

**AGENDA OF THE
HAILEY CITY COUNCIL MEETING
Monday September 25, 2023 * Hailey City Hall Meeting Room**

ACTION ITEM = a vote may occur but is not required to be taken

ACTION ITEM.....

Hailey City Council Meetings are open to the public. Participants may join our meeting virtually or in-person.

Via teleconference: +1 (872) 240-3311, **Access Code:** 543-667-133

Via One-touch: United States [tel:+18722403311,,543667133#](tel:+18722403311,543667133#),

From your computer, tablet or smartphone: <https://meet.goto.com/CityofHaileyCityCouncil>

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5:30 p.m. - CALL TO ORDER Open Session for Public Concerns

CONSENT AGENDA:

CA 279	Motion to ratify the mayor’s signature on IRS Form 8283 related to the donation of land at 910 N Main Street, which is a portion of the Cobblestone Way Right of Way ACTION ITEM	1
CA 280	Motion to approve Resolution 2023-111, declaring Street surplus property and authorized disposal of equipment ACTION ITEM	9
CA 281	Motion to approve Resolution 2023-112 a resolution authorizing a management agreement with ARCH Community Housing Trust for rental management of a Tiny Home on Wheels ACTION ITEM	13
CA 282	Motion to approve Resolution 2023-113, authorizing contract for services with Mountain Rides ACTION ITEM	20
CA 283	Motion to accept bid from B & G Dirtworks in the amount of \$328,477, for the River and Spruce Street South East Corner Improvements Project, and motion to adopt Resolution 2023-114, authorizing the mayor to sign the Notice of Award and project related documents. ACTION ITEM	29
CA 284	Consideration of Resolution 2023-115, authorizing the Mayor to sign a Grant of License and Alley Maintenance Agreement allowing adjacent property owners to pave and maintain a portion of alley in Hailey Townsite. ACTION ITEM	43
CA 285	Motion to approve the Findings of Fact, Conclusions of Law, and Decision for a Preliminary Plat Application by Pilling Family Trust wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) sublots for single-family cottage units. ACTION ITEM	55
CA 286	Motion to approve minutes of September 11, 2023 and to suspend reading of them ACTION ITEM	83
CA 287	Motion to approve claims for expenses incurred during the month of August 2023, and claims for expenses due by contract in September, 2023 ACTION ITEM	90
CA 288	Motion to approve unaudited Treasurer’s report for the month of August 2023 ACTION ITEM	124

MAYOR’S REMARKS:

MR 000

PROCLAMATIONS & PRESENTATIONS:

PUBLIC HEARING:

PH 289	Consideration of a Proposed Ordinance No. _____, City-initiated Annexation Application to annex a 55-foot-wide section of Quigley Gulch Road, along the southern boundary of the Marvin Gardens No. 1 Subdivision, and adjacent to Quigley Road to complete the portion of Quigley Gulch Road that is owned and maintained by the City of Hailey. A copy of the Annexation Plan can be found at www.haileycityhall.org/community-development/	
	ACTION ITEM	136
PH 290	Consideration of a Preliminary Plat Subdivision Application by ARCH Community Housing Trust, Inc., to subdivide Lot 64, Blok 5, Sunbeam Subdivision Phase I, into eight (8) sublots, each sublot ranging between 3,935 square feet and 6,998 square feet in size. This project is located off of Gray’s Starlight Drive in the Sunbeam Subdivision and is within the Limited Residential (LR-2) Zoning District. This project is to be known as Sunny Townhomes	
	ACTION ITEM	154
PH 291	Consideration of a Proposed Ordinance No. _____, an ordinance increasing water and wastewater late fees from \$2.00 to \$4.00 and an interest at a rate of 12%, dispensing the first and second reading conducting a third reading in full, read by title only and publication thereof.	
	ACTION ITEM	185

NEW BUSINESS:

NB 000

OLD BUSINESS:

OB 292	Motion to adopt the Myrtle Street pathway design concept and if the grant is awarded to accept the grant and direct staff to advance final design drawings.	ACTION ITEM	189
OB 293	Discussion of the proposed Quigley Road Bike Path Project and directing staff for final design.	ACTION ITEM	242
OB 294	Motion to adopt Resolution 2023-116, ratifying the Mayor’s signature on an IDWR diversion application, and update on Water Right 37-22019.	ACTION ITEM	254
OB 295	Matters & Motions from Executive Session, if any.	ACTION ITEM (no documents).....	

STAFF REPORTS: Staff Reports Council Reports Mayor’s Reports

SR 296	Update on Local Only Program with ARCH	ACTION ITEM	297
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EXECUTIVE SESSION: Real Property Acquisition under IC 74-206 (1)(c) or Pending & Imminently Likely Litigation under (IC 74-206(1)(f) or Personnel Matters under (IC 74-206(1)(b)

Matters & Motions from Executive Session or Workshop

Next Ordinance Number - 1333 Next Resolution Number- 2023-**117**

AGENDA ITEM SUMMARY

DATE: 09/25/2023

DEPARTMENT: Admin

DEPT. HEAD SIGNATURE: MHC

-- SUBJECT:

Motion to ratify Mayor’s signature on form 8283 for real property donated to the city by Joan Williams.

-- AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IFAPPLICABLE)

-- BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

-- FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

-- ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IFAPPLICABLE)

- | | | | | | |
|--------------------------|--------------------|--------------------------|---------------------|--------------------------|-----------|
| <input type="checkbox"/> | City Administrator | <input type="checkbox"/> | Library | <input type="checkbox"/> | Streets |
| <input type="checkbox"/> | City Attorney | <input type="checkbox"/> | Mayor | <input type="checkbox"/> | Treasurer |
| <input type="checkbox"/> | City Clerk | <input type="checkbox"/> | Planning | <input type="checkbox"/> | _____ |
| <input type="checkbox"/> | Building | <input type="checkbox"/> | Police | <input type="checkbox"/> | _____ |
| <input type="checkbox"/> | Engineer | <input type="checkbox"/> | Public Works, Parks | <input type="checkbox"/> | _____ |
| <input type="checkbox"/> | Fire Dept. | <input type="checkbox"/> | P & Z Commission | | |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to ratify Mayor’s signature on form 8283 for real property donated to the city by Joan Williams.

ACTION OF THE CITY COUNCIL:

Date : _____

City Clerk _____

Noncash Charitable Contributions

Attach one or more Forms 8283 to your tax return if you claimed a total deduction of over \$500 for all contributed property.

Go to www.irs.gov/Form8283 for instructions and the latest information.

Name(s) shown on your income tax return

Identifying number

JOAN WILLIAMS

9-4902

Note: Figure the amount of your contribution deduction before completing this form. See your tax return instructions.

Section A. Donated Property of \$5,000 or Less and Publicly Traded Securities - List in this section only an item (or a group of similar items) for which you claimed a deduction of \$5,000 or less. Also list publicly traded securities and certain other property even if the deduction is more than \$5,000. See instructions.

Part I Information on Donated Property - If you need more space, attach a statement.

1	(a) Name and address of the donee organization	(b) If donated property is a vehicle, check the box. Also enter the vehicle identification number (unless Form 1098-C is attached)	(c) Description and condition of donated property (For a vehicle, enter the year, make, model, and mileage. For securities and other property, see instructions.)
A		<input type="checkbox"/>	
B		<input type="checkbox"/>	
C		<input type="checkbox"/>	
D		<input type="checkbox"/>	
E		<input type="checkbox"/>	

Note: If the amount you claimed as a deduction for an item is \$500 or less, you do not have to complete columns (a), (f), and (g).

	(d) Date of the contribution	(e) Date acquired by donor (mo., yr.)	(f) How acquired by donor	(g) Donor's cost or adjusted basis	(h) Fair market value (see instructions)	(i) Method used to determine the fair market value
A						
B						
C						
D						
E						

Section B. Donated Property Over \$5,000 (Except Publicly Traded Securities, Vehicles, Intellectual Property or Inventory Reportable in Section A) - Complete this section for one item (or a group of similar items) for which you claimed a deduction of more than \$5,000 per item or group (except contributions reportable in Section A). Provide a separate form for each item donated unless it is part of a group of similar items. A qualified appraisal is generally required for items reportable in Section B. See instructions.

Part II Information on Donated Property

2 Check the box that describes the type of property donated.

- | | | |
|--|---|---|
| a <input type="checkbox"/> Art* (contribution of \$20,000 or more) | e <input checked="" type="checkbox"/> Other Real Estate | i <input type="checkbox"/> Vehicles |
| b <input type="checkbox"/> Qualified Conservation Contribution | f <input type="checkbox"/> Securities | j <input type="checkbox"/> Clothing and household items |
| c <input type="checkbox"/> Equipment | g <input type="checkbox"/> Collectibles** | k <input type="checkbox"/> Other |
| d <input type="checkbox"/> Art* (contribution of less than \$20,000) | h <input type="checkbox"/> Intellectual Property | |

*Art includes paintings, sculptures, watercolors, prints, drawings, ceramics, antiques, decorative arts, textiles, carpets, silver, rare manuscripts, historical memorabilia, and other similar objects.

**Collectibles include coins, stamps, books, gems, jewelry, sports memorabilia, dolls, etc., but not art as defined above.

Note: In certain cases, you must attach a qualified appraisal of the property. See instructions.

3	(a) Description of donated property (If you need more space, attach a separate statement)	(b) If any tangible personal property or real property was donated, give a brief summary of the overall physical condition of the property at the time of the gift	(c) Appraised fair market value
A	3719 SQ FT 910 N MAIN HAILEY, ID	LAND	150,000.
B			
C			

	(d) Date acquired by donor (mo., yr.)	(e) How acquired by donor	(f) Donor's cost or adjusted basis	(g) For bargain sales, enter amount received	(h) Amount claimed as a deduction (see instructions)	(i) Date of contribution (see instructions)
A	04/21	PURCHASE	92,120.		150,000.	03/03/22
B						
C						

LHA For Paperwork Reduction Act Notice, see separate instructions.

Name(s) shown on your income tax return

Identifying number

JOAN WILLIAMS

4902

Part II Partial Interests and Restricted Use Property (Other Than Qualified Conservation Contributions) - Complete lines 4a through 4e if you gave less than an entire interest in a property listed in Section B, Part I. Complete lines 5a through 5c if conditions were placed on a contribution listed in Section B, Part I; also attach the required statement. See instructions.

- 4 a Enter the letter from Section B, Part I that identifies the property for which you gave less than an entire interest
b Total amount claimed as a deduction for the property listed in Section B, Part I: (1) For this tax year (2) For any prior tax years
c Name and address of each organization to which any such contribution was made in a prior year (complete only if different from the donee organization in Section B, Part V, below):
d For tangible property, enter the place where the property is located or kept
e Name of any person, other than the donee organization, having actual possession of the property

Table with 2 columns: Question (5a, 5b, 5c), Yes, No. 5a: Is there a restriction, either temporary or permanent, on the donee's right to use or dispose of the donated property? 5b: Did you give to anyone (other than the donee organization or another organization participating with the donee organization in cooperative fundraising) the right to the income from the donated property or to the possession of the property... 5c: Is there a restriction limiting the donated property for a particular use?

Part III Taxpayer (Donor) Statement - List each item included in Section B, Part I above that the appraisal identifies as having a value of \$500 or less. See instructions.

I declare that the following item(s) included in Section B, Part I above has to the best of my knowledge and belief an appraised value of not more than \$500 (per item). Enter identifying letter from Section B, Part I and describe the specific item. See instructions.

Signature of taxpayer (donor)

Date

Part IV Declaration of Appraiser

I declare that I am not the donor, the donee, a party to the transaction in which the donor acquired the property, employed by, or related to any of the foregoing persons, or married to any person who is related to any of the foregoing persons. And, if regularly used by the donor, donee, or party to the transaction, I performed the majority of my appraisals during my tax year for other persons. Also, I declare that I perform appraisals on a regular basis; and that because of my qualifications as described in the appraisal, I am qualified to make appraisals of the type of property being valued. I certify that the appraisal fees were not based on a percentage of the appraised property value. Furthermore, I understand that a false or fraudulent overstatement of the property value as described in the qualified appraisal or this Form 8283 may subject me to the penalty under section 6701(a) (aiding and abetting the understatement of tax liability). I understand that my appraisal will be used in connection with a return or claim for refund. I also understand that, if there is a substantial or gross valuation misstatement of the value of the property claimed on the return or claim for refund that is based on my appraisal, I may be subject to a penalty under section 6701(b) (aiding and abetting the understatement of tax liability). I affirm that I have not been at any time in the three-year period ending on the date of the appraisal barred from performing appraisals before the Department of the Treasury or the Internal Revenue Service pursuant to 31 U.S.C. 330(c).

Sign Here Appraiser signature Eric Alberdi

Date 8-30-2023

Title Certified General Appraiser - CGA-382

Business address (including room or suite no.) 400 SOUTH MAIN STREET CITY OF HAILEY, ID 83333

Identifying number 40-0000135

Part V Donee Acknowledgment

This charitable organization acknowledges that it is a qualified organization under section 170(c) and that it received the donated property as described in Section B, Part I, above on the following date 03/03/22

Furthermore, this organization affirms that in the event it sells, exchanges, or otherwise disposes of the property described in Section B, Part I (or any portion thereof) within 3 years after the date of receipt, it will file Form 8282, Donee Information Return, with the IRS and give the donor a copy of that form. This acknowledgment does not represent agreement with the claimed fair market value.

Does the organization intend to use the property for an unrelated use? Yes No

Name of charitable organization (donee) CITY OF HAILEY Employer identification number 82-6000201

Address (number, street, and room or suite no.) 115 MAIN STREET SOUTH, SUITE CITY OF HAILEY, ID 83333 City or town, state, and ZIP code

Authorized signature Martha Bunk Mayor Date 9/7/2023



AGENDA ITEM SUMMARY

DATE: 02/28/2022 **DEPARTMENT:** Community Development **DEPT. HEAD SIGNATURE:** LH

SUBJECT: Consideration of a public right-of-way dedication consisting of approximately 3,719 square feet of land located at 910 North Main Street (Hailey Fr SESW Tl 7589 Sec 4 2N 18E) in the Haven Armstrong Subdivision. This donation completes the Cobblestone right-of-way to the City's desired width.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code Title 16
(IF APPLICABLE)

BACKGROUND: On October 1, 2021, the Hailey Planning and Zoning Administrator considered the Application for a Lot Line Adjustment, submitted by Joan A. Williams Revocable Trust, represented by Galena Engineering, wherein Tax Lot 7589 is proposed to be subdivided into Lot 1 and Parcel A. The reconfiguration of the lots would form one lot, Lot 1, comprising of 40,674 square feet, and Parcel A, comprising of 3,719 square feet. Parcel A, required by the Findings of Fact, is to be dedicated to the City of Hailey for the Cobblestone Lane Road Right-of-Way.

As it exists, Cobblestone Lane is substandard. It is not fully dedicated, but is a 38'-wide easement to benefit the City of Hailey. The plat related to Lot 1, Block 1, Gateway Subdivision, the parcel directly east of the subject parcel (Americinn Hotel), dedicated 22' in width to equal a 60'-wide right-of-way during the platting process. The city has found this width to be desirous and by doing the same along the Cobblestone Lane frontage of the subject parcel, Cobblestone Lane would service the community as a complete street. It is also important to note that if any redevelopment were to occur on the site, installation of a sidewalk and curb would also be required from the Applicant.

Attached is a Donation Agreement from the Applicant, as well as a Plat Map showing the location of the subject parcel, Parch A, in relation to the overall parcel, now separated as Lot 1.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: Lisa Horowitz Phone # 788-9815 #13

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

___ City Attorney	___ City Administrator	___ Engineer	___ Building
___ Library	___ planning	___ Fire Dept.	_____
___ Safety Committee	___ P & Z Commission	___ Police	_____
___ Streets	___ Public Works, Parks	___ Mayor	_____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD: Motion to accept the donation and authorize the mayor to sign the Donation Agreement for Parcel A, Haven Armstrong Subdivision, a public right-of-way dedication consisting of approximately 3,719 square feet of land located at 910 North Main Street (Hailey Fr SESW Tl 7589 Sec 4 2N 18E).

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Motion Language:

Approval: Motion to accept the donation and authorize the mayor to sign the Donation Agreement for Parcel A, Haven Armstrong Subdivision, a public right-of-way dedication consisting of approximately

JOAN A. WILLIAMS REVOCABLE TRUST

February 22, 2022

Mayor Martha Burke
City of Hailey
115 Main Street South, Suite H
Hailey, ID 83333

Dear Mayor Burke,

The purpose of this letter is to memorialize the donation of the following property to the City of Hailey by the Joan A. Williams Revocable Trust:

Parcel A, Haven Armstrong Subdivision, City of Hailey, Blaine County, ID

consisting of approximately 3,719 sf of land at 910 N. Main Street, Hailey, ID.

Upon execution below, the City of Hailey hereby accepts this donation effective upon recordation of the Haven Armstrong Subdivision plat.

Very truly yours,



Latham Williams
Property Manager

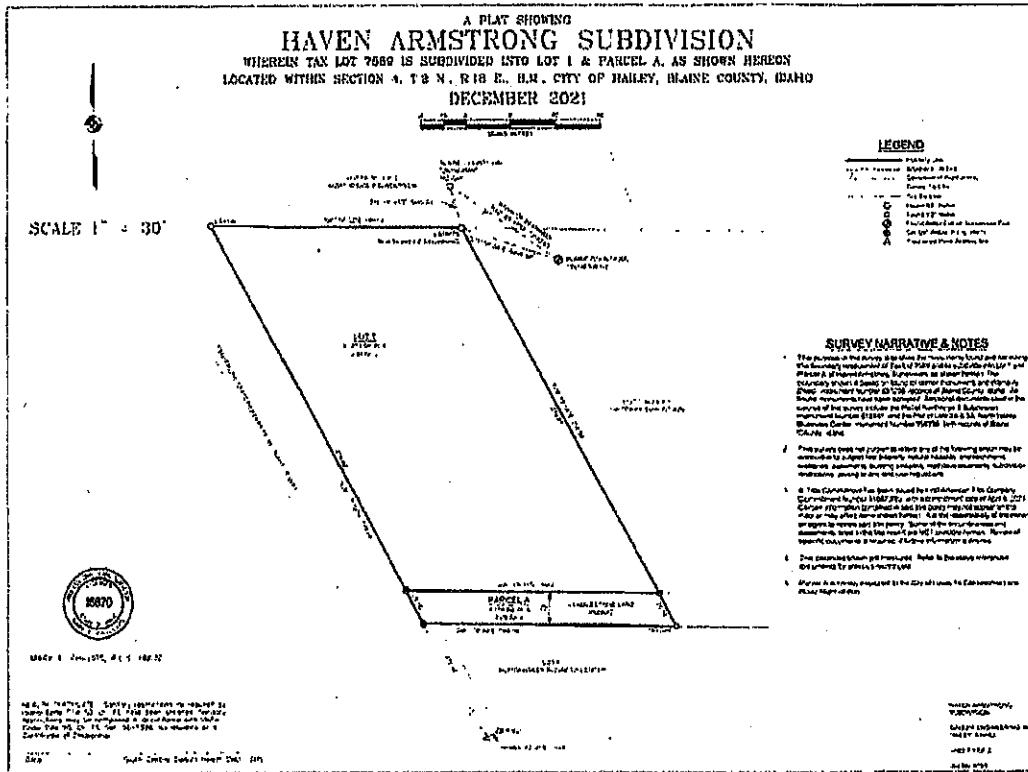


Agreed and accepted:

City of Hailey

By: Martha Burke
Martha Burke, Mayor

Date: 3/3/2022



Plat Map – Showing Subject PARCEL A location in relation to the overall Parcel, now separated and known as Lot 1

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/23 **DEPARTMENT:** Administration **DEPT. HEAD SIGNATURE:** MHC

SUBJECT:

Motion to approve Resolution 2023-____, declaring Surplus Equipment and Office Furniture, authorizing its sale, recycle or disposal.

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

Old street equipment and office chairs have been inventoried for disposal.

The next step is for Mayor and Council to authorize the property as surplus and allow staff to dispose of as outlined in the resolution.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____	YTD Line Item Balance \$ _____
Estimated Hours Spent to Date: _____	Estimated Completion Date: _____
Staff Contact: _____	Phone # _____
Comments: _____	

Caselle

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input checked="" type="checkbox"/> City Clerk	<input type="checkbox"/> Engineer	<input type="checkbox"/> Building
<input checked="" type="checkbox"/> Library	<input type="checkbox"/> Planning	<input type="checkbox"/> Fire Dept.	<input type="checkbox"/> _____
<input type="checkbox"/> Safety Committee	<input type="checkbox"/> P & Z Commission	<input type="checkbox"/> Police	<input type="checkbox"/> _____
<input type="checkbox"/> Streets	<input type="checkbox"/> Public Works, WW	<input type="checkbox"/> Mayor	<input type="checkbox"/> _____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to approve Resolution 2023-____, declaring Surplus Equipment and Office Furniture, authorizing its sale, recycle or disposal.

