p> <p><b>Staff Comments</b> Every proposed lot is buildable.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p> <p><b>Staff Comments</b> The proposed plat includes one (1) flag lot (Lot 2) and is compliant with this standard.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p>

			<b>Staff Comments</b>	<i>All six (6) proposed lots provide frontage on Silver Star Drive, which is platted as a public street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F.</b>	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<b>Staff Comments</b>	<i>N/A – This project is not located within the Townsite Overlay (TO) Zone District.</i>
<b>16.04.070: Orderly Development</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.</b>	<b>Phasing Required:</b> Development of subdivisions shall be phased to avoid the extension of City services, roads, and utilities through undeveloped land.
			<b>Staff Comments</b>	<i>N/A – Phases are not required for this project, given its small scope.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Agreement:</b> Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<b>Staff Comments</b>	<i>N/A – Neither the Applicant nor Staff are requesting that the proposed subdivision be phased.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Mitigation of Negative Effects:</b> No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<b>Staff Comments</b>	<i>The parcel is bifurcated by Silver Star Drive into northern and southern pieces. The Applicant seeks to subdivide the northern piece into five (5) single-family lots ranging in size from 9,620 to 12,027 square feet. The Applicant does not plan to develop the southern parcel, Lot 6, at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>D.</b>	When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact: 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive



				<p>natural resource areas.  The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<p><b>Staff Comments</b></p>	<p>At this time, the Applicant plans to maintain Lot 6 as-is.</p> <p>The Applicant is contemplating an additional application to amend the Colorado Gulch Preserve Annexation, Services, and Development Agreement to augment the stipulations that trigger connection to municipal services—from subdivision to a 10-year timeline, sale, or development of the parcel—and dedicate an additional Star Light Subdivision residence as a community housing unit. Under this model, one (1) community housing unit would be tied to the Planned Unit Development Agreement and waiver of the minimum LR-2 lot size. The other community housing unit would be tied to an amendment of the Colorado Gulch Preserve Annexation, Services, and Development Agreement and provision of municipal water and wastewater connections (or lack thereof) to the proposed Lot 6. Internally, Staff, the City Attorney, and the Applicant Team are working on a solution, which will be reviewed and approved by the Council at a later date.</p>
<p><b>16.04.080: Perimeter Walls, Gates, and Berms</b></p>				
<p><b>Compliant</b></p>			<p><b>Standards and Staff Comments</b></p>	
<p>Yes</p>	<p>No</p>	<p>N/A</p>	<p>City Code</p>	<p>City Standards and <b>Staff Comments</b></p>
<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input checked="" type="checkbox"/></p>	<p>16.04.080</p>	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<p><b>Staff Comments</b></p>	<p>N/A – No perimeter walls, gates, landscape berms, nor retaining walls are proposed.</p>
<p><b>16.04.090: Cuts, Fills, Grading and Drainage</b></p>				
<p><b>Compliant</b></p>			<p><b>Standards and Staff Comments</b></p>	
<p>Yes</p>	<p>No</p>	<p>N/A</p>	<p>City Code</p>	<p>City Standards and <b>Staff Comments</b></p>
<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input checked="" type="checkbox"/></p>	<p>A.</p>	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<p><b>Staff Comments</b></p>	<p>N/A – This project is not located in the Flood Hazard Overlay District nor near stream.</p>
<p><input checked="" type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p>A. 1.</p>	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<p><b>Staff Comments</b></p>	<p>The City Engineer will determine whether a Soils Report is required for this project.</p>
<p><input checked="" type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p>A. 2.</p>	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> <li>a) Proposed contours at a maximum of two (2) foot contour intervals;</li> <li>b) Cut and fill banks in pad elevations;</li> <li>c) Drainage patterns;</li> <li>d) Areas where trees and/or natural vegetation will be preserved;</li> <li>e) Location of all street and utility improvements including driveways to building envelopes; and</li> <li>f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.</li> </ul>
			<p><b>Staff Comments</b></p>	<p>A Grading Plan has been submitted and is under review by the City Engineer.</p>