FOLLOW-UP REMARKS:*

RESOLUTION NO 2023-__

RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF HAILEY IDENTIFYING SURPLUS PROPERTY WITHIN SEVERAL DEPARTMENTS AND AUTHORIZING THE SALE, DESTRUCTION, OR RECYCLING OF SAID PROPERTY.

WHEREAS The City Clerk of the City of Hailey, Idaho is requesting that the following assets be designated as surplus as the assets are no longer required to conduct City business,

WHEREAS The City Clerk of the City of Hailey, Idaho is authorized to dispose of the following items,

Department	Equipment	Brand	Model	Serial
Streets	Sweeper	Johnston	VT650/35439/07/2035	1FAB6BX7DX09472
Office Chairs	Eight (8) older, office chairs	N/a	N/a	N/a

WHEREAS The City Clerk of the City of Hailey, Idaho is requesting that the following assets be designated as surplus as the equipment below are no longer required to conduct City business, NOW THEREFORE BE IT RESOLVED by the City Council of the City of Hailey, Idaho that the following assets are deemed surplus property by the City of Hailey:

The City of Hailey is authorized to take all necessary steps to carry out the authorization provided by this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, that the City of Hailey approves the surplus property and authorizes the Mayor to sign.

Passed this ____ day of September, 2023.

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk



Asset Profile



4099 [2007 JOHNSTON VT650]

Entity Name: STREET DEPARTMENT
 Group Tree: \FLEET\SWEeper
 Category: EQUIPMENT
 Type: SWEEPER
 Budget: 1004041405
 Status: ACTIVE

Serial #: 1FVAB6BVX7DX09472
 Manufacturer: JOHNSTON
 Model: VT650/35439/07/2035
 Vendor:
 Customer:
 Purchase Date: 6/26/2007
 Purchase Cost: \$169,775.00



DEPARTMENT:

LICENSE PLATE EXPIRATION:

Lease End Date:

ENGINE:

HOURS : 2994 05.01.2023

LICENSE: NO PLATE

TITLE:

TRANSMISSION:

WARRANTY END DATE:

Asset Parts

Part #	Part Type	Cost
ISO 32 ARTIC FIRE [HYD OIL]	OIL	BULK CONTAINER \$15.71
ATF DEXTRON 3 [ATF]	OIL	BULK CONTAINER \$23.00
CHEVRON SUPREME 80/90 [GEAR OIL]	OIL	BULK CONTAINER \$8.30
HEAVY DUTY MOLY 5% [GREASE]	GREASE	BULK CONTAINER \$2.78
15W-40 UNITED OIL [DELLO 400 15-40]	OIL	BULK CONTAINER \$17.18
ANTI FREEZE 100% [ANTI FREEZE]	OIL	BULK CONTAINER \$10.93
DURA -LITH GREASE [DURA -LITH GREASE CHEVRON]	GREASE	5 GAL BUCKET
7182 [OIL FILTER]	FILTER	NEW
3533 [FUEL FILTER/REAR ENGINE LARGE]	FILTER	NEW
3531 [FUEL FILTER/REAR ENG SWEEPER]	FILTER	NEW \$19.94
NAPA 6433 [AIR FILTER]	FILTER	NEW \$16.29
3604XE [FUEL FILTER, SWEEPER FRT]	FILTER	NEW \$20.99
3813 [FUEL FILTER, SWEEPER FRT]	FILTER	NEW \$19.49
H6054 [SEALED BEAM HEADLIGHT]	LIGHTING	NEW \$8.96
21 041551JOP650 [MAIN BROOM]	BROOMS	NEW \$500.21
SS547A [HEAT START SELENOID]	PART	NEW
ST 51 [HEAT START SELENOID 12V 3 TERMINAL]	ELECTRICAL	NEW
AVZ 79108 [WIPER FLUID]	PART	NEW \$2.69
NAPA 7750S [REAR ENGINE OIL FILTER]	FILTER	NEW
30227 [main broom]	BROOMS	NEW
93404-1 [SEALING RING, INTAKE TO BODY RED]	PART	NEW
280694-1 [INTAKE DUCT]	PART	NEW
94992-2 [LOWER SUCTION TUBE]	PART	NEW \$427.14
282577-1 [FLAP PLATE]	PART	NEW \$168.50
NAPA 7701 [TRANS FILTER External]	FILTER	NEW \$15.17
15917-1 [TRUNKING EXTENSION]	PART	NEW
30599 [gutter broom]	BROOMS	NEW
283701-1 [pump assembly]	PART	NEW
RE520925 [REAR ENGINE STARTER]	PART	NEW
281777-1 [REAR DOOR SEAL]	GASKETS	NEW
281325-2 [BUSHING]	PART	NEW
123-148 [BOLT]	PART	NEW
425-16 [NUT]	PART	NEW
455-12 [WASHER]	PART	NEW
6625 [AIR FILTER, SWEEPER REAR ENG OUTER]	FILTER	NEW \$49.88

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Community Development **DEPT. HEAD SIGNATURE:** RD

SUBJECT: Motion to approve Resolution 2023-___, authorizing an agreement with ARCH Community Housing trust to manage the Tiny Home on behalf of the City of Hailey.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code Title 16
(IFAPPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

The City of Hailey purchased a Tiny Home to be located at the Hailey fire Station as a community housing rental unit, offered with first priority to Hailey fire staff and paid-on-call fire staff. Staff has reached out to ARCH who has offered to manage the unit on behalf of the City. See the following attached documents:

- 1) Resolution 2023- , Agreement with ARCH Community Housing Trust for the Tiny Home rental.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: Robyn Davis Phone # 788-9815 #2015

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IFAPPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Administrator	<input checked="" type="checkbox"/> Engineer	<input type="checkbox"/> Building
<input type="checkbox"/> Library	<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Fire Dept.	_____
<input type="checkbox"/> Safety Committee	<input checked="" type="checkbox"/> P&Z Commission	<input type="checkbox"/> Police	_____
<input checked="" type="checkbox"/> Streets	<input checked="" type="checkbox"/> Public Works, Parks	<input type="checkbox"/> Mayor	_____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to approve Resolution 2023-_____, authorizing an agreement with ARCH Community Housing Trust to manage the Tiny Home on behalf of the City of Hailey.

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Motion to approve Resolution 2023-_____, authorizing an agreement with ARCH Community Housing Trust to manage the Tiny Home on behalf of the City of Hailey.

Date _____
City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt. /Order Originals: *Additional/Exceptional Originals to: _____
Copies (all info.): Copies
Instrument # _____

**CITY OF HAILEY
RESOLUTION NO. 2023-**

**RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF HAILEY TO ENTER
INTO AN AGREEMENT WITH ARCH COMMUNITY HOUSING TRUST TO
MANAGE A TINY HOME ON BEHALF OF HAILEY AS A COMMUNITY HOUSING
RENTAL UNIT**

WHEREAS, in 2023 the City of Hailey purchased a Tiny Home to be located at the Hailey Fire Department and used as a community housing rental unit with first priority to Hailey full time and paid-on-call firefighters; and

WHEREAS, the City of Hailey desires to contract with ARCH Community Housing Trust to manage the Tiny Home rental unit.

WHEREAS, the City of Hailey and ARCH have agreed to the terms and conditions of the agreement, a copy of which is attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, that the City of Hailey approves the agreement with ARCH Community Housing Trust.

Passed this 25th day of September, 2023

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

**CITY OF HAILEY IDAHO - CONTRACT FOR SERVICES
ARCH COMMUNITY HOUSING TRUST**

THIS AGREEMENT is in effect from September 25, 2023, to October 1, 2024, by and between the City of Hailey, Idaho, a body corporate and politic and a subdivision of the State of Idaho, hereinafter referred to as “The City” and ARCH Community Housing Trust, a non-profit corporation, Blaine County, Idaho, hereinafter referred to as “ARCH”.

RECITALS:

1. The City of Hailey purchased a Tiny Home on Wheels as a community housing rental unit in 2023, which will be installed west of the Hailey Fire station at 617 Third Avenue S and ready for rental on or about October 1, 2023.
2. This City wishes to contract with ARCH for the management of the unit.
3. The City will maintain ownership of the unit and be responsible for the cost of any and all maintenance, repair, and/or replacement of the unit.

NOW, THEREFORE, in consideration of the mutual agreement hereinafter contained and subject to the terms and conditions hereinafter stated, it is hereby understood and agreed by the parties hereto as follows:

AGREEMENT

- A. TERM: This Agreement shall be in full force and effect upon execution. The contract period will be from September 25, 2023, to October 1, 2024.
- B. RENEWAL: Consideration for services shall be reviewed on a yearly basis by both parties.
- C. LEASE AGREEMENT: The parties agree that the standard lease agreement prepared by ARCH, and attached to this Agreement, shall be used for the rental of the unit.
- D. PAYMENTS: The City agrees to compensate ARCH 5% of total rental income per month as a management fee for managing the unit.
- E. RENT: All rent shall be collected by ARCH. Net rent (rent less management fee) shall be remitted to Hailey on an annual basis. Net rent payments from ARCH to The City will be paid no later than September 30 each year.
- F. TENANT SELECTION PROCESS. The tenant selection process shall be conducted first by Hailey with regards to Hailey employees and as per Administrative guidelines promulgated by the City and as may be amended from time to time and attached thereto. If Hailey is not successful in procuring a tenant, ARCH shall advertise the unit to qualified households as per ARCH standard procedure.
- G. Retention of Records. ARCH agrees to retain all financial records, supporting documents, statistical reports, client or membership records and contracts, property records, minutes, correspondence, and all other accounting records or written materials pertaining to this Agreement for three (3) years following the expiration or termination of this Agreement.
- H. Default and Remedies. If either the ARCH or Hailey, after written notice, shall default in the performance or observance of any term, covenant, or condition of this Agreement and if the defaulting party shall not cure or remedy such default with reasonable dispatch within a period not exceeding fifteen (15) days, then the non-defaulting party may pursue any rights it may have by law,

statute, ordinance or otherwise, including but not limited to termination of the Agreement. The rights and remedies provided by this Agreement are cumulative and the use of any one right or remedy by any party shall not preclude nor waive its rights to use any or all other remedies.

I. Miscellaneous Provisions.

A. Notices. All notices to be served pursuant to this Agreement or which are served with regard to this Agreement shall be sent by certified mail, return receipt, to the parties at the following addresses:

City of Hailey	ARCH Community Housing Trust
115 Main Street So.	P.O. Box 1292
Hailey, Idaho 83333	Ketchum, Idaho 8334

All notices of changes of address shall be sent in the same manner.

J. Independent Contractor. Hailey and ARCH hereby agree that ARCH shall perform the Services exclusively as an independent contractor and not as employee or agent of Hailey. The Parties do not intend to create through this Agreement any partnership, corporation, employer/employee relationship, joint venture or other business entity or relationship other than that of independent contractor. ARCH, its agents and employees shall not receive nor be entitled to any employment-related benefits from Hailey including without limitation, workers compensation insurance, unemployment insurance, health insurance, retirement benefits or any benefit that Hailey offers to its employees. ARCH shall be solely responsible for the payment of all payroll and withholding taxes for amounts paid to ARCH under this Agreement and for ARCH's payments for work performed in performance of this Agreement by ARCH, its agents and employees; and ARCH hereby releases, holds harmless and agrees to indemnify Hailey from and against any and all claims or penalties, including without limitation any penalty, which in any manner relate to or arise from any failure to pay such payroll or withholding taxes.

K. Non-Assignment. This Agreement may not be assigned by or transferred by the ARCH, in whole or in part, without the prior written consent of Hailey.

L. Hold Harmless Agreement. ARCH shall indemnify, defend and save and hold harmless Hailey, its officers, agents, and employees, from and against any and all claims, loss, damages, injury or liability, including but not limited to, the misapplication of Hailey funds, state or federal anti-trust violations, personal injury or death, damages to property, liability arising out of the use of materials, concepts, or processes protected by intellectual property rights and liens of workmen and material men, howsoever caused, resulting directly or indirectly from the performance of the Agreement by ARCH.

M. Entire Contract. This Agreement contains the entire contract between the parties hereto and shall not be modified or changed in any manner, except by prior written contract executed by both parties hereto.

- N. Succession. This Agreement shall be binding upon all successors in interest of either party hereto.
- O. No Third-Party Beneficiaries. This Agreement shall not create any rights or interest in any third parties.
- P. Law of Idaho. This Agreement shall be construed in accordance with the laws of the State of Idaho.
- Q. Severability. If any clause, sentence, or paragraph of this Agreement is held by a court of competent jurisdiction to be invalid for any reason, such decision shall not affect the remaining portions, and the parties do now declare their intention that each such clause, sentence, or paragraph of this Agreement is a separate part hereof.
- R. No Waiver. No waiver of any breach by either party of the terms of this Agreement shall be deemed a waiver of any subsequent breach of the Agreement.
- S. Attorney's Fees. In the event either party hereto is required to retain counsel to enforce a provision of this Agreement, to recover damages resulting from a breach hereof or if either party defaults in the performance of this Agreement, the prevailing party shall be entitled to recover from the other party all reasonable attorney's fees incurred herein or on appeal.
- T. Conflict of Interest. No officer or director of ARCH who has decision making authority either by himself or by vote, and no immediate family member of such individual, shall have a direct pecuniary interest in any contract or subcontract for work to be performed in connection with this Agreement. ARCH shall incorporate or cause to be incorporated in all such contracts, a provision prohibiting such interest pursuant to this provision.

IN WITNESS WHEREOF, the parties hereto have caused this Contract for Services to be executed on the day and year first written above.

CITY OF HAILEY

ARCH COMMUNITY HOUSING TRUST

Martha Burke, Mayor

MICHELLE OR board Chair?

ATTEST:

Mary Cone, City Clerk

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Admin **DEPT. HEAD SIGNATURE:** LH

SUBJECT: Motion to approve Resolution 2023-_____, authorizing a contract for services with Mountain Rides Transportation Authority Hailey for FY 2023-24, for an annual amount of \$96,000.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____

(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

Mountain Rides Transportation Authority provides bus and vanpool transportation services in Hailey and Blaine County. A Joint Powers Agreement has been in place for over a decade related to this service, most recently amended in 2019. Services provided by Mountain Rides are funded with Hailey Local Option tax Funds. Hailey is a Resort City under Idaho Code 50-1044 and as such is eligible to collect Local Option tax for services listed in Hailey Municipal Code Section 5.32.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Caselle # _____

Budget Line Item # _____ YTD Line Item Balance \$ _____

Estimated Hours Spent to Date: _____ Estimated Completion Date: _____

Staff Contact: _____ Phone # _____

Comments:

This amount was budgeted in the FY 2023-24 municipal budget.

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

___ City Attorney	___ Clerk / Finance Director	___ Engineer	___ Building
___ Library	___ Planning	___ Fire Dept.	___ _____
___ Safety Committee	___ P & Z Commission	__x_ Police	___ _____
___ Streets	___ Public Works, Parks	___ Mayor	___ _____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to approve Resolution 2023-_____, authorizing a contract for services with Mountain Rides Transit Authority Hailey for FY 2023-24, for an annual amount of \$96,000.

ACTION OF THE CITY COUNCIL:

Date _____
City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record

*Additional/Exceptional Originals to: _____

**CITY OF HAILEY
RESOLUTION NO. 2023-___**

**RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF HAILEY
AUTHORIZING THE EXECUTION OF A CONTRACT FOR SERVICES WITH
MOUNTAIN RIDES TRANSPORTATION AUTHORITY**

WHEREAS, the City of Hailey desires to enter into an agreement with Mountain Rides Transportation Authority (MRTA) under which MRTA will perform bus and van pool transportation services with the City of Hailey utilizing Local Option Tax funds.

WHEREAS, although this service is generally referred to in the Joint Powers Agreement that formed and continues the Mountain Rides Transportation Service quasi-governmental entity, the specific goals to fiscal year 2023-24 are identified in the attached agreement.

WHEREAS, the City of Hailey and MRTA have agreed to the terms and conditions of the Contract for Services, a copy of which is attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, that the City of Hailey approves the Contract for Services between the City of Hailey and Mountain Rides Transportation Authority and that the Mayor is authorized to execute the attached Agreement,

Passed this 25th day of September, 2023 with an effective date of October 1, 2023.

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

CONTRACT FOR SERVICES

Mountain Rides Transportation Authority

THIS CONTRACT FOR SERVICES (“Contract”) is made and entered as of September 15, 2023, by and between the **City of Hailey, Idaho**, a municipal corporation (“City”) and **Mountain Rides Transportation Authority** (“Mountain Rides”), an Idaho Transportation Authority, formed and existing pursuant to a Joint Powers Agreement duly executed, extended, and recorded as Instrument #629888 in Blaine County, Idaho (recorded 9/29/15). This Contract is hereby entered in contemplation of the following findings:

FINDINGS

1. The City of Hailey is a municipal corporation duly organized and existing under the law of the State of Idaho §50-101 et seq.
2. Mountain Rides is an Idaho Transportation Authority formed and existing pursuant to a Joint Powers Agreement duly executed and recorded as Instrument #629888 in Blaine County, Idaho.
3. The City is a resort city as defined by Idaho Code §50-1044, as it derives the major portion of its economic well-being from businesses catering to recreational needs and meeting needs of people traveling to the City for an extended period of time. The City, as a resort city, is eligible to collect a local option non-property tax.
4. Pursuant to Idaho Code §50-301 and §50-302, the City is empowered to enter into contracts and take such steps as are reasonably necessary to maintain the peace, good government and welfare of the City and its trade, commerce, and industry. Accordingly, the City has the power as conferred by the State of Idaho to provide directly for certain promotional activities to enhance the trade, commerce, industry, and economic wellbeing of the City.
5. City Ordinance No. 1035 provides for the imposition of a non-property tax on the sales price of certain property sold or otherwise transferred in the City. Pursuant to the language of the Ordinance, which was approved by the voters of the City, the municipal sales tax revenue derived shall be used for, among other things, public transit and related improvements.
6. Mountain Rides provides an efficient and responsive public transit system which is easily identifiable, is coordinated in a manner to encourage ease of ridership, is charged with planning, and implementing multi-modal transportation technologies, when feasible, and will seek reducing congestion and pollution associated with individual vehicular trips within the City and throughout Blaine County.
7. Mountain Rides’ mission is to establish, implement, maintain, fund, and operate a comprehensive public transportation system by motor buses, vans or other appropriate means, including but not limited to multi-modal transportation systems, on a scheduled or unscheduled and charter basis throughout Blaine County for the benefit of the inhabitants and visitors in Blaine County.
8. The organizational goals of Mountain Rides are consistent with the purposes and findings included in the City’s Ordinance No. 950.
9. Mountain Rides has faithfully and diligently carried out its mission to provide services that promote and enhance the trade, commerce, and industry of the City. It is in the best interests of the public health, welfare, and prosperity of the City to provide regional transportation services.
10. It is the intention of the City to contract with Mountain Rides to provide such services for consideration as hereinafter provided.
11. Mountain Rides desires to enter into a contract with the City to provide transportation services all as hereinafter provided.

NOW, THEREFORE, based on the foregoing Findings, the Parties agree as follows:


1. Services to be Provided by Mountain Rides. Mountain Rides hereby agrees to provide transportation services for the City and to provide public transportation services to residents and visitors to the City and the Mountain Rides service area, within the confines of the Mountain Rides budget. Mountain Rides' FY2024 Service Plan is summarized in Exhibit A. Mountain Rides agrees that it shall provide, at its sole expense, all costs of labor, materials, supplies, business overhead and financial expenses, insurance, fidelity bonds, and all necessary equipment and facilities required to provide the transportation services as set forth in this Contract.
2. Term. The Term of this Contract shall commence October 1, 2023, and terminate September 30, 2024.
3. Consideration.
 - a. In consideration for providing the services herein described, the City agrees to pay to Mountain Rides the total sum of NINETY SIX THOUSAND DOLLARS (\$96,000), payable in four equal quarterly installments on November 17, 2023; February 16, 2024; May 17, 2024; and August 16, 2024. Thirty (30) days in advance of the due dates, Mountain Rides will provide the City an invoice annotating the amount of the installment due. The City shall pay Mountain Rides the amount set forth in each such invoice no later than thirty (30) days after the date of each such invoice.
 - b. The City's contribution to Mountain Rides is part of the Mountain Rides FY2024 Budget to be adopted by the Mountain Rides Board on September 20, 2023. Mountain Rides' FY2024 Operating Budget is summarized in Exhibit B.
 - c. In consideration and as part of this Contract, and upon request, Mountain Rides will provide to Hailey City Council, on or after April 15, 2024, via presentation at a City Council meeting, a mid-year Report including activities, ridership, financial conditions, and other information describing the then-current condition of the transportation system. In addition, Mountain Rides will provide a budget request and, upon request, a report coincident with the City's FY2025 budget deliberations.
 - d. Notwithstanding the requirements per paragraph 3.a. above, the Parties recognize and agree that the City's source of funds for paying for the services contracted herein is local option sales tax ("LOT") revenue. If for any reason the City fails to collect such LOT revenue during the Term of this Contract, the City may, at its option and upon thirty (30) days prior written notice to Mountain Rides, terminate this Contract or adjust the payments to Mountain Rides by reducing its contribution by the same ratio that LOT revenue is below the City's budget for same. If the Contract is terminated by the City per this paragraph, the City shall have no further responsibility to make payment(s) to Mountain Rides under this Contract after the thirty (30) day notice period. If revenue from any of Mountain Rides' funding partners (local government, federal government, fares, or private business funding) identified in the Mountain Rides' FY2024 Budget is not realized, Mountain Rides may adjust its FY2024 Service Plan to balance revenue with expenses. If this occurs, Mountain Rides will notify the City of Service Plan adjustments that may impact transit service within the City, and Mountain Rides and the City will endeavor to establish a Mutually Acceptable Adjusted Service Plan ("MAASP"). If a MAASP cannot be established, the City may terminate this Contract upon thirty (30) days written notice to Mountain Rides.
4. Termination. The City, at its sole discretion, may terminate, with or without cause, this Contract upon one-hundred-eighty (180) days prior written notice to Mountain Rides. In the event of such termination, the City shall make all payments due to Mountain Rides through the end of the 180-day notice period and thereafter shall have no further responsibility to make any payment to Mountain Rides under this Contract. Mountain Rides, in its sole discretion, shall adjust services as may be necessitated as a result of any termination of this Contract.
5. Equal Employment Opportunity. Mountain Rides covenants that it shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, or national origin.

6. Default. In the event either Party fails to perform its responsibilities, as set forth in this Contract during the contract term, this Contract may, at the option of the non-defaulting Party, be terminated. Upon termination under this paragraph, Mountain Rides, in the event it intentionally breaches its responsibilities, shall not be entitled to receive any unpaid installments of the consideration called for in paragraph 3 of the Contract.
7. Independent Contractor Status. The Parties acknowledge and agree that Mountain Rides shall provide its services for the fee specified herein in the status of independent contractor, and not as an employee of the City. Mountain Rides and its agents, employees, and volunteers shall not accrue leave, retirement, insurance, bonding, or any other benefit afforded to employees of the City. The sole interest and responsibility of the City under this Contract is to assure itself that the services covered by this Contract shall be performed and rendered by Mountain Rides in a competent, efficient, and satisfactory manner.
8. Hold Harmless. Any contractual obligation entered into or assumed by Mountain Rides, or any liability incurred by reason of personal injury and/or property damage in connection with or arising out of Mountain Rides' obligations pursuant to this Contract shall be the sole responsibility of Mountain Rides, and Mountain Rides covenants and agrees to indemnify and hold the City harmless from any and all claims or causes of action arising out of Mountain Rides' activities and obligations as set forth hereinabove, including, but not limited to, personal injury, property damage, and employee complaints.
9. Non-Assignment. This Contract may not be assigned by or transferred by either Party, in whole or in part, without the prior written consent of the other Party.
10. Miscellaneous Provisions.
 - a. Paragraph Headings. The headings in this Contract are inserted for convenience and identification only and are in no way intended to describe, interpret, define, or limit the scope, extent, or intent of this Contract or any of the provisions of the Contract.
 - b. Provision Severable. Every provision of this Contract is intended to be severable. If any term or provision hereof is illegal or invalid for any reason whatsoever, such illegality or invalidity shall not affect the validity of the remainder of the Contract.
 - c. Rights and Remedies are Cumulative. The rights and remedies provided by this Contract are cumulative and the use of any one right or remedy by any Party shall not preclude nor waive its rights to use any or all other remedies. Any rights provided to the Parties under this Contract are given in addition to any other rights the Parties may have by law, statute, ordinance or otherwise.
 - d. Successor and Assigns. This Contract and the terms and provision hereof shall inure to the benefit of and be binding upon the heirs, personal representatives, successors and assigns of the Parties hereto.
 - e. Entire Contract. This Contract contains the entire agreement between the Parties respecting the matters herein set forth and supersedes all prior agreements between the Parties hereto respecting such matters.
 - f. Governing Law. This Contract shall be construed in accordance with the laws of the State of Idaho.
 - g. Preparation of Contract. No presumption shall exist in favor of or against any Party to this Contract as a result of the drafting and preparation of the document.
 - h. No Waiver. No waiver of any breach by either Party of the terms of this Contract shall be deemed a waiver of any subsequent breach of the Contract.
 - i. Amendment. No amendment of this Contract shall be effective unless the amendment is in writing, signed by each of the Parties.

IN WITNESS WHEREOF, the Parties have executed this Contract on the day and year first written above.

MOUNTAIN RIDES TRANSPORTATION AUTHORITY

CITY OF HAILEY



Wallace E. Morgus, Executive Director

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

EXHIBIT A

Mountain Rides FY2024 Service Plan



Service	Service Hours	Notes
Blue	11,895.0 hours	Mon - Sun: 7:00am - 12:30am
Valley	15,852.0 hours	Sun - Fri: 6:00am - 12:30am; Sat: 6:00am - 1:00am
Hailey	2,322.0 hours	Mon - Fri: 8:00am - 5:00pm
Red	1,687.0 hours	Nov 23, 2023 - Apr 14, 2024: 8:30am - 5:00pm daily; Summer Music Festival (15 days): 4:00pm - 8:00pm
Bronze	1,024.0 hours	Dec 9, 2023 - Apr 14, 2024: 8:30am - 4:30pm
Silver	2,323.0 hours	Nov 23, 2023 - Apr 14, 2024: 8:00am - 6:30pm; June 29, 2024 - Sep 8, 2024: 9:00am - 5:30pm (plus 5 Wk)
Gold	963.0 hours	Dec 9, 2023 - Mar 24, 2024: 8:00am - 5:00pm
Total	36,066.0 hours	

EXHIBIT B
Mountain Rides FY2024 Operating Budget



	FY24 Budget
Income	
Total 41000 · Federal Funding	\$ 2,077,012
Total 42000 · State Funding	-
Total 43000 · Local Funding	1,988,110
Total 44000 · Fares	200,000
Total 45000 · Other Revenue	90,000
Total 47000 · Private Donations	1,000
48000 - Transfer from Housing Fund	10,000
49000 · Interest Income	3,000
50000 · Excess Operating Funds	100,000
Total Income	\$ 4,469,122
Expenses	
Total 51000 · Payroll Expenses	\$ 3,146,550
Total 52000 · Insurance Expense	194,244
Total 53000 · Professional Fees	39,000
Total 54000 · Equipment/Tools	13,000
Total 55000 · Rent and Utilities	35,000
Total 56000 · Supplies	34,000
Total 57000 · Repairs and Maintenance	53,000
Total 58000 · Communications	45,300
Total 59000 · Travel and Training	33,950
Total 60000 · Business Expenses	16,200
Total 61000 · Advertising	39,409
Total 62000 · Marketing and Promotion	22,000
Total 63000 · Printing and Reproduction	19,000
64000 · Fuel Expense	500,000
Total 65000 · Vehicle Maintenance	187,500
69500 · Contribution to Fund Balance	90,969
Total Expenses	\$ 4,469,122
Net Surplus (Deficit)	\$ -

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 9/25/23

DEPARTMENT: PW

DEPT. HEAD SIGNATURE: BY

- **SUBJECT:** Motion to accept bid from B & G Dirtworks in the amount of \$328,477, for the River and Spruce Street South East Corner Improvements Project, and motion to adopt Resolution 2023-_____, authorizing the Mayor to sign the Notice of Award and project related documents. **ACTION ITEM**

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

This bid is for the work identified under the URA River Street Project. Staff will be requesting that Urban Renewal will reimburse the City of Hailey.

The bidding for this project was completed at 3:00pm on September 14th. One bid was received from B & G Dirtworks in the amount of \$328,477.00. Public Works will work with the contractor to reduce the price immediately after bid award.

Public Works issued a Request for Bids in accordance with Idaho Code 67-2805 (2), on Wednesday, August 23rd. The project was advertised on the City of Hailey website and in the local newspaper on August 23rd and August 30th. The project had an original bid due date of September 7th but was extended to September 14th as set by Addendum No. 1. In addition, several efforts were made for direct outreach via email to the following contractors:

- Apollo Construction
- B&G Dirtworks
- Burks Excavation
- Canyon Excavation
- Idaho Materials and Construction
- Joe's Backhoe
- Lunceford Excavation
- S. Erwin Excavation
- Skyline Excavation
- Sluder Excavation
- Summit Earthworks

Staff recommends authorizing the mayor to sign the Notice of Award, authorize Public Works to move forward with the project, and authorize the Mayor to sign project related documents.

The work is set to commence no later than September, 2023 and must be complete within 61 calendar days unless otherwise extended by contract documents to resume next spring.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS: Caselle # _____

Budget Line Item # _____ YTD Line-Item Balance \$ _____

Estimated Hours Spent to Date: _____ Estimated Completion Date: _____

Staff Contact: _____ Phone # _____

Comments:

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

- | | | |
|---|--|---|
| <input type="checkbox"/> City Administrator | <input type="checkbox"/> Library | <input type="checkbox"/> Benefits Committee |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Mayor | <input type="checkbox"/> Streets |
| <input type="checkbox"/> City Clerk | <input type="checkbox"/> Planning | <input type="checkbox"/> Treasurer |
| <input type="checkbox"/> Building | <input type="checkbox"/> Police | <input type="checkbox"/> Wastewater |
| <input type="checkbox"/> Engineer | <input checked="" type="checkbox"/> Public Works | <input type="checkbox"/> Water |
| <input type="checkbox"/> Fire Dept. | <input type="checkbox"/> P & Z Commission | <input type="checkbox"/> _____ |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to accept bid from B & G Dirtworks in the amount of \$328,477, for the River and Spruce Street South East Corner Improvements Project, and motion to adopt Resolution 2023-____, authorizing the Mayor to sign the Notice of Award and project related documents. **ACTION ITEM**

ACTION OF THE CITY COUNCIL:

Date : _____

City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record *Additional/Exceptional Originals to: _____
Copies (all info.): _____ Copies (AIS only)
Instrument # _____

CITY OF HAILEY
RESOLUTION NO. 2023-____

**RESOLUTION OF THE MAYOR AND CITY COUNCIL FOR THE CITY OF HAILEY
AUTHORIZING A NOTICE OF AWARD, AGREEMENT, AND NOTICE TO
PROCEED WITH B & G DIRWORKS, TO PROVIDE CONSTRUCTION SERVICES
FOR THE RIVER AND SPRUCE STREET SOUTH EAST CORNER IMPROVEMENTS
PROJECT, IN THE AMOUNT OF \$ 328,477.**

WHEREAS, the City of Hailey desires to issue a Notice of Award and enter into an Agreement with B & G Dirtworks, to provide construction services for the River and Spruce Street South East Corner Improvements Project,

WHEREAS, the City of Hailey desires the Contractor to proceed in a timely manner to meet the project schedule, and

WHEREAS, the City of Hailey and B & G Dirtworks, have agreed to the terms and conditions of the Agreement, a copy of which is attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, that the City of Hailey approves the Notice of Award and the Agreement between the City of Hailey and B & G Dirtworks, and that the Mayor is authorized to execute the attached Notice of Award and Agreement, and the Notice to Proceed, contingent on receipt of all required bonds.

Passed this 25th day of September, 2023.

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

BID FORM

PROJECT IDENTIFICATION:

Typetext here

CITY OF HAILEY
2023 RIVER/SPRUCE SOUTH EAST INTERSECTION CORNER IMPROVEMENTS

THIS BID IS SUBMITTED TO:


City of Hailey
115 Main St. S
Hailey, ID 83333

1.01 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an agreement with the CITY OF HAILEY in the form included in the Bidding Documents to perform all work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

2.01 The undersigned Bidder accepts all of the terms and conditions of the Advertisement and/or Invitation to Bid and Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. The Bid will remain subject to acceptance for 60 days after the opening of Bid Proposals, or for such longer period of time that Bidder may agree to in writing upon request of the CITY OF HAILEY.

3.01 In submitting this Bid, the undersigned Bidder represents, as set forth in the AGREEMENT, that:

A. The Bidder has examined and carefully studied the Bidding Documents, the other related data identified in the Bidding Documents, and the following Addenda, receipt of all of which is hereby acknowledged.

<u>Addendum No.</u>	<u>Addendum Date</u>	<u>Initial</u>
<u>1</u>	<u>9-5-23</u>	
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

B. The Bidder has visited the project site and become familiar with and is satisfied as to the general, local and project site conditions that may affect cost, progress, and performance of the WORK.

C. The Bidder is familiar with and is satisfied as to all federal, state and local laws and regulations that may affect cost, progress and performance of the WORK.

D. The Bidder has carefully studied all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the project site. The Bidder acknowledges that the CITY OF HAILEY does not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Bidding Documents with respect to underground facilities at or contiguous to the site.

E. The Bidder does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the work at the price(s) bid and within the times and in accordance with the other terms and conditions of the Bidding Documents.

F. The Bidder is aware of the general nature of work to be performed by the CITY OF HAILEY and others at the project site that relates to the WORK as indicated in the Bidding Documents.

G. The Bidder has correlated the information known to the Bidder, information and observations obtained from visits to the project site, reports and drawings identified in the Bidding Documents, and all additional examinations, investigations, explorations, tests, studies, and data with the Bidding Documents.

H. The Bidder has given the City of Hailey Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and the written resolution thereof by the City of Hailey Engineer is acceptable to the Bidder.

I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance of the WORK for which this Bid is submitted.

4.01 The Bidder further represents that this Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; The Bidder has not solicited or induced any individual or entity to refrain from bidding; and the Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over the CITY OF HAILEY.

4.02 Construction Schedule Coordination: The Bidder, after receipt of NOTICE-TO-PROCEED, shall coordinate with the City of Hailey Engineer to verify the proposed construction start date as indicated in the Agreement. The Contractor shall schedule a pre-construction meeting with the City of Hailey Engineer, to be held prior to commencing construction.

5.01 BID SCHEDULE: The Bidder will complete the WORK in accordance with the Contract Documents for the following price(s):

PROJECT: 2023 RIVER/SPRUCE SOUTH EAST INTERSECTION CORNER IMPROVEMENTS

Material Quantities

#	Item	Unit	Qty	Unit Price	Estimated Cost
1	Contractor mobilization (12% of Construction Bid Items)	LS	1	15,336.17	15,336.17
2	Traffic Control and Detours	LS	1	8,360.25	8,360.25
3	D01 Sawcut asphalt			Incidental to Asphalt 9.11 Removal	2,504.08
4	D01 Existing Asphalt Removal	SY	306	14.10	4,314.78
5	D02 Remove And Dispose of Concrete	SF	68	16.61	1,129.75
6	D03 Site clearing and grubbing	SY	393	41.69	16,386.04
7	D05 Remove and dispose of tree and root ball system	EA	3	862.65	2,587.95
8	Remove sign: Retain and return to owner.	EA	0	NA	
9	Remove & retain sign. To be relocated to new sidewalk (see C09)	EA	0	NA	
10	D06 Remove pavers. Reuse quantity as necessary for regrading (see C12). Return remaining pavers to owner.	SY	1	319.50	319.50
11	Obliterate Pavement Markings	SF	0	NA	
12	Relocate fire hydrant			NA/Incidental to item 11	
13	D04 Remove and dispose of structure	EA	1	3,605.03	3,605.03
14	Remove and retain fence for future re-installation	LF	0	NA	
15	Remove and dispose landscape wall	LF	0	NA	
16	D12 Relocate Utilities (by others). Contractor to coordinate work with utility owner.			NA By Utility Company	
17	Remove and dispose of guard rail			NA/Incidental to Item 16	
18	Cut and remove a portion of hand rail	LS	0	NA	
19	Excavation	CY	231	90.14	20,822.71
20	S01/S02 ITD SP-3 HMA, 1/2" gradation, PG58-28	TON	65	792.36	51,503.40
21	S03a Concrete 6" vertical curb and gutter	LF	85	194.31	16,516.29
22	S03b Concrete curb transition (6" rolled to zero reveal)	LF	52	194.31	10,104.08
23	S03c Concrete zero reveal curb and gutter	LF	40	194.31	7,772.37
24	Concrete curb transition (6" rolled to 6" vertical)	LF	0	NA	
25	Concrete 3 ft wide valley gutter	LF	0	NA	
26	Concrete 6" vertical curb	LF	0	NA	
27	S04 Construct concrete sidewalk: Flat work	SY	178	206.29	36,719.71
28	S04 Construct concrete sidewalk ADA compliant ramps and landing	SY	22	509.28	11,204.23
29	Construct concrete sidewalk non-ADA compliant ramps and landing	SY	0	NA	
30	2"(-) crushed aggregate subbase	TON	171	61.18	10,462.51
31	3/4"(-) crushed aggregate base (4" compacted depth)	TON	88	66.00	5,807.83
32	Pavement Striping (12" crosswalk striping)	LF	0	NA	
33	S09a Pavement Striping (4" \parking)	LF	163	15.69	2,557.05
34	S09b,d Pavement Striping (Thermoplastic crosswalk/stop bar, 24" wide)	LF	129	65.76	8,483.52
35	S09c Pavement Striping (4" red NO- parking)	LF	40	36.74	1,469.70
36	S05 Cast Iron Truncated Dome Detectable Warning Insert	SF	47	159.75	7,508.25
37	Install catch basin	EA	0	NA	

38		12" storm drain pipe	LF	0	NA		
39		Install drywell (6'x6')	EA	0	NA		
40		Install stop / street sign. Use previously removed sign.	EA	0	NA		
1		Construct gravel driveway	SY	0	NA		
42		Relocate fire hydrant	EA	0	NA		
43	S06	Install paver sidewalk / driveway.	SY	8	459.22		3,673.74
44		Reset utility box lid elevation	EA	0	NA		
45		Construct Retaining Wall	SF	0	NA		
46		Install Handrail, painted per City Specifications.	LF	0	NA		
47		Install fence with applicable gates. Use previously removed fence /	LF	0	NA		
48	S10	Install Street light	EA	1	NA		
49		Relocate Street light	EA	0	NA		
50	S09e	Bike Path Symbols Marking (bicyclist, large directional arrow	EA	2	1276.94		2,553.87
51	S09e	Bike Path Crossing Marking (12" stripes with directional teeth)	LF	24	139.57		3,349.64
52	S07	Install Tree Well (Hailey standards)	EA	1	39,311.28		39,311.28
53	S08	Bulbout Landscape Area (Hailey standards)	SF	815	19.97		16,274.53
54		Erosion and Sediment Control	LS	1	NA		
55	B	Contractor Bid Items Contingency Subtotal @ 10%	LS	1	NA		
56		Construction Staking (1.5% of Construction Subtotal)	LS	1	17,838.75		17,838.75
57		Construction Observation (1% of Construction Subtotal)	LS	1	NA		
58		Construction Materials Testing Field Sampling and Lab Work	LS	1	NA		
59		Contract Documents Review and Support (0.5% of Construction	LS	1	NA		
60		Construction Survey	LS	1	NA		
61		Mobilization	LS	1	NA		
Sum of Estimated Costs:					\$328,477.00		

SUM OF ESTIMATED COSTS WRITTEN IN WORDS

Three hundred twenty eight thousand four hundred and seventy seven dollars

(Lowest Total Price will be considered as the low Bidder)

SEE ATTACHED NOTES ON BID FORM - 10

6.01 The Bidder agrees that the WORK will be substantially completed and ready for final payment on or before the dates or within the number of calendar days indicated in the AGREEMENT.

6.02 The Bidder accepts the provisions of the AGREEMENT as to liquidated damages in the event of failure to complete the WORK within the times specified above, which shall be stated in the AGREEMENT.

7.01 The following information is included in this bid package:

- A. Instructions to Bidders
- B. Bid Form
- C. Notice of Award
- D. Agreement
- E. Payment Bond
- F. Performance Bond
- G. Certificate of Insurance
- H. Notice to Proceed
- I. Most current version of Drawings by Galena-Benchmark Engineering, dated August 14, 2023 titled "RIVER STREET IMPROVEMENT PROJECT, SE CORNER OF RIVER ST. AND SPRUCE ST."

7.02 The following documents are attached to and made a condition of this Bid:

A. The Bidder shall include in his Bid the name, or names and address, or addresses, and Idaho Public Works Contractor License Numbers of the Subcontractors who shall, in the event the Bidder secures the Contract, subcontract the plumbing, heating and air-conditioning work, and electrical work under the general Contract; and

B. In addition to subcontractors for plumbing, heating and air-conditioning work, and electrical work, provide the names and addresses of the additional subcontractors, suppliers, individuals or entities called for in the Instructions to Bidders (include Idaho Public Works Contractor License Numbers for any subcontractors).

C. The Bidder and the Bidder's subcontractors must hold a valid Idaho Public Works License prior to the bid due date. The Bidders must submit a list of all subcontractors with their bid.

SUBMITTED on 9-14-23, 2023.