			<b>B.</b>	<b>Design Standards: The proposed subdivision shall conform to the following design standards:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	<b>Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</b>
			<b>Staff Comments</b>	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan has been submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<b>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</b>
			<b>Staff Comments</b>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 3.</b>	<b>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</b>
			<b>Staff Comments</b>	<i>Erosion control and re-vegetation shall be included in the final design where necessary. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 4.</b>	<b>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</b> <ul style="list-style-type: none"> <li>a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing &amp; Materials (ASTM).</li> <li>c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</li> <li>d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</li> <li>e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</li> </ul>
			<b>Staff Comments</b>	<i>Proposed grading and drainage appear to be adequate for the site but shall meet the approval of the City Engineer, this has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 5.</b>	<b>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</b>
			<b>Staff Comments</b>	<i>A Drainage Plan has been submitted. Storm water will be retained onsite. These have been made Conditions of Approval and will be reevaluated at final design, prior to Final Plat approval.</i>
<b>16.04.100: Overlay Districts</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located within the Hillside Overlay District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located within the Hillside Overlay District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts.
<b>16.04.110: Parks, Pathways and Other Green Spaces</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			A. 1.	Parks:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p><math>P = x \text{ multiplied by } .0277</math></p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<i>Staff Comments</i>	The Applicant is proposing to fulfill this requirement by constructing a portion of the Broadford Road shared-use path. See item A.2. below for further details.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.1.b</b>	<b>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</b>
			<b>Staff Comments</b>	<i>N/A – The proposed subdivision is located within the Limited Residential (LR-2) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<b>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</b>
			<b>Staff Comments</b>	<i>Given the lack of pedestrian and bicycle infrastructure surrounding the site, City Staff would prefer if the Applicant constructed a portion of the Broadford shared-use path instead of a) the construction of a public park, and b) the installation of sidewalks within the subdivision, and proposed sidewalk and crosswalk improvements. Completing the Broadford shared-use path, adjacent to this site, will provide greater connectivity than an island of pedestrian infrastructure on Silver Star Drive.</i>  <i>The exact contribution will be drafted and deliberated by Hailey City Council at a later date. A Condition of Approval has been added, reliant upon approval of the affiliated Planned Unit Development Agreement.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</b> <ul style="list-style-type: none"> <li>a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or</li> <li>b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</li> <li>c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</li> </ul>
			<b>Staff Comments</b>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
			<b>D.</b>	<b>Minimum Requirements:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 1.</b>	<b>Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 2.</b>	<p><b>Neighborhood Park:</b> A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.</p>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a "Pathways" contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 3.</b>	<p><b>Mini Park:</b> A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.</p>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a "Pathways" contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 4.</b>	<p><b>Park/Cultural Space:</b> A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.</p>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a "Pathways" contribution to the Broadford Road shared-use path.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>D. 5.</b>	<p><b>Pathway:</b> Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110(A)2 for further details. The Applicant proposes to fulfill this requirement with a "Pathways" contribution to the Broadford Road shared-use path. Per a Condition of Approval, the pathway contribution shall be approved by the Hailey City Council and built to City standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E.</b>	<b>Specific Park Standards:</b> All Parks shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. 1.</b>	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a "Pathways" contribution to the Broadford Road shared-use path.</i>
			<b>E. 2.</b>	Shall provide safe and convenient access, including ADA standards.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. 3.</b>	<b>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. 4.</b>	<b>Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways, and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. 5.</b>	<b>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. 6.</b>	<b>Shall require low maintenance or provide for maintenance or maintenance endowment.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>F.</b>	<b>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 1.</b>	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110.D.5 for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 2.</b>	<b>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110(A.2) for further information.</i>
			<b>G.</b>	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 1.</b>	<b>Shall meet the minimum applicable requirements required by section D of this section.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 2.</b>	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 3.</b>	<b>The use of the private green space shall be restricted to Parks, Pathways, trails, or other recreational purposes, unless otherwise allowed by the City.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>G. 4.</b>	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<b>Staff Comments</b>	<i>N/A – The Applicant proposes to fulfill this requirement with a “Pathways” contribution to the Broadford Road shared-use path.</i>