Idaho Public Works Contractor License No. 020749-D-4

Expiration Date 9-30-23

If Bidder is:

An Individual

N

Name (typed or printed): _____

By: _____ (SEAL)
(Individual's signature)

Doing business as: _____

Business address: _____

Phone No.: _____ FAX No.: _____

A Partnership

Partnership Name: _____ (SEAL)

By: _____
(Signature of general partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ FAX No.: _____

A Corporation

Corporation Name: _____ (SEAL)

N

By: _____
(Signature -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____
(CORPORATE SEAL)

Attest _____
(Signature of Corporate Secretary)

Business address: _____

Phone No.: _____ FAX No.: _____

State of Incorporation: _____

Date of Qualification to do business is _____

A Joint Venture

Joint Venturer Name: _____ (SEAL)

By: _____
(Signature of joint venture partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ FAX No.: _____

Joint Venturer Name: _____ (SEAL)

By: _____
(Signature -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ FAX No.: _____

Phone and FAX Number, and Address for receipt of official communications:

(Each joint venturer must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.)

A Limited Liability Company

Limited Liability Company Name: B & G Dirt Works LLC (SEAL)

By: 
(Signature -- attach evidence of authority to sign)

Name (typed or printed): Scott Goitiandia

Title: Managing Member

Attest 
(Signature of Member/Manager)

Business address: P.O. Box 3190 Hailey, ID 83333

Phone No.: 208-720-3188 FAX No.: _____

State of Organization: Idaho

Date of Qualification to do business is 10-24-2000

NOTES:

1. Any item number with NA does not pertain to this job or requires further detail.
2. All items must be reviewed prior to notice of award and acceptance of bid for bid to be valid.

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/23

DEPARTMENT: PW

DEPT. HEAD SIGNATURE: BY

SUBJECT: Consideration of Resolution 2023-___, authorizing the Mayor to sign a Grant of License and Alley Maintenance Agreement allowing adjacent property owners to pave and maintain a portion of alley in Hailey Townsite. **ACTION ITEM**

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IFAPPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

Home owners and residents in the Hailey Townsite enjoy alley access to their properties. The alleys are in various states of maintenance and repair. The City has undertaken paving and improvement projects over the last many years to improve and clear these rights of way; while citizens have increasingly taken it upon themselves to maintain winter access to rear loaded garages. In keeping with this trend property owners, as described in the attached documentation, desire to pave and maintain a portion of alley to improve and beautify that portion of alley allowing access to their garages.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS: Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: _____ Phone # _____
Comments: _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IFAPPLICABLE)

- | | | |
|---|--|---|
| <input type="checkbox"/> City Administrator | <input type="checkbox"/> Library | <input type="checkbox"/> Benefits Committee |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Mayor | <input type="checkbox"/> Streets |
| <input type="checkbox"/> City Clerk | <input type="checkbox"/> Planning | <input type="checkbox"/> Treasurer |
| <input type="checkbox"/> Building | <input type="checkbox"/> Police | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Engineer | <input checked="" type="checkbox"/> Public Works | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Fire Dept. | <input type="checkbox"/> P & Z Commission | <input type="checkbox"/> _____ |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to adopt Resolution 2023-___, authorizing the Mayor to sign a Grant of License and Alley Maintenance Agreement. **ACTION ITEM**

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Date _____

City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record
Copies (all info.): _____
Instrument # _____

*Additional/Exceptional Originals to: _____
Copies (AIS only)

**CITY OF HAILEY
RESOLUTION NO. 2023-___**

RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF HAILEY AUTHORIZING THE MAYOR TO SIGN A GRANT OF LICENSE AND ALLEY MAINTENANCE AGREEMENT WITH NANCY GLENN AND DONALD KELLER, TO ALLOW THE LICENSEES TO PAVE AND MAINTAIN A LINEAR FOOT PORTION OF THE ALLEY ADJACENT TO LOT 19A OF BLOCK 59 HAILEY TOWNSITE, ACCORDING TO THE OFFICIAL PLAT THEREOF RECORDED MARCH 2015, RECORDS OF BLAINE COUNTY, IDAHO

WHEREAS, the City of Hailey, owns and maintains rights-of-way within boundaries, including certain alleys, and

WHEREAS, the City of Hailey, pursuant to Hailey City Code 16.04.40A. has adopted certain uniform standard specification for alley construction, and

WHEREAS, the city of Hailey does not have a policy to pave or plow alleys in residential neighborhoods, and

WHEREAS, the owners of the parcel of real property, above described, located in the Hailey Townsite, a residential neighborhood desire to pave and maintain the alley adjacent to their property to improve access to the property, and

WEREAS, the City of Hailey is willing to accept said paving and maintenance in accordance with the terms and specifications contained in Grant of License and Alley Maintenance Agreement, attached hereto, and made a part hereof.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY THAT HEREBY AUTHORIZES THE MAYOR TO SIGN A GRANT OF LICENSE AND ALLEY MAINTENANCE AGREEMENT WITH NANCY GLENN AND DONALD KELLER, TO ALLOW THE LICENSEES TO PAVE AND MAINTAIN A LINEAR FOOT PORTION OF THE ALLEY ADJACENT TO LOT 19A OF BLOCK 59 HAILEY TOWNSITE IN CITY OF HAILEY, ACCORDING TO THE OFFICIAL PLAT THEREOF RECORDED MARCH 2015, RECORDS OF BLAINE COUNTY, IDAHO

Passed this 25th day of September, 2023.

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

Recording Request by and
When Recorded Return to:

City of Hailey
115 South Main Street Suite H
Hailey, Idaho 83333

For Recording Purposes
Do Not Write Above This Line

GRANT OF LICENSE AND ALLEY MAINTENANCE AGREEMENT

This maintenance agreement (“Agreement”) is made and entered into as of the _____ day of _____ 202____, the (“Effective Date”) by and between the CITY OF HAILEY, an Idaho Municipal corporation (“the City”), who is the owner of the alley between Second and Third Avenue, adjacent to Spruce and Silver Streets and as more specifically delineated on **Exhibit “A”** (hereinafter “ Alley Development”) attached hereto, and Nancy F. Glenn and Donald J. Keller who are the owners of that certain parcel of real property adjacent to said alley, being Hailey LOT 19A, BLK 59, Hailey Townsite (herein “Owners”) as more specifically delineated on Alley Development reflected in **Exhibit “A”** attached hereto.

1. **Grant of License** - The City hereby grants to Owner and its agents, employees, contractors, subcontractors, (collectively “Agents”), subject to the conditions and covenants set forth in this Agreement as of the _____ day of September 2023, (hereinafter the “Commencement Date”), a revocable license over and right of entry on and use of the Alley for the purpose of vehicular and pedestrian ingress, egress and access to the Development, including installation of asphalt, and for the maintenance , snow removal and repair of the Alley. The Alley shall always be open and available to the public, and the City shall have exclusive authority with respect to all parking restrictions and enforcement.
2. **License Revocable** - This Agreement and the right to use the Alley granted hereunder are revocable. City shall provide Owner with 60 days’ notice if the Agreement is to be terminated. Owner understands and agrees that by entering into this Agreement Owner obtains no claim or interest in said City property, which is adverse to that of the City, that Owner obtains no exclusive right to said City property nor any other right to use the City property not specifically described herein.
3. **Prior Rights** - This grant is made subject to and subordinate to the prior and continuing rights and obligations of the City, its successors and assigns, and the general public, to use the Alley in the performance of its municipal operations; provided, however, that such use shall not materially interfere with the use of the Alley by the Owner for the Permitted Use. This Agreement is subject to all licenses, leases, easements, restrictions, conditions, covenants, encumbrances, liens and claims of title which may affect the Alley as of the Effective Date, and the word “grant” shall not be construed as a covenant against the existence of any of the foregoing.
4. **Term** - The term of the Agreement shall commence on the Commencement Date and shall be in effect until the City provides notice the Agreement is terminated.
5. **Permits, Licenses and Approvals** - As a condition to Owner’s right to use the Alley for the Permitted Use, Owner shall obtain any required permits, licenses, and approvals from the City and any other governmental agencies having jurisdiction over Owner’s use to the Alley. Owner shall maintain such permits, licenses, and approvals in force throughout the term of this Agreement. Owner shall be solely responsible for any and all fees, charges, or other expenses that may be imposed by any regulatory agencies in connection with Owner’s use or enjoyment of the Alley.

6. **Condition of Property** - The City makes no warranty or representation of any kind concerning the condition of the Alley or the fitness of the Alley for the Permitted Use, and hereby disclaims any personal knowledge with respect thereto, it being expressly understood by the parties hereto that Owners have personally inspected the Alley, knows its condition and accept it as is.

7. **Alterations Repair and Maintenance-**

- a) Owners shall install, at their sole cost and expense, asphalt on the length of alley development, of ten feet (10') in width, and _____ feet (_____) in length, to a design pursuant to City Standard Specifications, to be inspected and approved by the City by the City Engineer, to his/her sole subjective satisfaction.
- b) Owners agrees, at its sole cost and expense, to keep the Alley in reasonably safe, clean, and sightly condition, reasonably free from waste and snow to the reasonable satisfaction of the City. Owners agree, at their sole cost and expense, to perform snow removal for the portion of the alley adjacent to the Development for a width of ten feet (10') and to place all removed snow at the southern portion of the Alley as identified in **Exhibit A**. Only snow removed by the Owners or their agents, from the Alley, shall be permitted to be stored in the Alley. In the event the City determines the Alley must be open during the winter, Owners shall identify an alternative snow storage area. Owners shall perform all repairs and maintenance to the Alley covered by this Agreement.
- c) The Owners shall perform maintenance and snow removal in accordance with this Agreement. The City shall not be responsible for maintenance, repairs and snow removal in the Alley. If Owners fails to keep the Alley in the condition required under this Section 7, then the City may, after ten (10) days written notice to Owner and a five (5) day opportunity to cure said problem, perform the necessary work at the expense of Owners, which expense Owners agrees to pay to the City upon written demand.
- d) All alterations, maintenance and repairs by Owners upon the Alley shall be performed in a good manner reasonably satisfactory to the City.
- e) Any open holes shall be satisfactorily covered at all times when Owners' Agents are not physically working in the vicinity of such holes. Upon completion of work, all such holes shall be filled in to meet the surrounding ground level and the Alley shall be left in a neat and safe condition reasonably satisfactory to the City.
- f) Owners shall not suffer any mechanic's or materialman's liens of any kind to be enforced against the Alley for any work done or materials furnished at Owners' request. If any such liens are filed, Owner shall bond or remove them within sixty (60) days of learning of the same, at Owner's expense, and shall pay any judgment which may be entered in connection therewith.

g) Should Owners fail, neglect or refuse to do so, the City, after giving Owner twenty (20) Business day's written notice shall have the right to pay any amount required to release any such liens or to defend any action brought and to pay any judgment entered. Owners shall be liable to the City for all costs, damages, reasonable attorney's fees and any amounts expended in defending any proceedings or in payment of any of said liens or judgment. The City may post and maintain upon the property notices of non-responsibility as provided by applicable law.

8. **Permitted Uses and Restriction of Use** - The Owners may use the alley for the purpose of vehicular and pedestrian ingress, egress and access to the Development, including installation of road mix and for the maintenance, snow removal and repair of the Alley. The Alley shall be open and available to the public at all times, except in winter when a portion of the Alley is used for snow storage, and the City shall have exclusive authority with respect to all parking restrictions and enforcement. Owners agree not to conduct any activities on or about the Alley that constitute waste or nuisance or any activities which constitute a continuing or repeated and unreasonable annoyance of which the City is notified by the owners or occupants of neighboring property or other members of the public.

9. **Indemnification** - In consideration of City allowing Owners to construct and maintain the Improvements on City property, Owner agrees to indemnify and hold harmless City from and against any and all claims of liability for any injury or damage to any person or property arising from the Improvements constructed, installed and maintained on City property. Owners shall further indemnify and hold City harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owners' part to be performed under this Agreement, or arising from any negligence of part to be performed under this Agreement, or arising from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action of proceeding brought thereon. In the event any action or proceeding is brought against City by reason of such claim, Owners, upon notice from City, shall defend City at Owners' expenses by counsel and satisfactory to City. Owners, as a material part of the consideration to City, hereby assumes all risk of damages to property or injury to person in, upon or about the Improvements constructed, installed and maintained of said Improvements and Owners hereby waives all claims in respect thereof against City.

10. **Compliance with Laws** - The Permitted use of the Alley shall conform to all applicable zoning laws and regulations. Owners shall comply, at Owner's expense with all applicable laws, regulations, rules and orders with respect to the use of the Alley, regardless of when.

11. **Notices** - All notices required or permitted to be given under this Agreement shall be in writing and mailed postage prepaid by certified or registered mail, return receipt requested, or by personal delivery or by overnight courier, to the appropriate address indicated below or at such other place or places as either party may from time to time designate in written notice given to the other. Notices shall be deemed

sufficiently served four days after the date of mailing or upon personal delivery.

The City:

To Owners:

City of Hailey
115 S. Main St. STE H
Hailey, Idaho 83333

Nancy Glenn and Don Keller
412 N. Second Ave.
Hailey, Idaho 83333

12. **No Waiver** - No waiver of any default or breach of any covenant of this Agreement by either party shall be implied from any omission by either party to take action on account of such default other than the default specified in the waiver, and then the waiver shall be operative only for the time and to the extent stated. Waivers of any covenant, term or condition by either party shall not be construed as waivers of any subsequent breach of the same covenant, term or condition. The consent or approval by either party to or for any act by either requiring further consent or approval shall not be deemed to waiver or render unnecessary that party's consent or approval to or of any subsequent similar acts.

13. **Severability** - Each provision of the Agreement is intended to be severable. If any term or provision of this Agreement shall be determined by a court of competent jurisdiction to be illegal or invalid for any reason whatsoever, such provision shall be severed from this Agreement and shall not affect the validity of this Agreement.

14. **Attorney's Fees/Jury Waiver** - If any legal proceedings should be instituted by either of the parties to enforce the terms of this Agreement or to determine the rights of the parties under this Agreement. The party in the proceeding shall receive, in addition to all court costs, reasonable attorney's fees.

15. **No Costs to the City** - Except as expressly set forth in this Agreement to the contrary, Owners shall bear all costs and expenses of any kind or nature in connection with owner's use of the Alley.

16. **Waiver of Liability** - Neither the City nor any of its council members, commissions, departments, boards, officers, agents or employees, when acting of the City behalf, shall be liable for any damage to the property of Owners or their Agents of for any bodily injury or death to such persons resulting or arising from the condition of the Alley or its uses by or if damage occurs before the Effective Date, unless caused by the intentional acts of the City nor any of its council members, commissions, departments, boards, officers, agents o employees.

17. **No Discrimination** - Owners shall not, in the operational and use of the Alley, discriminate against any person or group of persons solely because of race, color, creed, national origin, ancestry, age, sex, or disability.

18. **Governing & Law** - The rights and liability of the parties under this Agreement shall be interpreted in accordance with the laws of the State of Idaho. The venue shall be in the Idaho 5th Judicial District, Blaine County, Idaho.

19. **Taxes** - Any and all real property tax or any other form of tax assessed or

On this __ day of _____, 202__, before me, the undersigned Notary Public in and for said State, personally appeared Martha Burke, known or identified to me to be the Mayor of the CITY OF HAILEY, IDAHO, and the person who executed the foregoing instrument on behalf of said municipal corporation and acknowledged to me that said municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

Nancy F. Glenn, Individually

Donald J. Keller

STATE OF IDAHO)
County of Blaine)

On this __ day of _____, 202__, before me, the undersigned Notary Public in and for said State, personally appeared Nancy F. Glenn, a person known to me and the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

STATE OF IDAHO)
County of Blaine)

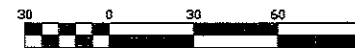
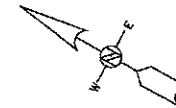
On this ___ day of _____, 202__, before me, the undersigned Notary Public in and for said State, personally appeared Donald J. Keller, a person known to me and the person who executed the foregoing instrument and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

PLAT SHOWING
LOT 19A AND 21AA, BLOCK 59, HAILEY TOWNSITE.

WHEREIN THE INTERIOR LOTS LINES OF LOTS 18, 19 & 20 ARE ELIMINATED AND THE LOT LINE BETWEEN SAID LOTS AND LOT 21A IS AMENDED AS SHOWN.
 LOCATED IN SECTION 9, T2N. R18E. B.M., CITY OF HAILEY. BLAINE COUNTY, IDAHO.
 MARCH, 2015



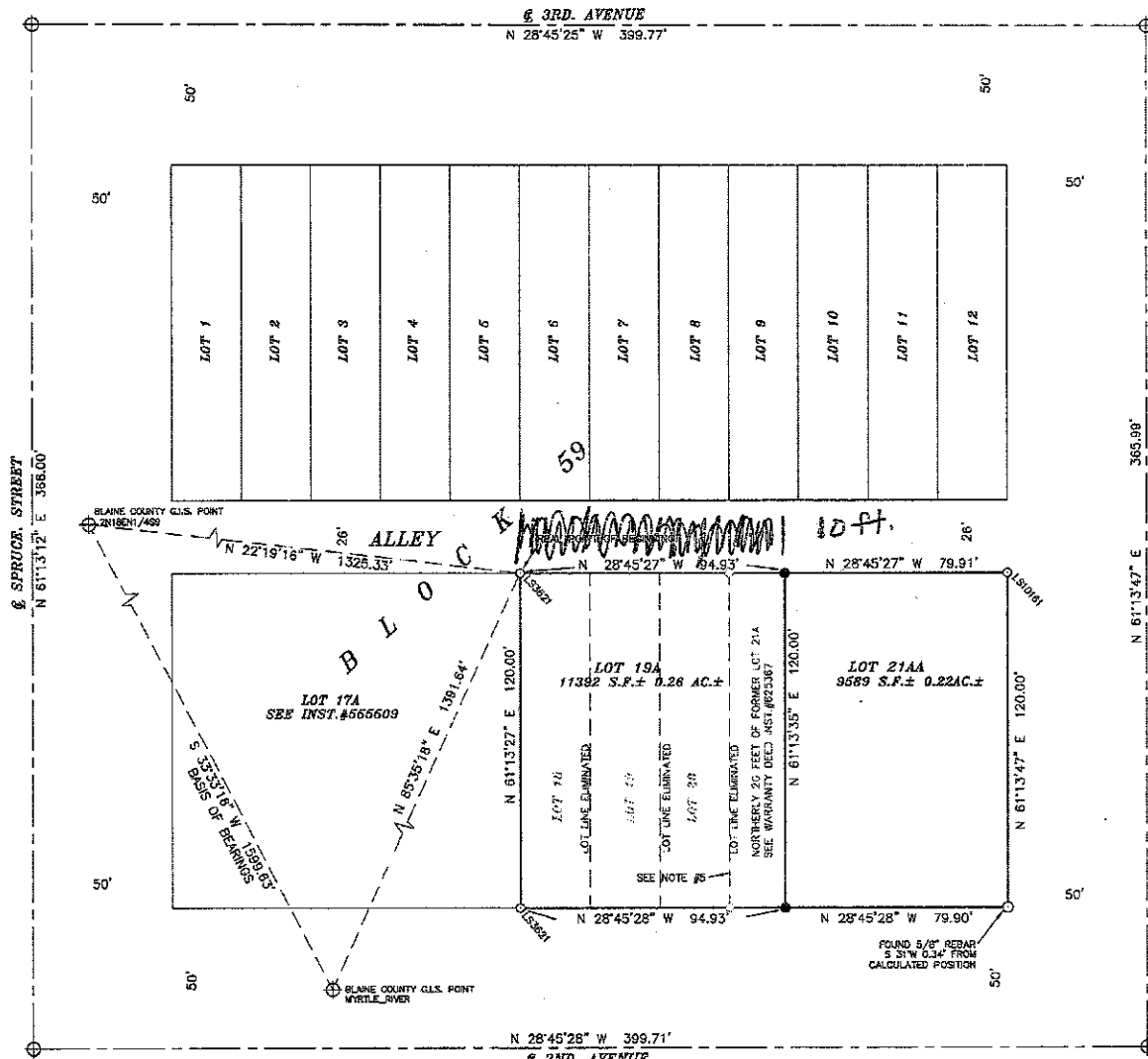
SCALE 1"=30'

LEGEND

- Property Boundary
- ⊕ Found Aluminum Cap
- Found 1/2" rebar
- Found 5/8" rebar
- Set 5/8" Rebar w/ Cap

NOTES:

1. REFERENCE SURVEYS: INSTRUMENT #'s 537916, 555809.
2. CURRENT ZONING: GENERAL RESIDENTIAL (GR), WITHIN TOWNSITE OVERLAY (TO) DISTRICT.
3. ADDRESS: 400 AND 412 NORTH SECOND AVENUE.
4. THE CENTER OF THE ALLEY WITHIN BLOCK 59 IS THE CURRENT DIVIDING LINE BETWEEN LR 1 AND GR ZONING PER CITY ZONING MAP.
5. LOT LINE BETWEEN FORMER LOT 20 AND 21A AMENDED HEREON. SEE INST.#537916 FOR LOT 21A LOT LINE SHIFT PLAT.



HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Date: 5-8-2015
Robert W. Wilson
 South Central District Health Dept., EHS



PREPARED BY:
ORION SURVEYING PLLC
 SURVEYING AND MAPPING
 P.O. BOX 695
 BELLEVUE, IDAHO 83313
 (208) 721-3849

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Community Development **DEPT. HEAD SIGNATURE:** RD

SUBJECT: Motion to approve the Findings of Fact, Conclusions of Law, and Decision for a Preliminary Plat Application by Pilling Family Trust, represented by Manya Yamada, wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) sublots for single-family cottage units. This project is located along the public streets of San Badger Drive, Eclipse Street, and Sunbeam Street within the Limited Residential (LR-1) Zoning District.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code Title 16
(IF APPLICABLE)

BACKGROUND: The proposed Panorama Point Subdivision is within Phase I of the Sunbeam Subdivision, which received its Final Plat approval on April 12, 2021. The Final Plat of Phase I of the Sunbeam Subdivision subdivided Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey into 85 primary dwelling units on 70 lots. Per the subdivision’s plat and Planned Unit Development (PUD) Agreement (recorded on June 29, 2020; Instrument #670234), Phase I includes three (3) cottage lots that are required to develop a total of 18 cottage units.

The Council, having first seen this application in February 2023, requested that the Applicant amend the plat to consolidate vehicular access to the ten (10) cottage sublots, retain the common open space, and reduce the unit sizes of each dwelling. Specifically, the Applicant consolidated the seven (7) separate driveways into (1) parking access lane, retained the common open space for tenants of the development, and reduced unit sizes overall.

The Council appreciated the Applicant’s collaboration and found the project to be better designed and more beneficial for Hailey’s community. At the September 11, 2023 public hearing, the Council approved the Pilling Family Trust’s request to subdivide the 1.02 acres of two (2) cottage lots, Lots 41 and 49, into ten (10) sublots between 0.07 and 0.14 acres in size.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: Robyn Davis Phone #: 788-9815 #2015

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Administrator	<input checked="" type="checkbox"/> Engineer	<input type="checkbox"/> Building
<input type="checkbox"/> Library	<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Fire Dept.	_____
<input type="checkbox"/> Safety Committee	<input checked="" type="checkbox"/> P&Z Commission	<input type="checkbox"/> Police	_____
<input checked="" type="checkbox"/> Streets	<input checked="" type="checkbox"/> Public Works, Parks	<input type="checkbox"/> Mayor	_____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD: Motion to approve the Findings of Fact, Conclusions of Law, and Decision for the Preliminary Plat Application by Pilling Family Trust, wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) cottage sublots.

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Motion Language: Motion to approve the Findings of Fact, Conclusions of Law, and Decision for the Preliminary Plat Application by Pilling Family Trust, wherein two (2) cottage lots in Sunbeam Subdivision

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On September 11, 2023, the Council considered and approved the Preliminary Plat Application by Pilling Family Trust, represented by Manya Yamada, wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) sublots for cottage units. This project is located along the public streets of San Badger Drive, Eclipse Street, and Sunbeam Street within the Limited Residential (LR-1) Zoning District.

FINDINGS OF FACT

Background: The proposed Panorama Point Subdivision is within Phase I of the Sunbeam Subdivision, which received its Final Plat approval on April 12, 2021. The Final Plat of Phase I of the Sunbeam Subdivision subdivided Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey into 85 primary dwelling units on 70 lots. Per the subdivision's plat and Planned Unit Development (PUD) Agreement (recorded on June 29, 2020; Instrument #670234), Phase I includes three (3) cottage lots that are required to develop a total of 18 cottage units.

At the Council hearing on September 11, 2023, the Pilling Family Trust, represented by Manya Yamada, proposed to subdivide the 1.02 acres of two (2) cottage lots, Lots 41 and 49, into ten (10) sublots between 0.07 and 0.14 acres in size. As such, this application aligned with the overall number of cottage units planned for Phase I of the Sunbeam Subdivision. The remaining eight (8) cottage sublots—required of the cottage lot 64, which is 0.93 acres in size— will then be an average of about 0.12 acres in size.

Of relevance to this project, the current Hailey Municipal Code defines cottage, townhouse, and subplot terms in the following ways:

TOWNHOUSE DEVELOPMENT: A multi-family residential project of two (2) or more townhouse units, where permitted under the Hailey zoning ordinance, which may be constructed as either or both of the following:

A. Building(s) containing two (2) or more townhouse units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to building and fire code requirements, and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.

B. "**Cottages**", which are buildings containing single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.

TOWNHOUSE SUBLLOT: The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a "townhouse unit", as defined in this section. Platting of sublots shall follow the procedures set forth in this title and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

TOWNHOUSE UNIT: A dwelling including a minimum of one bathroom and a single kitchen, designed for or occupied as a unit by one family for living and cooking purposes, located in a townhouse development on a platted townhouse subplot.

As specified in the Code, a cottage is a building that contains a single townhouse unit on an individual townhouse subplot. Per Code, townhouse units are required to include a minimum of one (1) bathroom and one (1) kitchen. As presented to the Planning and Zoning Commission on May 15, 2023, June 20, 2023, and August 21, 2023— Staff is developing an ordinance to accommodate cottage developments with definitions, standards, and zoning that are distinct from other housing types. At this point in time, cottage development applications—such as this one— will be held to the existing standards within Hailey’s Municipal Code. Staff has worked internally with the Applicant to communicate the City Council’s priorities for the character and intent of cottage developments, as they were negotiated in the Sunbeam Subdivision Planned Unit Development Agreement.

Since January and February 2023, when the Applicant proposed a different plat, the Applicant has amended the plat to consolidate vehicular access to the ten (10) cottage sublots. Specifically, the Applicant consolidated the seven (7) separate driveways into (1) parking access lane.



The updated driveway design adheres to the Condition of Approval for the Final Plat of Sunbeam Phase I, which states: “Minimal driveway crossings of the 10’-wide multi-use paths are preferred.” While the parking access lane cuts through the center of the development and does not lead to a joint garage, as envisioned by the Council, and drafted in the cottage development ordinance, the proposed design adheres to the existing cottage and townhouse development standards in Hailey’s Municipal Code.

Procedural History: The Applicant submitted their first Preliminary Plat Application for the Panorama Point Subdivision on December 5, 2022, it was certified complete on December 12, 2022. A public hearing before the Planning and Zoning Commission took place on January 17, 2023, at which time the proposed plat was recommended to the City Council for approval. On February 27, 2023, a public hearing before the City Council took place, at which time they took no action. The Council found that the proposed design with seven (7) separate driveways off the public streets contradicted the intent of the existing cottage code, and the Condition of Approval for the Final Plat of the Sunbeam Subdivision Phase I. The Applicant resubmitted an amended plat, as well as a Design Review Application, on July 3, 2023. On August 7, 2023 the Hailey Planning & Zoning Commission considered the updated Preliminary Plat and new Design Review Applications, approved the Design Review Application, and recommended the Preliminary Plat Application for approval by the Hailey City Council.

Sunbeam Subdivision is subject to a Planned Unit Development (PUD) Agreement dated June 18, 2020 (Instrument #670234), as well as the Final Plat for Phase I of the Sunbeam Subdivision that was approved on April 12, 2021.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>Public Works Staff have reviewed the proposed application. Any issues, questions, or concerns will be thoroughly reviewed and discussed with the Applicant prior to final design.</i>
				Fire/Safety: <i>No comments.</i>
				Water and Sewer: <i>No comments.</i>
				Building: <i>No comments.</i>
				Streets: <i>No comments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>N/A – The public streets for Phase I of the Sunbeam Subdivision were platted in 2021 and have since been built/are existing. The project proposed here does not include any new streets. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.
			Staff Comments	<i>N/A – No cul-de-sacs nor dead-end streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments	<i>N/A – Each of the proposed cottage units includes a public street frontage, additional access points are not required. Finding: Compliance. This standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			Staff Comments	<i>N/A – No streets are proposed, only driveways from public streets. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			Staff Comments	<i>N/A – No public streets nor traffic calming measures are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			Staff Comments	<i>N/A – No public streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			Staff Comments	<i>N/A – No roadways are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			Staff Comments	<i>N/A – No new road grades are proposed. The public streets are existing and meet City Standards. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.
			Staff Comments	<i>N/A – Storm drains and/or drainage areas of adequate size are in place. Finding: Compliance. This standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			Staff Comments	<i>N/A – No signage is proposed, the proposed cottage units are located on existing public streets. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			Staff Comments	<i>N/A – No new streets nor alleys are proposed. Finding: Compliance. This standard has been met.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No

				part of any required guest/overflow parking spaces shall be utilized for snow storage.
			Staff Comments	<i>N/A – No private streets are proposed. Finding: Compliance. This standard has been met.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			Staff Comments	<i>The proposal includes one (1) parking access lane, which will service all cottage units within the subdivision. Ingress/egress are achieved via this singular approach from Sunbeam Street. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			Staff Comments	<i>The proposed design and typical drawings appear to align with City standards. The Public Works Department will ensure exact compliance during the Final Plat process and prior to issuance of building permits. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			Staff Comments	<i>N/A – None of the proposed driveways exceed one-hundred and fifty feet (150'). Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			Staff Comments	<i>This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			Staff Comments	<i>N/A – None of the proposed driveways serve more than one (1) residence. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			Staff Comments	<i>No driveways interfere with the maintenance of existing infrastructure. The Applicant heeded the City's directions and redesigned the proposed plat to adhere to the City's goals and intentions for communal style living within cottage developments. The residential approaches are serviced by a communal parking access lane. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.

			Staff Comments	<i>The proposed parking access lane has been approved by the Fire Department and will be inspected for IFC compliance during the final plat inspections. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>N/A – Each of the proposed cottage units includes a public street frontage, as such fire lanes are not required. Finding: Compliance. This standard has been met.</i>

16.04.030: Sidewalks and Drainage Improvements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			Staff Comments	<i>The sidewalk and drainage improvements were constructed in Phase I of the Sunbeam Subdivision. The existing pedestrian facilities and proposed drainage are adequate for the site; however, any additional drainage requirements or sidewalk repairs will be reviewed by City Staff prior to final design. This has been made a Condition of Approval. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<i>The sidewalks were constructed for Phase I of the Sunbeam Subdivision and are equal the length of the public street frontage. Unless improvements are needed to the existing sidewalks, this standard has been met. The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process. This has been made a Condition of Approval. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			Staff Comments	<i>The sidewalks were constructed for Phase I of the Sunbeam Subdivision, no new sidewalks are proposed. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	<i>The sidewalks were constructed for Phase I of the Sunbeam Subdivision, no new sidewalks are proposed or necessary at this time. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	<i>N/A – This is a Preliminary Plat Application for a new cottage subdivision, this project involves more than a Lot Line Adjustment. Finding: Compliance. This standard has been met.</i>

16.04.040: Alleys and Easements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	<i>N/A – This project is in the Limited Residential (LR-1) Zoning District. Finding: Compliance. This standard has been met.</i>

			Staff Comments	<p><i>The proposed plat includes:</i></p> <ul style="list-style-type: none"> • mutual reciprocal easements for access by all cottage units, as well as by existing and future public and private utilities including, to utilities including but not limited to water, sewer, drainage, cable tv, telephone, natural gas and electrical lines over, under and across their sublots for the repair, maintenance and replacement of those services; • a 10' Public Utility and Snow Storage Easement per Sunbeam Subdivision Phase 1, recorded as Instrument Number 682301; and • a 15' wide Public Utility Easement to benefit the City of Hailey for the maintenance and repair of sanitary sewer main. <p><i>Any concerns and/or issues with the proposed easements will be reviewed by the City Engineer and resolved prior to final design. The Applicant shall also address the easement and maintenance of the utilities in the CC&R's for the subdivision. Both stipulations have been made Conditions for Approval.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:</p>
			Staff Comments	<p><i>A ten-foot (10') wide easement on the public street frontage of each sublot is shown for public utility and snow storage.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	<p>To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</p>
			Staff Comments	<p><i>The easements have been explained in the prior Section 16.04.040.A.4. There is no need for a river access easement, as this site does not border the Big Wood River.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p>
			Staff Comments	<p><i>N/A – No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p>Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</p>

			Staff Comments	<i>The measurements of the circulation areas are not provided; however, snow storage is planned in the 10' perimeter utility easement. This has been made a Condition of Approval, and this standard shall be met prior to Final Plat approval. Finding: Compliance. This standard will be met.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			Staff Comments	<i>N/A – This subdivision and proposed plat involves an existing block. No new blocks are proposed. Finding: Compliance. This standard has been met.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			Staff Comments	<i>The project parcel is subject to the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision. The PUD Agreement and Final Plat for Phase I specified that three (3) cottage lots shall be developed into eighteen (18) cottage units. In keeping with the affiliated PUD Agreement and Final Plat, this application proposes ten (10) sublots between 0.07 and 0.14 acres in size, for single-family cottage units. As such, the remaining cottage lot in Phase I (Lot 64, 0.93 acres) shall be developed into eight (8) cottage units of an average size of 0.12 acres. Also of relevance, the Hailey Municipal Code specifies a minimum lot size for townhouse sublots— “a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation”— but not a maximum size. The proposed lots meet and exceed the minimum area required for townhouse sublots. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots.

				The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			Staff Comments	<i>N/A – The plat does not include any double frontage lots. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			Staff Comments	<i>N/A – Each of the proposed sublots are buildable. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			Staff Comments	<i>N/A – No flag lots are proposed. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			Staff Comments	<i>The proposed sublots all have public street frontages. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			Staff Comments	<i>N/A – This project is not located within the Townsite Overlay (TO) Zone District. Finding: Compliance. This standard has been met.</i>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			Staff Comments	<i>The proposed project—the development of cottages through Panorama Point Subdivision—is subject to the Phasing Plan and Planned Unit Development for Phase I of the Sunbeam Subdivision. Per the PUD Agreement, “All cottage lots depicted in the PUD development Plan must be developed with cottage units by the Owner or its successors or assigns.” The “Owner shall use commercially reasonable efforts to expedite the development of said cottage units.” This project—the proposed Panorama Point Subdivision—can be understood as a subset of Phase I of the development of the Sunbeam Subdivision, Staff does not see any reason to create an additional phasing plan for the development of the proposed cottage units. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved

				and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A – Neither the Applicant nor Staff are requesting that the proposed subdivision be phased. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<i>Staff Comments</i>	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>N/A – The Commission and Council completed this process for the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision, of which this project is a part. The PUD required that a 4.54-acre park/open area space and a six-foot (6') wide pedestrian trail be completed during Phase I. Finding: Compliance. This standard has been met.</i>
16.04.080: Perimeter Walls, Gates, and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			<i>Staff Comments</i>	<i>N/A – No perimeter walls, gates, landscape berms, nor retaining walls are proposed.</i>

				<i>Finding: Compliance. This standard has been met.</i>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	<i>The Commission and Council completed this process for the Planned Unit Development Plan and Final Plat for Phase I of the Sunbeam Subdivision. Through those processes, cottages were planned for this site. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	<i>The City Engineer will determine whether a Soils Report is required for this project. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			Staff Comments	<i>A Grading Plan has been submitted and is under review by the City Engineer. Finding: Compliance. This standard has been met.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan has been submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.

			Staff Comments	<i>Erosion control and re-vegetation shall be included in the final design where necessary. This has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	<p>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	<i>Proposed grading and drainage appear to be adequate for the site but shall meet the approval of the City Engineer, this has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	<p>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p>
			Staff Comments	<i>A Drainage Plan has been submitted. Runoff is proposed along the public street frontage and landscaping. Storm water will be retained onsite. These have been made Conditions of Approval and will be reevaluated at final design, prior to Final Plat approval. Finding: Compliance. This standard will be met.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p>
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</p>
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<p>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</p>

			Staff Comments	<i>N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts. Finding: Compliance. This standard has been met.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			Staff Comments	<i>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision. Finding: Compliance. This standard has been met.</i>
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula: P = x multiplied by .0277 “P” is the Parks contribution in acres “x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.
			Staff Comments	<i>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.

			Staff Comments	<i>N/A – The proposed subdivision is located within the Limited Residential (LR-1) Zoning District. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			Staff Comments	<i>Sidewalks and shared-use paths were constructed for Phase I of the Sunbeam Subdivision and are adequate for the site. No additional pathways are proposed at this time. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly: <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A – This application is subject to the existing Planned Unit Development Agreement for Phase I of the Sunbeam Subdivision, which addressed park/open space requirements. No additional Park/Open Space is required at this time. Finding: Compliance. This standard has been met.</i>
			D.	Minimum Requirements:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			Staff Comments	<i>The Applicant shall address the maintenance of the outdoor shared space delineated by the easement between the proposed townhouse sublots in CC&R's for the subdivision. This has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s),

				trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			Staff Comments	<i>Please refer to Section 16.04.110(A)2 for further details. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land

				must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			Staff Comments	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			Staff Comments	<i>N/A – Please refer to Section 16.04.110(A.2) for further information. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			Staff Comments	<i>N/A – Please refer to Section 16.04.110(A.2) for further information. Finding: Compliance. This standard has been met.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			Staff Comments	<i>N/A – Please refer to Section 16.04.110 for further detail. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			Staff Comments	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&R's for the subdivision. This has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			Staff Comments	<i>N/A – Please refer to Section 16.04.110 for further detail. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			Staff Comments	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&R's for the subdivision. This has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			Staff Comments	<i>N/A – The required park/open space is existing and was developed according to the PUD Agreement for Phase I of the Sunbeam Subdivision. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this

				<p>ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</p> <p>Staff Comments Please reference Section 16.04.110 for further detail. <u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	<p>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</p> <p>Staff Comments Please reference Section 16.04.110 for further detail. <u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	<p>In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.</p> <p>Staff Comments Please reference Section 16.04.110 for further detail. <u>Finding:</u> Compliance. This standard has been met.</p>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> <p>Staff Comments The Applicant plans to construct the infrastructure that is necessary for municipal services, if the project is approved. <u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p> <p>Staff Comments <u>Finding:</u> Compliance. This standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p> <p>Staff Comments <u>Finding:</u> Compliance. This standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date</p>

				of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			Staff Comments	<i>Finding: Compliance. This standard will be met.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			Staff Comments	<i>This standard shall be met, has been made a condition of approval, and will be reevaluated at final design, prior to Final Plat approval. Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			Staff Comments	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			Staff Comments	<i>N/A – Signage for the public street names is existing, this project does not any other signage. Finding: Compliance. This standard has been met</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			Staff Comments	<i>N/A – No streetlights are planned for this project. Finding: Compliance. This standard has been met</i>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			Staff Comments	<i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval. Finding: Compliance. This standard has been met</i>

16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> <p>Staff Comments <i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval. Finding: Compliance. This standard has been met</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> <p>Staff Comments <i>N/A – This project is not within the Townsite Overlay (TO) District. Finding: Compliance. This standard has been met</i></p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p> <p>Staff Comments <i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to Final Plat approval. This has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i></p>
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p> <p>Staff Comments <i>All utilities are shown to be installed underground and accessible via easements. The easements shall meet the approval of the City Engineer, this has been made a Condition of Approval. Finding: Compliance. This standard will be met.</i></p>
16.05.070: Parks, Green Space				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p> <p>Staff Comments <i>See Section 16.04.110 for further detail. Finding: Compliance. This standard has been met.</i></p>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p>

			Staff Comments	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design. <u>Finding:</u> Compliance. This standard has been met.</i>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			Staff Comments	<i><u>Finding:</u> Compliance. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	<i>N/A – The completion of all major infrastructure by the Developer is preferred over bonding. <u>Finding:</u> Compliance. This standard has been met.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	<i>As built drawings will be required. This standard will be met. <u>Finding:</u> Compliance. This standard has been met.</i>
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recording of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)
			Staff Comments	<i>The proposed subdivision is for single-family cottages that do not include party walls. However, the Applicant shall include CC&Rs to address the maintenance of utilities and shared outdoor space in the easements. This has been made a Condition of Approval. <u>Finding:</u> Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)
			Staff Comments	<i>Vehicular access on the proposed plat directly leads to the cottage units, where garages can be assumed. <u>Finding:</u> Compliance. This standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Each single-family cottage unit is required to have two (2) parking spaces, this has been made a Condition of Approval. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC, and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed plat complies with this standard. Although the plat indicates municipal services passing through the sublots, they are protected by easements and do not pass through other buildings. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Finding: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Finding: Compliance. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A. Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This project is subject to the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision, which identified these two (2) adjacent cottage lots and requires the development of eighteen (18) cottage units in Phase I of the Sunbeam Development. Per the affiliated PUD Agreement and Final Plat, ten (10) cottage units are proposed on the parcel and the remaining eight (8) cottage units required in Phase I will be of a similar size. Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the

				requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only those exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	<i>N/A. Finding: Compliance. This standard has been met.</i>

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, and other Sections of the Hailey Municipal Code and City Standards.