			<b>H.</b>	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 1.</b>	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A – The Applicant meets the parks/pathways requirement with the proposed pathway construction contribution.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 2.</b>	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</b>
			<i>Staff Comments</i>	<i>N/A – The Applicant meets the parks/pathways requirement with the proposed pathway construction contribution.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 3.</b>	<b>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction, and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A – The Applicant meets the parks/pathways requirement with the proposed pathway construction contribution.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 4.</b>	<b>In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.</b>
			<i>Staff Comments</i>	<i>N/A – The Applicant meets the parks/pathways requirement with the proposed pathway construction contribution.</i>

#### 16.05: Improvements Required:

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.010</b>	<b>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety, and general welfare.</b>
			<i>Staff Comments</i>	<i>The Applicant plans to construct the infrastructure that is necessary for municipal services, if the project is approved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</b>
			<i>Staff Comments</i>	<i>This standard shall be met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>Preconstruction Meeting:</b> Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C.</b>	<b>Term of Guarantee of Improvements:</b> The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<b>16.05.020: Streets, Sidewalks, Lighting, Landscaping</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.020</b>	<b>Streets, Sidewalks, Lighting, Landscaping:</b> The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>This has been made a Condition of Approval, the City Engineer will review the updated plans prior to Final Plat approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Street Cuts:</b> Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Signage:</b> Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>N/A – No signs are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Streetlights:</b> Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A – No streetlights are planned for this project.</i>
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.030</b>	<b>Sewer Connections:</b> The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval.



				At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			Staff Comments	Staff have no concerns or issues with the proposed wastewater connections at this time. Wastewater connections will be revisited at final design, prior to Final Plat approval.
<b>16.05.040: Water Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			Staff Comments	Staff have no concerns or issues with the proposed wastewater connections at this time. Water connections will be revisited at final design, prior to Final Plat approval.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A – This project is not within the Townsite Overlay (TO) District.
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)
			Staff Comments	Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to Final Plat approval. This has been made a Condition of Approval.
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			Staff Comments	All utilities are shown to be installed underground. A Condition of Approval is included, requesting a 10'-wide easement along the public street frontage and private street for the access to the utility services, as well as for snow storage. The easement shall meet the approval of the City Engineer.
<b>16.05.070: Parks, Green Space</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			Staff Comments	See Section 16.04.110 for further detail.
<b>16.05.080: Installation to Specifications; Inspections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City

				<b>Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</b>
			<b>Staff Comments</b>	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design.</i>
<b>16.05.090: Completion; Inspections; Acceptance</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</b>
			<b>Staff Comments</b>	<i>This standard shall be met per City protocol and before approval of the Final Plat.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</b>
			<b>Staff Comments</b>	<i>N/A – The completion of all major infrastructure by the Applicant is preferred over bonding.</i>
<b>16.05.100: As Built Plans and Specifications</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.100</b>	<b>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)</b>
			<b>Staff Comments</b>	<i>As-built drawings will be required, this has been made a Condition of Approval.</i>

**Summary and Suggested Conditions:** The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Final Plat Application will be forwarded to the Hailey City Council for review.

The following are suggested Conditions of Approval for this Application:

- a) Preliminary Plat approval is contingent upon the approval of the affiliated Planned Unit Development Application.
- b) All Fire Department and Building Department requirements shall be met.
  - i. The width of the parking access lane shall be thirty feet (30') in width and comply with International Fire Code (IFC) requirements.
- c) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- d) The Applicant shall designate and limit vehicular access to Lots 4 and 5 via an easement on the proposed joint driveway.
- e) The Applicant shall dedicate the parking access lane via an easement within the Preliminary Plat of the Star Light Lane Subdivision.
- f) Plat Notes:
  - i. The Applicant shall add a standard plat note stating that, “The joint driveway and parking access lane shall remain unbuildable”.
  - ii. Driveways accessing more than one (1) residential dwelling unit shall be maintained by the owner’s association or in accordance with a plat note.