DECISION

The Preliminary Plat Application, submitted by Pilling Family Trust, wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) sublots for cottage units, and located along the public streets of San Badger Drive, Eclipse Street, and Sunbeam Street within the Limited Residential (LR-1) Zoning District, **is hereby approved**, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (m) are met:

- a) All conditions of the Sunbeam Subdivision Planned Unit Development approval, recorded June 29, 2020, shall be met.
- b) All Fire Department and Building Department requirements shall be met.
- c) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant’s sole expense include, but will not be limited to:
 - i. Permits for the installation of all drywells.
 - ii. Metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
 - iii. The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d) Drainage facilities, grading, driveways, and utility easements shall be reviewed and approved by the City Engineer prior to Final Plat approval.
- e) Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.

- f) The Applicant shall dedicate the parking access lane easement. Such dedication shall be noted as a plat note within the Panorama Point Subdivision Plat.
- g) The Applicant shall address the maintenance of utilities, shared outdoor space, and the parking access lane within the subdivision's CC&R's.
- h) The Applicant shall provide a minimum of two (2) onsite parking spaces per single-family cottage unit.
- i) All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- j) The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- k) The area designated for snow storage shall be equal to or greater than 25% of the vehicular and pedestrian circulation areas in the subdivision.
- l) The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m) Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.

PASSED BY THE HAILEY CITY COUNCIL and approved by the mayor this ___ day of _____, 2023.

Martha Burke, Mayor

ATTEST:

Mary Cone, Clerk

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Clerk's Office **DEPT. HEAD SIGNATURE** M. Cone

SUBJECT

Approval of Minutes from the meeting of the Hailey City Council on September 11, 2023 and to suspend reading of them.

AUTHORITY: ID Code 74-205 IAR _____ City Ordinance/Code _____

Idaho Code requires that a governing body shall provide for the taking of written minutes at all of its meetings, and that all minutes shall be available to the public within a reasonable period of time after the meeting. Minutes should be approved by the council at the next regular meeting and kept by the clerk in a book of minutes, signed by the clerk.

BACKGROUND:

Draft minutes prepared.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____ YTD Line Item Balance \$ _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS:

<input type="checkbox"/> City Attorney	<input checked="" type="checkbox"/> City Clerk	<input type="checkbox"/> Engineer	<input type="checkbox"/> Mayor
<input type="checkbox"/> P & Z Commission	<input type="checkbox"/> Parks & Lands Board	<input type="checkbox"/> Public Works	<input type="checkbox"/> Other

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to approve the minutes as presented, and to suspend the reading of them, or remove from consent agenda to make changes and then approve as amended.

FOLLOW UP NOTES:

**MINUTES OF THE MEETING OF THE
HAILEY CITY COUNCIL
HELD SEPTEMBER 11, 2023
IN THE HAILEY TOWN CENTER MEETING ROOM**

The Meeting of the Hailey City Council was called to order at 5:30 P.M. by Mayor Martha Burke. Present were Council members Thea Thea, Martinez Martinez, Husbands Husbands, and Linnet Linnet. Staff present included City Attorney Christopher P. Simms, City Administrator Lisa Horowitz, and City Clerk Mary Cone.

CALL TO ORDER:

[5:30:01 PM](#) call to order by Mayor Burke

[5:30:26 PM](#) Burke asks for a motion to approve amended agenda.

Horowitz added that [OB 277](#) 2nd Reading Ordinance No. 1331, PUD Application F & G Idaho, LLC Maple St. Apts. **ACTION ITEM** will not be discussed tonight.

[5:31:38 PM](#) **Thea makes a motion to amend agenda adding PP 279, seconded by Martinez, motion passed with roll call vote; Husbands, yes. Linnet, yes. Thea, yes. Martinez, yes.**

MAYOR’S REMARKS:

[5:32:30 PM](#) Martha Burke takes a moment to remember what happened 21 years ago in our country.

Open session for public concerns:

[5:33:05 PM](#) none

CONSENT AGENDA:

CA 263	Consideration of Resolution 2023-106, authorizing renewal of a special use agreement with Blaine County to locate a wireless communication facility on the Blaine County Annex Building ACTION ITEM	1
CA 264	Motion to approve Resolution 2023-107, ratifying Mayor’s signature on BestDay HR Professional Services Agreement for salary compensation analysis and comprehensive job description review for a combined amount not to exceed amount of \$66,500.00 ACTION ITEM	7
CA 265	Motion to approve Resolution 2023-108, authorizing an agreement The Sage School to extend the project timeline, between the City of Hailey and, for a mural to be painted on the exterior walls of the two (2) restroom buildings at Keefer Park. ACTION ITEM	25
CA 266	Motion to authorize the mayor’s signature on a Certificate of Completion Letter for a Cash Security Agreement pertinent to Skyview Apartments (Lots 1A, 2A, 3A, 4A, 5A, and 6A, Block 86, Woodside Subdivision #25). ACTION ITEM	31
CA 267	Consideration of a conflict of interest letter from Hawley Troxell, municipal bond counsel regarding a land use matter in Hailey ACTION ITEM	38
CA 268	Motion to authorize the Mayor's signature on LGIP Additional Funds Account Application, for monies received from the 0.5% LOT for Housing ACTION ITEM	44
CA 269	Motion to approve alcohol business license renewals ACTION ITEM	47
CA 270	Motion to approve minutes of August 28, 2023 and to suspend reading of them ACTION ITEM	59

HAILEY CITY COUNCIL MINUTES
September 11, 2023

CA 271	Motion to ratify claims for expenses incurred paid in August, 2023 ACTION ITEM	70
CA 272	Motion to approve claims for expenses incurred during the month of August 2023, and claims for expenses due by contract in September, 2023 ACTION ITEM	77

[5:33:20 PM](#) Davis CA 266, has a correction.

[5:33:35 PM](#) Martinez minus CA 266, Thea seconds. Martinez Thea Husbands Linnet.
Martinez moved to approve all consent agenda items minus CA 266, seconded by Thea. Motion passed with roll call vote; Martinez, yes. Thea, yes. Husbands, yes. Linnet, yes.

CA 266 [5:34:07 PM](#) Davis, footer indicates Sunbeam, this should be Woodside.

[5:34:23 PM](#) Thea moves to approve CA 266, Linnet seconds. **Motion passed with roll call vote; Husbands, yes. Linnet, yes. Thea, yes. Martinez, yes.**

PROCLAMATIONS AND PRESENTATIONS:

PP 279 Hispanic Heritage Month Proclamation

[5:34:58 PM](#) Proclamation, Hispanic Heritage Month 2023, council and mayor take turns in reading the proclamation.

Mayor Burke reads from Our Town newsletter on Hispanic Heritage month events [5:39:10 PM](#)

PP 273 Hailey Ice Annual update

[5:39:42 PM](#) Sarah Benson with Hailey Ice presents to council, adopt and engage theme for the last year. Ron’s rink, dubbed that name 2 years ago, had its longest season this year. Had over 50,000 visitors this year, we made it work, Sun Valley Suns and other events added much activity, due to replacing of their ice rinks. Had a girls festival this year with Cammi Granato, 75 women and girls players from Boise Idaho Falls, McCall and Salmon. Granato was on the first US Women’s Hockey team won gold winner in Olympics. Curling leagues, [5:43:53 PM](#) can have up to 30 teams now. Partnership with higher ground, talks about how meaningful this facility has been in bringing people together. Bauer Hockey Learn to Play, teaching 6 sessions, only have this program in one other location. Sun Valley Suns have made Hailey Ice their home rink, they are coming back this year for their home games. [5:49:41 PM](#) Partnership with city, very grateful, thank you.

PUBLIC HEARINGS:

*PH 274 Consideration of a Preliminary Plat Application by Pilling Family Trust, represented by Manya Yamada, wherein two (2) cottage lots in Sunbeam Subdivision Phase I (SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3) are subdivided into ten (10) sublots for cottage units. This project is located along the public streets of San Badger Drive, Eclipse Street, and Sunbeam Street within the Limited Residential (LR-1) Zoning District **ACTION ITEM***

[5:50:52 PM](#) Davis reviews what council had requested to change. Applicant is here tonight, 10 sublots, to present. Received recommendation design review by Planning and Zoning Commission.

[5:52:34 PM](#) Manya Yamada speaking, house plans altered, house sizes decreased in size and also, 2 car garages. [5:53:21 PM](#) Matt, engineer for project speaks, shrinking to one access point within setbacks, retained common parcel in the middle. Fire Department approval.

[5:54:20 PM](#) Thea size of common lot, and building envelopes? [5:54:49 PM](#) subplot 11 is 3,500 sq ft. 5 units 1,356 sq. ft., 2 units 1,602 sq. ft. and 3 units at 1,850 sq. ft.

[5:55:27 PM](#) Linnet knows this was big change, appreciate your work, no issues at this time, thanked applicant.

Public comments: [5:56:32 PM](#) no comments.

[5:57:17 PM](#) **Thea moves to approve preliminary plat sunbeam sub phase 1, 10 sublots cottage units, with conditions A-M, seconded by Linnet. Motion passed with roll call vote; Husbands, yes. Linnet, yes. Thea, yes. Martinez, yes.**

PH 275 Public hearing and consideration of Resolution 2023-_____, authorizing all fees including water and wastewater rates to become effective October 1, 2023, with some proposed rates increasing 5% and higher ACTION ITEM

[5:59:15 PM](#) Horowitz clarifies, other councils, staff have amended fees, bringing together all fees.

[6:01:31 PM](#) Yeager reviews Water and Wastewater fees proposed, connection fees going up \$200. User fees \$9.22, from \$8.ss for Water. Horowitz adds that higher water users pay more for using more water. Headworks bond \$7.21 new fee based on recently passed bond. Increase of \$13.30.

[6:04:47 PM](#) Public comments, there are none.

[6:05:10 PM](#) Thea likes the increase in higher water users. Yeager, high users are commercial or institutional. Stokes has a leak, using 130,000 gallons per month.

[6:07:34 PM](#) **Linnet moves to approve Resolution 2023-109, all fees including water and wastewater fees, Martinez seconds. Motion passed with roll call vote; Husbands, yes. Linnet, yes. Thea, yes. Martinez, yes.**

OLD BUSINESS:

OB 276 3rd Reading and Adoption of FY24 Appropriation Ordinance No. 1330 ACTION ITEM

[6:08:38 PM](#) Thea moves to adopt Ordinance No. 1330 appropriation ordinance, to conduct 3rd reading, read by title only, seconded by Linnet. Motion passed with roll call vote; Husbands, yes. Linnet, yes. Thea, yes. Martinez, yes.

[6:09:27 PM](#) Mayor Burke conducts 3rd Reading of Ordinance No. 1330, by title only.

OB 278 Motion to adopt Resolution 2023-____, authorizing the Mayor to sign the ITD State/Local Agreement for the River St., Walnut to Galena Project. ACTION ITEM

[6:10:48 PM](#) ITD state and local agreement Yeager, final contract for this project, final design is complete. LTHAC, funding for next year, 2017, 2.1 million, additional funding 1.7 million, 3.9 million total cost for the project, additional funding will help us achieve this project. Yeager adds, city will not bid this project, ITD will bid the project, then they will report back to us. If bids are within 10% of estimate of construction they will move forward. If not might need to find additional funding next year, \$248,000, paid for by URA through CIP. Hope to bid next year. Project is 2 blocks, businesses will be interrupted during this time, they will need 100 working days to complete the project, we will be hearing from businesses about this construction, next year. [6:15:52 PM](#) we are 1 year ahead of schedule and have additional funding. Next step, contract construction engineering firm, have someone in mind, happy to have the council help with this process if they wish to be.

[6:17:28 PM](#) Thea moves to approve Resolution 2023-110 State Local Agreement with ITD for River Street LTHAC grant, Linnet seconds. Motion passed with roll call vote; Martinez, yes. Thea, yes. Husbands, yes. Linnet, yes.

STAFF REPORTS:

[6:18:48 PM](#) Todd Peck, all officers are back from POST training.

[6:19:38 PM](#) Horowitz, Olympia Gulch BLM trail, 99% on BLM property.

[6:20:18 PM](#) Yeager, Hop Porter, Lions and Heagle, will stop irrigation September 15th, ground water mitigation.

[6:21:20 PM](#) Horowitz adds that Monday October 9th, is Columbus Day, our meeting is Tuesday Oct. 10th. Start early, at 5 pm. Our Tiny Home is arriving next week, very exciting.

[6:22:51 PM](#) Davis, another tiny home arriving in Hailey. North River, spring summer next year, Copper Ranch pulling another permit next year. Albertson's will pull their permit for their addition soon. 20 to 25 new units on River Street. 15 new ADU's this year. Have a planner moving on, going to Wood River Land trust, have an open planner position.

[6:25:22 PM](#) Martinez, shout out to HPD, kudos for what you

[6:25:41 PM](#) Martinez moves to adjourn, Linnet seconds, motion passed unanimously.

Return to Agenda

AGENDA ITEM SUMMARY

DATE 09/25/2023 DEPARTMENT: Finance & Records **DEPT. HEAD SIGNATURE:** MHC

SUBJECT

Council Approval of Claims costs incurred during the month of August 2023 that are set to be paid by contract for September 2023.

AUTHORITY: ID Code 50-1017 IAR _____ City Ordinance/Code _____

BACKGROUND:

Claims are processed for approval three times per month under the following procedure:

1. Invoices received, approved and coded to budget by Department Head.
2. Invoice entry into data base by finance department.
3. Open invoice report and check register report printed for council review at city council meeting.
4. Following council approval, mayor and clerk sign checks and check register report.
5. Signed check register report is entered into Minutes book.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____ YTD Line-Item Balance \$ _____

Payments are for expenses incurred during the previous month, per an accrual accounting system.

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS:

___ City Attorney ___ Clerk / Finance Director ___ Engineer ___ Mayor
___ P & Z Commission ___ Parks & Lands Board ___ Public Works ___ Other

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Review reports, ask questions about expenses and procedures, approve claims for payment.

FOLLOW UP NOTES:

Report Criteria:

- Includes all check types
- Includes unprinted checks

Pay Period Date	Journal Code	Check Issue Date	Check Number	Payee	Payee ID	Amount
09/07/2023	CDPT		0	AFLAC	1	-222.76
09/07/2023	CDPT		0	DELTA DENTAL PLAN OF I	2	-861.71
09/07/2023	CDPT		0	REGENCE BLUE SHIELD	3	-4,267.84
09/07/2023	CDPT		0	NCPERS GROUP LIFE INS	6	-120.00
09/07/2023	CDPT	09/12/2023	91507	PERSI	7	-37,668.07
09/07/2023	CDPT	09/12/2023	91505	MOUNTAIN WEST BANK	8	-38,310.93
09/07/2023	CDPT		0	IDAHO STATE TAX COMMI	9	-4,717.00
09/07/2023	CDPT	09/12/2023	91504	A.W. REHN & ASSOCIATE	21	-1,261.49
09/07/2023	CDPT		0	VSP	26	-132.74
09/07/2023	CDPT	09/12/2023	91506	Nationwide 457/Roth	34	-2,528.18
09/07/2023	CDPT	09/12/2023	56132	CHILD SUPPORT RECEIP	36	-493.94
09/07/2023	PC	09/14/2023	91423	ARELLANO, NANCY	8005	-1,467.92
09/07/2023	PC	09/14/2023	91424	CARRILLO-SALAS, DALIA	8209	-1,488.03
09/07/2023	PC	09/14/2023	91425	CONE, MARY M HILL	8009	-1,641.70
09/07/2023	PC	09/14/2023	91426	HOROWITZ, LISA	8049	-2,729.61
09/07/2023	PC	09/14/2023	91427	POMERLEAU, JENNIFER	8207	-1,377.71
09/07/2023	PC	09/14/2023	91428	STOKES, BECKY	8013	-2,312.84
09/07/2023	PC	09/14/2023	91429	DAVIS, ROBYN K	8060	-2,107.88
09/07/2023	PC	09/14/2023	91430	JOHNSON, MICHELE	8110	-478.23
09/07/2023	PC	09/14/2023	91431	OSBORN, CECELIA M	8221	-1,426.64
09/07/2023	PC	09/14/2023	91432	PARKER, JESSICA L	8111	-1,721.12
09/07/2023	PC	09/14/2023	91433	RODRIGUE, EMILY THERE	8115	-1,674.62
09/07/2023	PC	09/14/2023	91434	TRAN, TUYEN	8205	-1,255.41
09/07/2023	PC	09/14/2023	91435	BALEDGE, MICHAEL S	9054	-2,427.37
09/07/2023	PC	09/14/2023	91436	BOATMAN, MICHAEL L	9006	-357.41
09/07/2023	PC	09/14/2023	91437	CHASE, AMANDA LUISE	9036	-177.32
09/07/2023	PC	09/14/2023	91438	EMERICK, DANIELLE A	9081	-1,764.19
09/07/2023	PC	09/14/2023	91439	ERVIN, CHRISTIAN C	8185	-1,791.36
09/07/2023	PC	09/14/2023	91440	GRANT, DARYL ERNEST	9126	-438.11
09/07/2023	PC	09/14/2023	91441	HAIRSTON, KEITH GUY	9025	-756.07
09/07/2023	PC	09/14/2023	91442	HERNANDEZ, ADAN	9027	-554.98
09/07/2023	PC	09/14/2023	91443	HERNANDEZ, BRYAN	9033	-103.44
09/07/2023	PC	09/14/2023	91444	HOOVER, JAMES THOMA	9047	-1,896.27
09/07/2023	PC	09/14/2023	91445	MAYNE, EARL JAMES	9124	-612.76
09/07/2023	PC	09/14/2023	91446	MURPHY, JOSHUA Z	9011	-542.93
09/07/2023	PC	09/14/2023	91447	PRICHARD, JERAMIE R	1009102	-719.18
09/07/2023	PC	09/14/2023	91448	THAXTON, CAREY	9125	-200.34
09/07/2023	PC	09/14/2023	91449	VINCENT, BRIAN A	9113	-369.40
09/07/2023	PC	09/14/2023	91450	BURKE, MARTHA E	8074	-1,916.63
09/07/2023	PC	09/14/2023	91451	HUSBANDS, HEIDI	8302	-247.30
09/07/2023	PC	09/14/2023	91452	LINNET, SAMUEL L	8300	-810.66
09/07/2023	PC	09/14/2023	91453	MARTINEZ, JUAN F	8301	-806.86
09/07/2023	PC	09/14/2023	91454	THEA, KAREN J	8106	-756.40
09/07/2023	PC	09/14/2023	91455	CROTTY, JOSHUA M	8283	-1,347.21
09/07/2023	PC	09/14/2023	91456	DABNEY, LEE A DONAHUE	1008078	-653.49
09/07/2023	PC	09/14/2023	91457	DREWIEN, LYNETTE M	1008271	-599.35
09/07/2023	PC	09/14/2023	91458	FLETCHER, KRISTIN M	8122	-1,308.70
09/07/2023	PC	09/14/2023	91459	FORBIS, MICHAL J	8114	-1,330.77
09/07/2023	PC	09/14/2023	91460	GALVIN, EMILIE AURORA	8294	-103.44
09/07/2023	PC	09/14/2023	91461	PRIMROSE, LAURA A	8102	-1,233.12
09/07/2023	PC	09/14/2023	91462	STROPE, DENON MICHAEL	8101	-831.60
09/07/2023	PC	09/14/2023	91463	YTURRI, ERIN	8123	-541.57
09/07/2023	PC	09/14/2023	91464	CRICK, EVERETT LEE	8552	-1,395.52
09/07/2023	PC	09/14/2023	91465	THORNQUEST, SHELLIE	8550	-501.45

Pay Period Date	Journal Code	Check Issue Date	Check Number	Payee	Payee ID	Amount
09/07/2023	PC	09/14/2023	91466	BALLIS, MORGAN RICHA	8213	-1,906.43
09/07/2023	PC	09/14/2023	91467	CERVANTES, GUSTAVO A	8215	-1,970.91
09/07/2023	PC	09/14/2023	91468	COX, CHARLES F	8161	-2,656.76
09/07/2023	PC	09/14/2023	91469	ENGLAND, STEVE J	8143	-2,830.54
09/07/2023	PC	09/14/2023	91470	JONES, KYLIE MELETIA	8155	-1,925.40
09/07/2023	PC	09/14/2023	91471	LEOS, CHRISTINA M	8012	-1,962.20
09/07/2023	PC	09/14/2023	91472	LINDERMAN, JEREMIAH C	8163	-1,888.85
09/07/2023	PC	09/14/2023	91473	LUNA, JOSE	8145	-2,031.96
09/07/2023	PC	09/14/2023	91474	OWENS, ERIC ODELL	8119	-1,720.94
09/07/2023	PC	09/14/2023	91475	PECK, TODD D	8167	-2,989.79
09/07/2023	PC	09/14/2023	91476	RAGUSA, TIMOTHY BRUC	1008190	-1,849.05
09/07/2023	PC	09/14/2023	91477	WALLACE, SHAWNA R	8108	-2,054.91
09/07/2023	PC	09/14/2023	91478	WELLS, PRESTON DANIE	8150	-1,638.22
09/07/2023	PC	09/14/2023	91479	WRIGLEY, GAVIN	8152	-2,419.47
09/07/2023	PC	09/14/2023	91480	MARES, MARIA C	8251	-1,296.13
09/07/2023	PC	09/14/2023	91481	WILLIAMS, EMILY ANNE	8023	-1,994.36
09/07/2023	PC	09/14/2023	91482	YEAGER, BRIAN D	8107	-2,184.81
09/07/2023	PC	09/14/2023	91483	AITKEN, TORIN ANDREW	8177	-1,147.13
09/07/2023	PC	09/14/2023	91484	CABRITO, CARLOS MANU	8176	-1,402.00
09/07/2023	PC	09/14/2023	91485	DOMKE, RODNEY F	8097	-1,786.44
09/07/2023	PC	09/14/2023	91486	JOHNSTON, JAIMEY P	8243	-2,111.80
09/07/2023	PC	09/14/2023	91487	PARKS, ALEXANDER MIC	8180	-579.58
09/07/2023	PC	09/14/2023	91488	SAVAGE, JAMES L	8204	-1,741.29
09/07/2023	PC	09/14/2023	91489	SCHWARZ, STEPHEN K	8226	-2,509.09
09/07/2023	PC	09/14/2023	91490	WEST III, KINGSTON R	8234	-1,972.85
09/07/2023	PC	09/14/2023	91491	AMBRIZ, JOSE L	7023	-2,190.25
09/07/2023	PC	09/14/2023	91492	ELLSWORTH, BRYSON D	8285	-2,287.78
09/07/2023	PC	09/14/2023	91493	RACE, MICHAEL DENNIS	8070	-888.66
09/07/2023	PC	09/14/2023	91494	SCHMIDT, ROBERT FRED	8071	-1,432.66
09/07/2023	PC	09/14/2023	91495	SHOTSWELL, DAVE O	7044	-2,091.13
09/07/2023	PC	09/14/2023	91496	VAUGHN, TYREL KINCADE	7050	-1,431.14
09/07/2023	PC	09/14/2023	91497	WARD, NATHAN DANIEL	8287	-1,377.17
09/07/2023	PC	09/14/2023	91498	BALDWIN, MERRITT JAME	8286	-1,745.41
09/07/2023	PC	09/14/2023	91499	BALIS, MARVIN C	8225	-2,022.60
09/07/2023	PC	09/14/2023	91500	GARRISON, SHANE	1008048	-1,591.44
09/07/2023	PC	09/14/2023	91501	HOLTZEN, KURTIS L	8072	-2,046.91
09/07/2023	PC	09/14/2023	91502	PETERSON, TRAVIS T	8121	-1,301.25
09/07/2023	PC	09/14/2023	91503	VINCENT, BRIAN A	1008071	-1,738.61
Grand Totals:						-208,077.49
			92			