- iii. The Applicant shall include a plat note that prohibits vehicular access to the lots from Broadford Road, vehicular access to the lots shall be limited to Silver Star Drive.
- iv. The following turf landscape restrictions apply.
  - a. For lots less than or equal to 10,000 square feet, a maximum of thirty-five percent (30%) of the total land area of each residential lot may be turf up to a maximum of 3,000 square feet.
  - b. For lots greater than 10,000 square feet and less than or equal to 13,000 square feet, a maximum of thirty percent (25%) of the total land area of each residential lot may be turf up to a maximum of 3,250 square feet.
  - c. Promotes a low water use landscape through the use of drought tolerant plants either from an approved list or as recommended by a landscape design professional.
  - d. Each residential irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent.
- g) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant's sole expense include, but will not be limited to:
  - i. Permits for the installation of all drywells.
  - ii. Metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
  - iii. An Erosion Control Plan, prior to Final Plat.
  - iv. The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- h) Snow Storage:
  - i. The Applicant shall calculate the required snow storage for the joint driveway and parking access lane and specify the dimensions and locations of the required snow storage easements on the plat, prior to recordation of the Final Plat.
- i) CC&Rs:
  - i. The Applicant shall address the maintenance of utilities, shared green space, and joint use driveways in the subdivision's CC&Rs.
- j) Final Plat Review:
  - i. Drainage facilities, grading, vehicular access, snow storage, and utility easements shall be reviewed and approved by the City Engineer prior to Final Plat approval.
  - ii. Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
  - iii. The location and style of the garages (attached or detached) must be addressed on the Final Plat, drawn and/or in a plat note (per Section 16.08.020 of Code).
  - iv. The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
  - v. Any application and/or subdivision inspection fees due shall be paid prior to recordation of the Final Plat.

**Motion Language:**

**Approval:** Motion to approve a Preliminary Plat Application by Darin and Kathleen Barfuss wherein Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), at the intersection of Silver Star Drive & Broadford Road, is subdivided into six (6) lots within the Limited Residential (LR-2) Zoning District, finding that the application meets all City Standards, and that Conditions (a) through (j) are met.

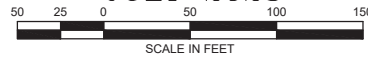
**Denial:** Motion to deny a Preliminary Plat Application by Darin and Kathleen Barfuss wherein Tax Lot 7731 (Hailey Fr S1/2 TI 7731 & TI 7732 Sec 16 2N 18E), at the intersection of Silver Star Drive & Broadford Road, is subdivided into six (6) lots within the Limited Residential (LR-2) Zoning District, finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].



# A PRELIMINARY PLAT SHOWING STAR LIGHT LANE SUBDIVISION

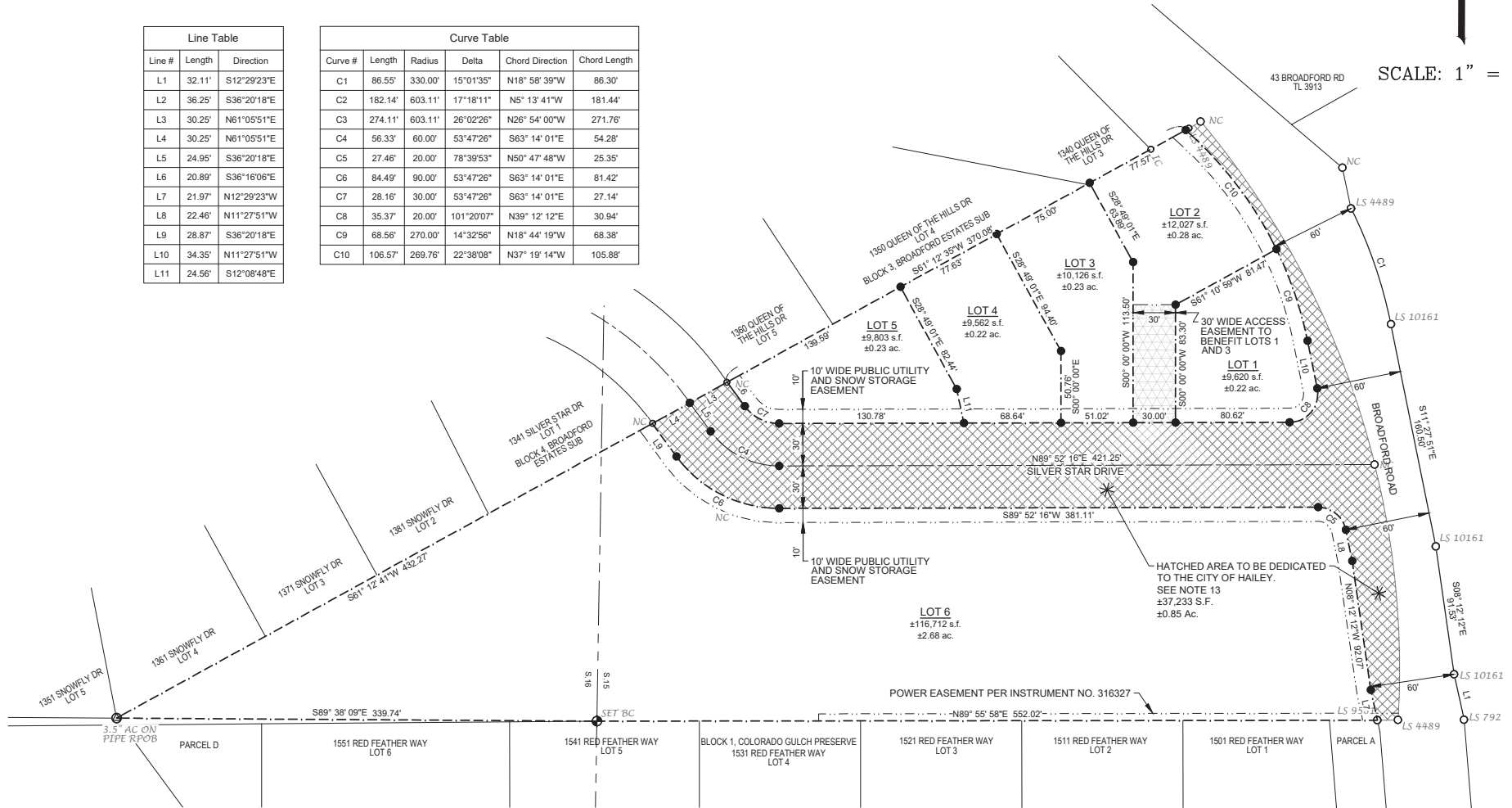
JULY 2023



SCALE: 1" = 50'

Line Table		
Line #	Length	Direction
L1	32.11'	S12°29'23"E
L2	36.25'	S36°20'18"E
L3	30.25'	N61°05'51"E
L4	30.25'	N61°05'51"E
L5	24.95'	S36°20'18"E
L6	20.89'	S36°16'06"E
L7	21.97'	N12°29'23"W
L8	22.46'	N11°27'51"W
L9	28.87'	S36°20'18"E
L10	34.35'	N11°27'51"W
L11	24.56'	S12°08'48"E

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	
C1	86.55'	330.00'	15°01'35"	N18° 58' 39"W	86.30'	
C2	182.14'	603.11'	17°18'11"	N5° 13' 41"W	181.44'	
C3	274.11'	603.11'	26°02'26"	N26° 54' 00"W	271.76'	
C4	56.33'	60.00'	53°47'26"	S63° 14' 01"E	54.28'	
C5	27.46'	20.00'	78°39'53"	N50° 47' 48"W	25.35'	
C6	84.49'	90.00'	53°47'26"	S63° 14' 01"E	81.42'	
C7	28.16'	30.00'	53°47'26"	S63° 14' 01"E	27.14'	
C8	35.37'	20.00'	101°20'07"	N39° 12' 12"E	30.94'	
C9	68.56'	270.00'	14°32'56"	N18° 44' 19"W	68.38'	
C10	106.57'	269.76'	22°38'08"	N37° 19' 14"W	105.88'	



## LEGEND

### EXISTING ITEMS

	Property Line
	Adjoiner's Lot Line
	Section Line
	Centerline
	Found Aluminum Cap
	Found 5/8" Rebar
	Found 1/2" Rebar

### PROPOSED ITEMS

	Lot Line
	Easement, type and width as shown
	Access Easement
	Right-of-way Dedication
	Set 5/8" Rebar
	To be Set Brass Cap, Section Corner



ROBERT O. BREIER, P.L.S. 20893

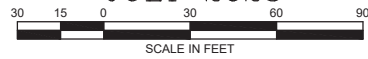
STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

2 OF 5  
Job No. 8337

# A PRELIMINARY PLAT SHOWING STAR LIGHT LANE SUBDIVISION

JULY 2023



SCALE: 1" = 30'

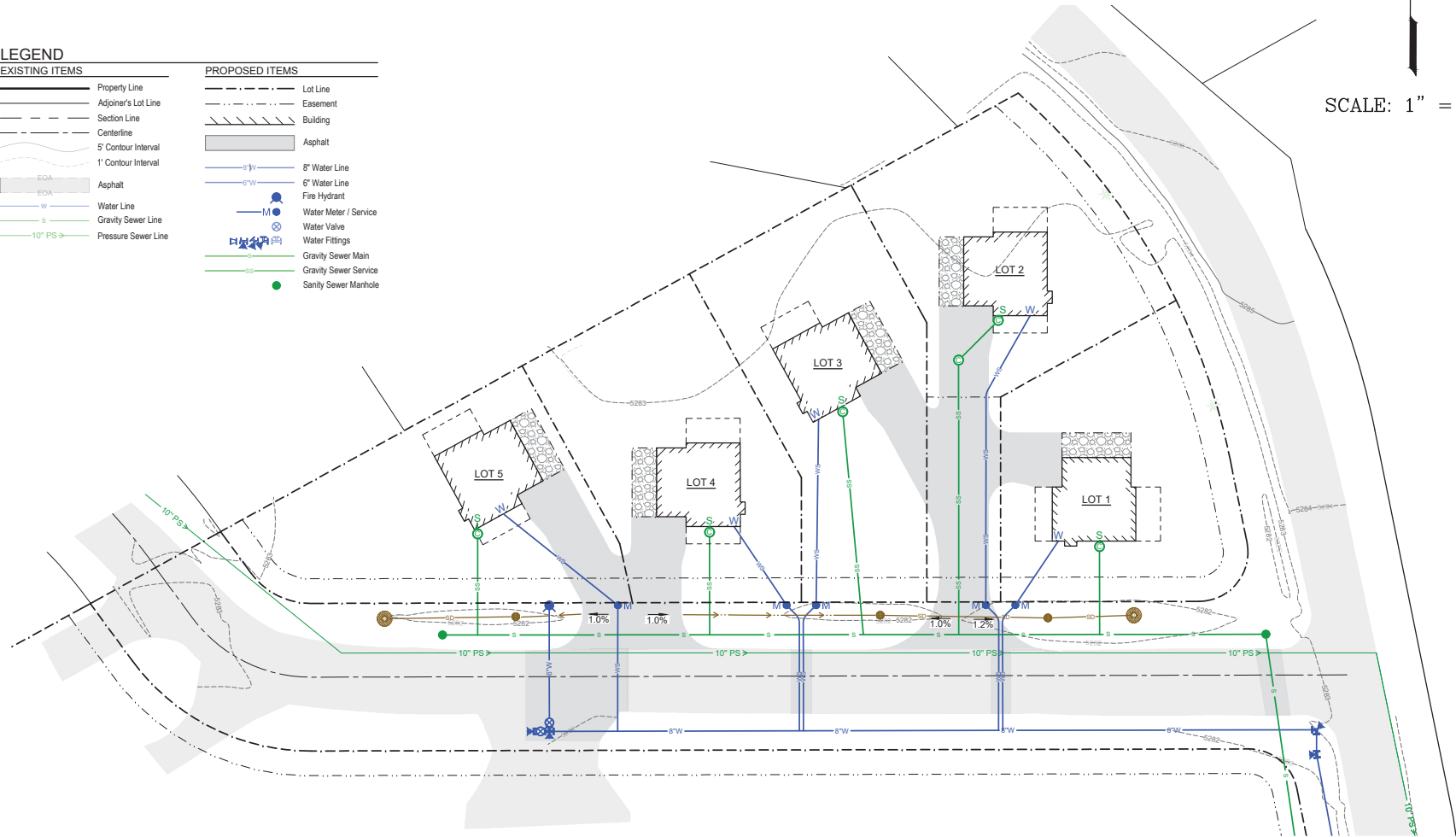
## LEGEND

### EXISTING ITEMS

	Property Line
	Adjoiner's Lot Line
	Section Line
	Centerline
	5' Contour Interval
	1' Contour Interval
	Asphalt
	Water Line
	Gravity Sewer Line
	Pressure Sewer Line

### PROPOSED ITEMS

	Lot Line
	Easement
	Building
	Asphalt
	8" Water Line
	6" Water Line
	Fire Hydrant
	Water Meter / Service
	Water Valve
	Water Fittings
	Gravity Sewer Main
	Gravity Sewer Service
	Sanity Sewer Manhole



## PROPOSED IMPROVEMENT PLAN



ROBERT O. BREIER, P.L.S. 20893

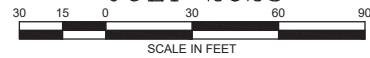
STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

3 OF 5  
Job No. 8337

A PRELIMINARY PLAT SHOWING  
STAR LIGHT LANE SUBDIVISION

JULY 2023



SURVEY NARRATIVE & NOTES

1. The purpose of this plat is to subdivide the property as described on Deed of Trust, Instrument Number 451485, records of Blaine County, Idaho, adjust the alignment of Silver Star Drive, and provide 60ft of Right-of-Way for Broadford Road. All found monuments were accepted as either original or replacements of original corners.
2. Referenced Documents:
  - a. Corporation Warranty Deed, Instrument Number 138243
  - b. Blaine County Commission Resolution (and Order) 9939, Instrument Number 433763
  - c. Deed of Trust, Instrument Number 451485
  - d. Hailey Ordinance No. 1224, Annexation Agreement and Area Legal Description, Instrument Number 647661
3. The distances shown are measured. Refer to the above referenced documents for the previous record data.
4. Unless otherwise shown hereon, this survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, ditches, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
5. Underground utility locations are based on subdivision design drawings, above ground appurtenances and utilities visible at the time of the survey. Utilities should be located prior to any excavation.
6. A Lot Book Report has been issued by Pioneer Title Co., File Number 814591, dated 7/25/2022. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. Some of the encumbrances and easements listed in the title report are NOT plottable hereon. Review of specific documents is required, if further information is desired.
7. All townhouse subplot owners shall have mutual reciprocal easements for existing and future water, sewer, cable tv, telephone, natural gas and electrical lines over, under and across their townhouse sublots for the repair, maintenance and replacement of those services.
8. Buyers and owners are advised that this property is located near the Friedman Memorial Airport. Present and future impacts may be annoying and interfere with the unrestricted use and enjoyment of the property. These noise impacts might change over time by virtue of number of aircraft, louder aircraft, seasonal variations, and time-of-day variations that may change airport, aircraft, and air traffic control operating procedures or layout. The user's own personal perceptions of the noise exposure could change, and his or her sensitivity to aircraft noise could increase.
9. See Page 2 for metes and bounds of proposed sublots.
10. Current and proposed Zoning to remain as "LR-2."
11. All new utilities shall be placed underground.
12. The Declaration of Conditions, Covenants, and Restrictions have been recorded in Blaine County as Instrument Number \_\_\_\_\_.
13. Public Road and Prescriptive Easements described in Blaine County Commission Resolution (and Order) 9939, Instrument Number 433763, and depicted on Sheet 1 are hereby vacated and replaced by the areas proposed for dedication to the City of Hailey as shown on Sheet 2.



ROBERT O. BREIER, P.L.S. 20893

STAR LIGHT LANE SUBDIVISION

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

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Job No. 8337



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