Includes all check types
Includes unprinted checks

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
4409 A.W. REHN & ASSOCIATES											
13300	1	August 2023 - FSA Admin Fee	Invoice	09/06/2023	09/25/2023	33.34	33.34	100-15-41215		923	1
13300	2	August 2023 - FSA Admin Fee	Invoice	09/06/2023	09/25/2023	33.33	33.33	200-15-41215		923	1
13300	3	August 2023 - FSA Admin Fee	Invoice	09/06/2023	09/25/2023	33.33	33.33	210-15-41215		923	1
Total 4409 A.W. REHN & ASSOCIATES:						100.00	100.00				
6533 AGNEW BECK CONSULTING, INC.											
11777	1	Invoice# 11701	Invoice	09/14/2023	09/25/2023	4,142.50	4,142.50	100-20-41313		923	1
Total 6533 AGNEW BECK CONSULTING, INC.:						4,142.50	4,142.50				
6582 ALTURAS PROPERTY MANAGMENT											
1	1	Inv 1 - August 6-31 Library Cleaning	Invoice	09/11/2023	09/25/2023	2,375.00	2,375.00	100-45-41539		923	1
2	1	Inv 2 - Sept 2023 library cleaning	Invoice	09/18/2023	09/25/2023	2,375.00	2,375.00	100-45-41413		923	1
Total 6582 ALTURAS PROPERTY MANAGMENT:						4,750.00	4,750.00				
1913 AMAZON CAPITAL SERVICES											
169C-R	1	169C-RDL7-43MP Flags - library programming	Invoice	09/10/2023	09/25/2023	23.84	23.84	100-45-41326		923	1
16TT-1	1	16TT-166V-MPWW - POLICE GOODIE BAGS, STIC	Invoice	09/17/2023	09/25/2023	60.24	60.24	100-25-41215		923	1
191J-X	1	191J-XQ3J-P6V1 cleaning cleaning/office supplies	Invoice	09/08/2023	09/25/2023	57.39	57.39	100-45-41215		923	1
191J-X	1	191J-XQ3J-TJ6W Library YSD Maker space supp	Invoice	09/09/2023	09/25/2023	80.93	80.93	100-45-41215		923	1
19PJ-K	1	19PJ-KN4P-KK1X STREAMLIGHT LITHIUM BATTE	Invoice	09/17/2023	09/25/2023	29.85	29.85	100-25-41215		923	1
19PX-1	1	19PX-1MHY-9VCG BANKERS BOXES, FINGER CU	Invoice	09/12/2023	09/25/2023	124.02	124.02	100-25-41215		923	1
1DHD-	1	1DHD-CT1G-M7KK BLUETOOTH SPEAKERPHONE	Invoice	09/17/2023	09/17/2023	43.33	43.33	100-15-41215		923	1
1DHD-	2	1DHD-CT1G-M7KK BLUETOOTH SPEAKERPHONE	Invoice	09/17/2023	09/17/2023	43.33	43.33	200-15-41215		923	1
1DHD-	3	1DHD-CT1G-M7KK BLUETOOTH SPEAKERPHONE	Invoice	09/17/2023	09/17/2023	43.33	43.33	210-15-41215		923	1
1KPV-	1	1KPV-NTVN-6YT3 Idaho flag-library programming	Invoice	09/11/2023	09/25/2023	29.04	29.04	100-45-41326		923	1
1MM3-	1	1MM3-9XCW-4VWP DESK CHAIR WITH WHEELS A	Invoice	09/12/2023	09/25/2023	398.94	398.94	100-25-41215		923	1
1XKG-	1	1XKG-PDPW-YP33 - SAMSUNG GALAXY S23 PHO	Invoice	09/10/2023	09/25/2023	19.99	19.99	100-15-41215		923	1
1XKG-	2	1XKG-PDPW-YP33 - SAMSUNG GALAXY S23 PHO	Invoice	09/10/2023	09/25/2023	19.99	19.99	200-15-41215		923	1
1XKG-	3	1XKG-PDPW-YP33 - SAMSUNG GALAXY S23 PHO	Invoice	09/10/2023	09/25/2023	19.99	19.99	210-15-41215		923	1
Total 1913 AMAZON CAPITAL SERVICES:						994.21	994.21				
5013 AMERICAN TOWER CORPORATION											
411033	1	DELLA MT TOWER RENTAL 09/1/23 411033382 UTI	Invoice	09/01/2023	09/25/2023	753.86	753.86	200-60-41713		923	1
411033	2	DELLA MT TOWER RENTAL 09/1/23 411033382 UTI	Invoice	09/01/2023	09/25/2023	42.07	42.07	100-42-41713		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
411033	3	DELLA MT TOWER RENTAL 09/1/23 411033382 UTI	Invoice	09/01/2023	09/25/2023	42.08	42.08	200-42-41713		923	1
411033	4	DELLA MT TOWER RENTAL 09/1/23 411033382 UTI	Invoice	09/01/2023	09/25/2023	42.08	42.08	210-42-41713		923	1
411033	1	DELLA MT TOWER RENTAL 09/1/23 411033454 UTI	Invoice	09/01/2023	09/25/2023	12.50	12.50	200-60-41713		923	1
411033	2	DELLA MT TOWER RENTAL 09/1/23 411033454 UTI	Invoice	09/01/2023	09/25/2023	4.16	4.16	100-42-41713		923	1
411033	3	DELLA MT TOWER RENTAL 09/1/23 411033454 UTI	Invoice	09/01/2023	09/25/2023	4.17	4.17	200-42-41713		923	1
411033	4	DELLA MT TOWER RENTAL 09/1/23 411033454 UTI	Invoice	09/01/2023	09/25/2023	4.17	4.17	210-42-41713		923	1
Total 5013 AMERICAN TOWER CORPORATION:						905.09	905.09				
5422 ARBORCARE RES. INC											
12695	1	12695 STUMP REMOVAL 525 N 1ST AVE	Invoice	08/15/2023	09/25/2023	2,143.00	2,143.00	100-50-41402		923	1
Total 5422 ARBORCARE RES. INC:						2,143.00	2,143.00				
215 ARNOLD MACHINERY COMPANY											
PX100	1	PX1000262-1 O-RING, WASER, SEALING KIT RET	Invoice	06/02/2022	06/27/2022	328.51-	328.51-	100-40-41405		622	1
Total 215 ARNOLD MACHINERY COMPANY :						328.51-	328.51-				
375 ATKINSON'S MARKET											
057077	1	#05707758 Office Chair Treats	Invoice	09/11/2023	09/25/2023	3.96	3.96	100-20-41539		923	1
Total 375 ATKINSON'S MARKET:						3.96	3.96				
2311 BANYAN TECHNOLOGY INC.											
21154	1	#21154 WORK ON WIN 911 FOR SCADA	Invoice	09/05/2023	09/25/2023	1,045.00	1,045.00	200-60-41401		923	1
Total 2311 BANYAN TECHNOLOGY INC. :						1,045.00	1,045.00				
4056 BLOCK 22 LLC											
RES ID	1	#STRONGER FAMILIES RETREAT FOR HPD EMPL	Invoice	09/11/2023	09/25/2023	2,090.00	2,090.00	100-25-41724		923	1
Total 4056 BLOCK 22 LLC:						2,090.00	2,090.00				
4706 BLUE 360* MEDIA											
IN2306	1	2023 IDAHO LAW BOOK	Invoice	08/22/2023	09/25/2023	95.03	95.03	100-25-41215		923	1
Total 4706 BLUE 360* MEDIA:						95.03	95.03				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
1311 BOSWELL ASPHALT PAVING SOLUTIONS INC											
1877	1	1877 CHIP SEAL AND FOG SEAL MAIN ST. SIDE S	Invoice	09/11/2023	09/25/2023	169,664.88	169,664.88	100-40-41403	23.40.0001.1	923	1
Total 1311 BOSWELL ASPHALT PAVING SOLUTIONS INC:						169,664.88	169,664.88				
6051 CENTURY LINK											
656419	1	9814 260B long distance	Invoice	09/01/2023	09/25/2023	1.77	1.77	100-15-41713		923	1
656419	2	9814 260B long distance	Invoice	09/01/2023	09/25/2023	1.77	1.77	200-15-41713		923	1
656419	3	9814 260B long distance	Invoice	09/01/2023	09/25/2023	1.77	1.77	210-15-41713		923	1
656419	4	9814 260B long distance	Invoice	09/01/2023	09/25/2023	1.77	1.77	100-25-41713		923	1
656419	5	9814 260B long distance	Invoice	09/01/2023	09/25/2023	1.77	1.77	100-20-41713		923	1
656419	6	9814 260B long distance- 33.333%	Invoice	09/01/2023	09/25/2023	.60	.60	100-42-41713		923	1
656419	7	9814 260B long distance- 33.333%	Invoice	09/01/2023	09/25/2023	.60	.60	200-42-41713		923	1
656419	8	9814 260B long distance- 33.3333%	Invoice	09/01/2023	09/25/2023	.60	.60	210-42-41713		923	1
656419	9	2211 125B LONG DIST- TREATMENT PLANT	Invoice	09/01/2023	09/25/2023	.88	.88	210-70-41713		923	1
656419	10	2211 125B LONG DIST- Water Dept	Invoice	09/01/2023	09/25/2023	.89	.89	200-60-41713		923	1
656419	11	3147 220B LONG DIST: FIRE DEPT	Invoice	09/01/2023	09/25/2023	1.77	1.77	100-55-41713		923	1
656419	12	5965-737B LONG DIST- STREET SHOP	Invoice	09/01/2023	09/25/2023	1.77	1.77	100-40-41713		923	1
Total 6051 CENTURY LINK:						15.96	15.96				
5702 CINTAS											
190397	1	1903970957 DEPT. SUPPLIES	Invoice	05/11/2023	09/25/2023	128.95	128.95	100-40-41703		923	1
415856	1	4158563843 UNIFORM SERVICES STS.	Invoice	06/14/2023	09/25/2023	65.04	65.04	100-40-41703		923	1
Total 5702 CINTAS:						193.99	193.99				
4551 CIVIL SCIENCE, INC.											
22947	1	CROY TO QUIGLEY PATH - PROGRESS REPORT 2	Invoice	07/06/2023	09/25/2023	3,482.12	3,482.12	120-40-41549	21.40.0003.1	923	1
Total 4551 CIVIL SCIENCE, INC.:						3,482.12	3,482.12				
7000 CLEARWATER LANDSCAPING											
23-052	1	23-052406 FLOWER PROJ. - SUMMER MAINT. 2/6	Invoice	05/15/2023	09/25/2023	1,516.66	1,516.66	100-40-41225	19.40.0004.1	923	1
23-052	2	23-052406 FLOWER PROJ. - SUMMER MAINT. 2/6	Invoice	05/15/2023	09/25/2023	1,516.67	1,516.67	100-50-41325	19.40.0004.1	923	1
23-062	1	23-062408 FLOWER PROJ. - WIRE CONNECTORS,	Invoice	06/15/2023	09/25/2023	1,446.19	1,446.19	100-40-41225	19.40.0004.1	923	1
23-062	2	23-062408 FLOWER PROJ. - WIRE CONNECTORS,	Invoice	06/15/2023	09/25/2023	1,446.18	1,446.18	100-50-41325	19.40.0004.1	923	1
23-062	1	23-062412 FLOWER PROJ. - SUMMER MAINT. 3/6	Invoice	06/15/2023	09/25/2023	1,516.66	1,516.66	100-40-41225	19.40.0004.1	923	1
23-062	2	23-062412 FLOWER PROJ. - SUMMER MAINT. 3/6	Invoice	06/15/2023	09/25/2023	1,516.67	1,516.67	100-50-41325	19.40.0004.1	923	1
23-072	1	23-072414A FLOWER PROJ. - SUMMER MAINT. 4/6	Invoice	07/15/2023	09/25/2023	1,625.55	1,625.55	100-40-41225	19.40.0004.1	923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
23-072	2	23-072414A FLOWER PROJ. - SUMMER MAINT. 4/6	Invoice	07/15/2023	09/25/2023	1,625.55	1,625.55	100-50-41325	19.40.0004.1	923	1
23-072	1	23-072414A FLOWER PROJ. - REPLACE PAVERS A	Invoice	07/15/2023	09/25/2023	318.75	318.75	100-40-41225	19.40.0004.1	923	1
23-072	2	23-072414A FLOWER PROJ. - REPLACE PAVERS A	Invoice	07/15/2023	09/25/2023	318.75	318.75	100-50-41325	19.40.0004.1	923	1
23-072	1	23-072414B FLOWER PROJ. - POLLINATOR BID- R	Invoice	07/15/2023	09/25/2023	977.43	977.43	100-40-41225	19.40.0004.1	923	1
23-072	2	23-072414B FLOWER PROJ. - POLLINATOR BID- R	Invoice	07/15/2023	09/25/2023	977.42	977.42	100-50-41325	19.40.0004.1	923	1
23-072	1	23072418 FLOWER PROJ. - SUMMER MAINT. 4/6	Invoice	07/15/2023	09/25/2023	1,516.66	1,516.66	100-40-41225	19.40.0004.1	923	1
23-072	2	23072418 FLOWER PROJ. - SUMMER MAINT. 4/6	Invoice	07/15/2023	09/25/2023	1,516.67	1,516.67	100-50-41325	19.40.0004.1	923	1
23-082	1	23-082418 FLOWER PROJ. - SUMMER MAINT. 5/6	Invoice	08/15/2023	09/25/2023	1,320.68	1,320.68	100-40-41225	19.40.0004.1	923	1
23-082	2	23-082418 FLOWER PROJ. - SUMMER MAINT. 5/6	Invoice	08/15/2023	09/25/2023	1,320.67	1,320.67	100-50-41325	19.40.0004.1	923	1
23-082	1	23-082418A FLOWER PROJ. - REPAIR PAVERS MA	Invoice	08/15/2023	09/25/2023	150.00	150.00	100-40-41225	19.40.0004.1	923	1
23-082	2	23-082418A FLOWER PROJ. - REPAIR PAVERS MA	Invoice	08/15/2023	09/25/2023	150.00	150.00	100-50-41325	19.40.0004.1	923	1
23-082	1	23-082422 FLOWER PROJ. - SUMMER MAINT. 5/6	Invoice	08/15/2023	09/25/2023	1,516.67	1,516.67	100-40-41225	19.40.0004.1	923	1
23-082	2	23-082422 FLOWER PROJ. - SUMMER MAINT. 5/6	Invoice	08/15/2023	09/25/2023	1,516.66	1,516.66	100-50-41325	19.40.0004.1	923	1
23-094	1	23-094505 HEAGLE PARK - VOLLEYBALL MODIFIC	Invoice	09/08/2023	09/25/2023	3,426.00	3,426.00	100-50-41325		923	1
Total 7000 CLEARWATER LANDSCAPING:						27,236.49	27,236.49				
5961 CLEARWATER POWER EQUIPMENT LLC											
48987	1	Inv # 48987 Chainsaw	Invoice	08/23/2023	09/25/2023	234.95	234.95	100-55-41215		923	1
Total 5961 CLEARWATER POWER EQUIPMENT LLC:						234.95	234.95				
50396 COASTLINE EQUIPMENT											
105007	1	1050078 RETURN - SEALING, WASHER, INJEC	Invoice	08/28/2023	09/11/2023	535.12-	535.12-	100-40-41405		923	1
Total 50396 COASTLINE EQUIPMENT:						535.12-	535.12-				
1537 COMMERCIAL TIRE											
09-158	1	09-158053 LOADER FLAT TIRE REPAIRS #4047, #4	Invoice	07/21/2023	09/25/2023	585.75	585.75	100-40-41405		923	1
09-158	2	8/31/23 SERVICE CHARGE	Invoice	07/21/2023	09/25/2023	8.79	8.79	100-40-41405		923	1
Total 1537 COMMERCIAL TIRE:						594.54	594.54				
4948 CONE, MARY											
2023 IC	1	2023 ICCTFOA Institute - Mileage Reimb	Invoice	09/06/2023	09/17/2023	63.75	63.75	100-15-41724		923	1
2023 IC	2	2023 ICCTFOA Institute - Mileage Reimb	Invoice	09/06/2023	09/17/2023	63.75	63.75	200-15-41724		923	1
2023 IC	3	2023 ICCTFOA Institute - Mileage Reimb	Invoice	09/06/2023	09/17/2023	63.76	63.76	210-15-41724		923	1
2023 IC	1	2023 ICCTFOA Institute - Per Diem	Invoice	09/06/2023	09/17/2023	58.75	58.75	100-15-41723		923	1
2023 IC	2	2023 ICCTFOA Institute - Per Diem	Invoice	09/06/2023	09/17/2023	58.75	58.75	200-15-41723		923	1
2023 IC	3	2023 ICCTFOA Institute - Per Diem	Invoice	09/06/2023	09/17/2023	58.75	58.75	210-15-41723		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
Total 4948 CONE, MARY:						367.51	367.51				
2808 CORE & MAIN LP											
S68599	1	#S685991 18" METER VAULT FRAMES	Invoice	09/07/2023	09/25/2023	614.80	614.80	200-60-41403		923	1
S76617	1	#S766179 MEASRING CHAMBERS AND PARTS FO	Invoice	09/07/2023	09/25/2023	2,034.12	2,034.12	200-60-41403		923	1
T14430	1	#T144301 6" AND 8" REPAIR CLAMPS	Invoice	09/07/2023	09/25/2023	2,594.63	2,594.63	200-60-41403		923	1
T53811	1	#T538110 3/4" CORP STOP	Invoice	09/08/2023	09/25/2023	963.72	963.72	200-60-41403		923	1
T53811	2	#T538110 3/4" COUPLER	Invoice	09/08/2023	09/25/2023	356.76	356.76	200-60-41403		923	1
Total 2808 CORE & MAIN LP:						6,564.03	6,564.03				
663 D&B SUPPLY											
39882	1	#39882 WORK PANTS FOR TRAVIS	Invoice	07/28/2023	09/25/2023	134.97	134.97	200-60-41703		923	1
Total 663 D&B SUPPLY :						134.97	134.97				
6877 D.O.P.L											
09/07/2	1	BUILDING PERMIT & FEES AUGUST 2023	Invoice	09/07/2023	09/25/2023	20,533.69	20,533.69	100-00-20325		923	1
Total 6877 D.O.P.L:						20,533.69	20,533.69				
6484 DABNEY, LEE											
2023 IL	1	Per Diem ILA Conference Oct 4-6 2023	Invoice	09/14/2023	09/25/2023	72.50	72.50	100-45-41723		923	1
Total 6484 DABNEY, LEE:						72.50	72.50				
2912 DAVIS EMBROIDERY											
43163	1	Inv # 43163 Soft Shell Embroidery	Invoice	09/14/2023	09/25/2023	1,846.94	1,846.94	100-55-41703		923	1
Total 2912 DAVIS EMBROIDERY:						1,846.94	1,846.94				
388 DAY WIRELESS SYSTEMS											
INV775	1	INV775507 UPFITTING EXTRA COST, HPD EXPLO	Invoice	05/17/2023	09/25/2023	1,062.50	1,062.50	100-25-41529		923	1
INV785	1	INV785402 UPFITTING EXTRA COST, HPD EXPLO	Invoice	07/25/2023	09/25/2023	1,044.18	1,044.18	100-25-41529		923	1
INV853	1	INV785386 UPFITTING EXTRA COST, HPD EXPLO	Invoice	07/25/2023	09/25/2023	1,229.69	1,229.69	100-25-41529		923	1
Total 388 DAY WIRELESS SYSTEMS:						3,336.37	3,336.37				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
6577 DEKLOTZ, ELISE											
2023 IL	1	Per Diem ILA Conference Oct 4-6 2023	Invoice	09/14/2023	09/25/2023	72.50	72.50	100-45-41723		923	1
Total 6577 DEKLOTZ, ELISE:						72.50	72.50				
601 DEMCO											
321605	1	3216052900 - MSD ILL postage bags	Invoice	08/07/2023	09/25/2023	278.08	278.08	100-45-41213		923	1
Total 601 DEMCO:						278.08	278.08				
781 DIGLINE											
007204	1	#0072040-IN DIGLINE FEES W.	Invoice	08/31/2023	09/25/2023	103.79	103.79	200-60-41325		923	1
007204	2	#0072040-IN DIGLINE FEES WW.	Invoice	08/31/2023	09/25/2023	103.78	103.78	210-70-41325		923	1
Total 781 DIGLINE:						207.57	207.57				
5925 DREWIEN, LYN											
01855	1	Inv 01855 Reimb ILA reg drewienL	Invoice	09/02/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01866	1	Inv 01866 Reimb ILA reg dabneyL	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01867	1	Inv 01867 reimb ILA reg yturriE	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01868	1	Inv 01868 Reimb ILA reg primrosell	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01869	1	Inv 01869 Reimb ILA reg fletcherK	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01870	1	Inv 01870 Reimb ILA reg stroped	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01871	1	Inv 01871 Reimb ILA reg crottyJ	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
01872	1	Inv 01872 Reimb ILA reg forbisM	Invoice	09/05/2023	09/25/2023	210.00	210.00	100-45-41325		923	1
Total 5925 DREWIEN, LYN:						1,680.00	1,680.00				
1636 ELEVATION BUILDERS											
633	1	Inv 633 -Restroom remodel - flooring	Invoice	09/07/2023	09/25/2023	1,345.00	1,345.00	120-45-41549	23.45.0004.1	923	1
633	2	Inv 633 - library front entrance emergency repairs	Invoice	09/07/2023	09/25/2023	2,000.00	2,000.00	100-45-41413		923	1
Total 1636 ELEVATION BUILDERS:						3,345.00	3,345.00				
1393 EMERGENCY RESPONDER SERVICES, INC.											
23-218	1	#23-218ID DECKED STORAGE SYSTEM W. 2023 F-	Invoice	08/16/2023	09/25/2023	1,400.00	1,400.00	200-60-41415		923	1
Total 1393 EMERGENCY RESPONDER SERVICES, INC.:						1,400.00	1,400.00				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
2782 FIRE SERVICES OF IDAHO, LLC											
125282	1	ANNUAL SERVICE EXTINGUISHER - Library	Invoice	09/13/2023	09/25/2023	45.00	45.00	100-45-41411		923	1
125821	1	12528219 ANNUAL FIRE EXTINGUISHER SERVICE	Invoice	09/13/2023	09/25/2023	15.00	15.00	100-42-41413		923	1
125821	2	12528219 ANNUAL FIRE EXTINGUISHER SERVICE	Invoice	09/13/2023	09/25/2023	15.00	15.00	200-42-41413		923	1
125821	3	12528219 ANNUAL FIRE EXTINGUISHER SERVICE	Invoice	09/13/2023	09/25/2023	15.00	15.00	210-42-41413		923	1
Total 2782 FIRE SERVICES OF IDAHO, LLC:						90.00	90.00				
1584 FIRST BANKCARD - BALEDGE											
08/14/2	1	Uber Trip 19.65 miles	Invoice	08/14/2023	09/25/2023	103.96	103.96	100-55-41724		923	1
08/15/2	1	Uber Trip 7.9 miles	Invoice	08/15/2023	09/25/2023	35.42	35.42	100-55-41724		923	1
08/15/2	1	Uber Trip 8.96 miles	Invoice	08/15/2023	09/25/2023	37.84	37.84	100-55-41724		923	1
117551	1	National Emergency Training # 117551	Invoice	08/01/2023	09/25/2023	347.84	347.84	100-55-41724		923	1
222908	1	Albertsons Department Supplies	Invoice	07/27/2023	09/25/2023	25.74	25.74	100-55-41215		923	1
250790	1	Delta Air Ticket # 0062132131328-29	Invoice	08/01/2023	09/25/2023	691.60	691.60	100-55-41724		923	1
525574	1	Northern Tool Inv # 52557438	Invoice	08/25/2023	09/25/2023	63.59	63.59	100-55-41215		923	1
595662	1	Crowne Plaza Kansas City # 595662	Invoice	08/14/2023	09/25/2023	1,116.05	1,116.05	100-55-41724		923	1
595663	1	Crowne Plaza Kansas City # 595663	Invoice	08/14/2023	09/25/2023	1,116.05	1,116.05	100-55-41724		923	1
602659	1	BK Technologies Inv # 6026596	Invoice	08/02/2023	09/25/2023	421.58	421.58	100-55-41417		923	1
718234	1	National Register NREMT Inv # 718234	Invoice	08/08/2023	09/25/2023	104.00	104.00	100-55-41217		923	1
844532	1	Albertsons Asprin	Invoice	08/23/2023	09/25/2023	18.19	18.19	100-55-41219		923	1
HGMH	1	Delta Air Upgrade # 0064104268970	Invoice	08/23/2023	09/25/2023	74.18	74.18	100-55-41724		923	1
INV323	1	AED Superstore Inv # 3239702	Invoice	08/07/2023	09/25/2023	274.26	274.26	100-55-41219		923	1
Total 1584 FIRST BANKCARD - BALEDGE:						4,430.30	4,430.30				
5372 FIRST BANKCARD - CONE											
181027	1	1810273887 - RENOGY/SOLAR STARTER KIT	Invoice	08/01/2023	09/25/2023	296.79	296.79	200-60-41539		923	1
244416	1	244416438880 - POMERLEAU VISA GIFT CARD	Invoice	08/03/2023	09/25/2023	18.32	18.32	100-15-41215		923	1
244416	2	244416438880 - POMERLEAU VISA GIFT CARD	Invoice	08/03/2023	09/25/2023	18.32	18.32	200-15-41215		923	1
244416	3	244416438880 - POMERLEAU VISA GIFT CARD	Invoice	08/03/2023	09/25/2023	18.31	18.31	210-15-41215		923	1
270201	1	2702016643 - GODADDY RENEWAL	Invoice	08/28/2023	09/25/2023	33.33	33.33	100-15-41515		923	1
270201	2	2702016643 - GODADDY RENEWAL	Invoice	08/28/2023	09/25/2023	33.33	33.33	200-15-41515		923	1
270201	3	2702016643 - GODADDY RENEWAL	Invoice	08/28/2023	09/25/2023	33.33	33.33	210-15-41515		923	1
420358	1	379104 - TRC ELECTRONICS, INC, DDR-120A-24 /	Invoice	08/22/2023	09/25/2023	81.94	81.94	200-60-41539		923	1
892505	1	8925059 - PROVANTAGE	Invoice	08/24/2023	09/25/2023	88.40	88.40	100-15-41539		923	1
892505	2	8925059 - PROVANTAGE	Invoice	08/24/2023	09/25/2023	88.40	88.40	200-15-41539		923	1
892505	3	8925059 - PROVANTAGE	Invoice	08/24/2023	09/25/2023	88.40	88.40	210-15-41539		923	1
892505	4	8925059 - PROVANTAGE	Invoice	08/24/2023	09/25/2023	265.20	265.20	100-40-41539		923	1
892505	5	8925059 - PROVANTAGE	Invoice	08/24/2023	09/25/2023	265.21	265.21	210-70-41405		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
AD017	1	AD01705906016CUS - ACROBAT PRO 2020	Invoice	08/03/2023	09/25/2023	179.60	179.60	100-15-41515		923	1
AD017	2	AD01705906016CUS - ACROBAT PRO 2020	Invoice	08/03/2023	09/25/2023	179.60	179.60	200-15-41515		923	1
AD017	3	AD01705906016CUS - ACROBAT PRO 2020	Invoice	08/03/2023	09/25/2023	179.60	179.60	210-15-41515		923	1
E0100	1	E0100ON7VA MICROSOFT LICENSES	Invoice	08/20/2023	09/25/2023	18.49	18.49	100-15-41215		923	1
E0100	2	E0100ON7VA MICROSOFT LICENSES	Invoice	08/20/2023	09/25/2023	18.49	18.49	200-15-41215		923	1
E0100	3	E0100ON7VA MICROSOFT LICENSES	Invoice	08/20/2023	09/25/2023	18.50	18.50	210-15-41215		923	1
GE396	1	8/17/23 BLUEPARROT HEADSET RETURN - YEAG	Invoice	08/17/2023	09/25/2023	52.99-	52.99-	100-42-41215		923	1
GE396	2	8/17/23 BLUEPARROT HEADSET RETURN - YEAG	Invoice	08/17/2023	09/25/2023	53.00-	53.00-	200-42-41215		923	1
GE396	3	8/17/23 BLUEPARROT HEADSET RETURN - YEAG	Invoice	08/17/2023	09/25/2023	53.00-	53.00-	210-42-41215		923	1
INV202	1	INV20230820100533161 CALLINGPOST	Invoice	08/20/2023	09/25/2023	22.66	22.66	100-15-41323		923	1
INV202	2	INV20230820100533161 CALLINGPOST	Invoice	08/20/2023	09/25/2023	22.66	22.66	200-15-41323		923	1
INV202	3	INV20230820100533161 CALLINGPOST	Invoice	08/20/2023	09/25/2023	22.66	22.66	210-15-41323		923	1
Total 5372 FIRST BANKCARD - CONE:						1,832.55	1,832.55				
5429 FIRST BANKCARD - DREWIEN											
01822	1	ID Library Assoc 6 pak membership	Invoice	08/19/2023	09/25/2023	270.00	270.00	100-45-41723		923	1
07/28/2	1	grant - GrocOut Teen summer reading prizes	Invoice	07/28/2023	09/25/2023	21.17	21.17	100-45-41326		923	1
08/04/2	1	Devoto Gelato Teen Summer Reading prizes	Invoice	08/04/2023	09/25/2023	70.00	70.00	100-45-41326		923	1
1867-3	1	Omeka.net - Mallory Photo subscription-library catalo	Invoice	08/19/2023	09/25/2023	75.00	75.00	100-45-41533		923	1
655661	1	Cafe Della - marketing meeting/ezra pound program	Invoice	08/16/2023	09/25/2023	24.74	24.74	100-45-41323		923	1
D01-29	1	Prime Video Teen Movie Night rental	Invoice	08/21/2023	09/25/2023	3.78	3.78	100-45-41326		923	1
Total 5429 FIRST BANKCARD - DREWIEN:						464.69	464.69				
5789 FIRST BANKCARD - ENGLAND											
440006	1	GRADUATION DINNER FOR KYLIE JONES	Invoice	08/04/2023	09/25/2023	100.00	100.00	100-25-41724		923	1
831321	1	SHAWNA WALLACE ADVANCE NASRO CLASS	Invoice	07/31/2023	09/25/2023	429.34	429.34	100-25-41724		923	1
BOISE	1	#PARKING IN BOISE	Invoice	08/09/2023	09/25/2023	5.00	5.00	100-25-41724		923	1
SV CA	1	CAR WASH HPD VEHICLE	Invoice	08/28/2023	09/25/2023	10.00	10.00	100-25-41415		923	1
Total 5789 FIRST BANKCARD - ENGLAND:						544.34	544.34				
6052 FIRST BANKCARD - HFD EXTRA (5148)											
343391	1	Stagstop Junction Fuel	Invoice	08/29/2023	09/25/2023	31.71	31.71	100-55-41719	23.55.0001.1	923	1
Total 6052 FIRST BANKCARD - HFD EXTRA (5148):						31.71	31.71				
1588 FIRST BANKCARD - HOROWITZ											
08/22/2	1	August Idaho Statesman Subscription	Invoice	08/22/2023	09/25/2023	5.33	5.33	100-15-41711		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
08/22/2	2	August Idaho Statesman Subscription	Invoice	08/22/2023	09/25/2023	5.33	5.33	200-15-41711		923	1
08/22/2	3	August Idaho Statesman Subscription	Invoice	08/22/2023	09/25/2023	5.33	5.33	210-15-41711		923	1
145232	1	145232 - Boise Governor's office Lunch for England,	Invoice	08/09/2023	09/25/2023	23.67	23.67	100-15-41724		923	1
145232	2	145232 - Boise Governor's office Lunch for England,	Invoice	08/09/2023	09/25/2023	23.67	23.67	200-15-41724		923	1
145232	3	145232 - Boise Governor's office Lunch for England,	Invoice	08/09/2023	09/25/2023	23.67	23.67	210-15-41724		923	1
276014	1	8/24/23 276014 COUNTY ENCROACHMENT FILING	Invoice	08/24/2023	09/25/2023	26.95	26.95	100-40-41403	21.40.0003.1	923	1
351366	1	351366996 GoTo Meeting	Invoice	08/16/2023	09/25/2023	25.33	25.33	100-15-41711		923	1
351366	2	351366996 GoTo Meeting	Invoice	08/16/2023	09/25/2023	25.33	25.33	200-15-41711		923	1
351366	3	351366996 GoTo Meeting	Invoice	08/16/2023	09/25/2023	25.34	25.34	210-15-41711		923	1
595710	1	595710429170 - S. Holyoak Retirement Party	Invoice	07/27/2023	09/25/2023	80.91	80.91	210-70-41211		923	1
GMIVIS	1	GMIVIS - ICMA CONFERENCE, DELTA FLIGHT	Invoice	08/30/2023	09/25/2023	124.47	124.47	100-15-41724		923	1
GMIVIS	2	GMIVIS - ICMA CONFERENCE, DELTA FLIGHT	Invoice	08/30/2023	09/25/2023	124.47	124.47	200-15-41724		923	1
GMIVIS	3	GMIVIS - ICMA CONFERENCE, DELTA FLIGHT	Invoice	08/30/2023	09/25/2023	124.46	124.46	210-15-41724		923	1
MC137	1	MC13729795 MAILCHIMP	Invoice	08/04/2023	09/25/2023	23.00	23.00	100-15-41711		923	1
MC137	2	MC13729795 MAILCHIMP	Invoice	08/04/2023	09/25/2023	23.00	23.00	200-15-41711		923	1
MC137	3	MC13729795 MAILCHIMP	Invoice	08/04/2023	09/25/2023	23.00	23.00	210-15-41711		923	1
Total 1588 FIRST BANKCARD - HOROWITZ:						713.26	713.26				
5378 FIRST BANKCARD - HPD EXTRA (4455)											
423992	1	SUPPORT DINNER FOR THE SHELAMER FAMILY-	Invoice	08/24/2023	09/25/2023	118.32	118.32	100-25-41215		923	1
Total 5378 FIRST BANKCARD - HPD EXTRA (4455):						118.32	118.32				
5375 FIRST BANKCARD - SCHWARZ											
70752	1	8/16 /23 KNEE STABILIZER BRACE	Invoice	08/16/2023	09/25/2023	158.95	158.95	100-40-41215		923	1
7313 D	1	7/27 CREW LUNCH	Invoice	07/27/2023	09/25/2023	64.17	64.17	100-40-41215	23.40.0001.1	923	1
Total 5375 FIRST BANKCARD - SCHWARZ:						223.12	223.12				
996 FREEDOM MAILING SERVICES											
46026	1	46026 Bill Processing, Folding & Inserting Newsletter	Invoice	09/02/2023	09/25/2023	640.66	640.66	100-15-41323		923	1
46026	2	46026 Bill Processing, Folding & Inserting Newsletter	Invoice	09/02/2023	09/25/2023	640.66	640.66	200-15-41323		923	1
46026	3	46026 Bill Processing, Folding & Inserting Newsletter	Invoice	09/02/2023	09/25/2023	640.65	640.65	210-15-41323		923	1
46121	1	46121 Delinquent Notices & Postage	Invoice	09/08/2023	09/25/2023	48.57	48.57	100-15-41323		923	1
46121	2	46121 Delinquent Notices & Postage	Invoice	09/08/2023	09/25/2023	48.57	48.57	200-15-41323		923	1
46121	3	46121 Delinquent Notices & Postage	Invoice	09/08/2023	09/25/2023	48.56	48.56	210-15-41323		923	1
Total 996 FREEDOM MAILING SERVICES:						2,067.67	2,067.67				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
5909 FUGATE, JANET											
P&Z ST	1	P&Z Stipend 9/5/23	Invoice	09/05/2023	09/25/2023	100.00	100.00	100-10-41313		923	1
P&Z ST	2	P&Z Stipend 9/18/23	Invoice	09/05/2023	09/25/2023	100.00	100.00	100-10-41313		923	1
P&Z ST	3	P&Z Stipend	Invoice	09/05/2023	09/25/2023	50.00	50.00	200-10-41313		923	1
P&Z ST	4	P&Z Stipend	Invoice	09/05/2023	09/25/2023	50.00	50.00	200-10-41313		923	1
P&Z ST	5	P&Z Stipend 2	Invoice	09/05/2023	09/25/2023	50.00	50.00	210-10-41313		923	1
P&Z ST	6	P&Z Stipend 2	Invoice	09/05/2023	09/25/2023	50.00	50.00	210-10-41313		923	1
Total 5909 FUGATE, JANET:						400.00	400.00				
5711 G & G LANDSCAPING SERVICES INC											
10897	1	10897 KIWANIS PARK - DEBRI REMOVAL, EMPTY	Invoice	08/01/2023	09/25/2023	1,374.46	1,374.46	100-50-41325		923	1
10901	1	10901 HEAGLE PARK - CHECK/REPAIR IRRIG'N S	Invoice	08/01/2023	09/25/2023	750.25	750.25	100-50-41325		923	1
10914	1	10914 KIWANIS PARK - CHECK/REPAIR IRRIG'N S	Invoice	08/01/2023	09/25/2023	9,180.23	9,180.23	100-50-41325		923	1
10937	1	10937 KIWANIS PARK - DEBRI REMOVAL, EMPTY	Invoice	09/01/2023	09/25/2023	2,090.65	2,090.65	100-50-41325		923	1
10938	1	10938 KIWANIS PARK - CHECK/REPAIR IRRIG'N S	Invoice	09/01/2023	09/25/2023	652.57	652.57	100-50-41325		923	1
10939	1	10939 HEAGLE PARK - CHECK/REPAIR IRRIG'N S	Invoice	09/01/2023	09/25/2023	3,209.74	3,209.74	100-50-41325		923	1
Total 5711 G & G LANDSCAPING SERVICES INC:						17,257.90	17,257.90				
369 GEM STATE WELDERS SUPPLY INC.											
217380	1	217380 CYLINDER FUEL	Invoice	08/31/2023	09/25/2023	19.22	19.22	100-40-41719		923	1
217382	1	#217382 TANK RENTAL FEE W.	Invoice	08/31/2023	09/25/2023	9.61	9.61	200-60-41791		923	1
849201	1	#849201 LIQUID CHLORINE FOR 3RD AND NORTH	Invoice	08/10/2023	09/25/2023	610.00	610.00	200-60-41791		923	1
E27195	1	#E271953 LIQUID CHLORINE 15 GAL. FOR RIVER	Invoice	08/03/2023	09/25/2023	154.93	154.93	200-60-41791		923	1
E27201	1	#E272019 FIRE EXTINGUISHER SERVICE	Invoice	08/30/2023	09/25/2023	10.00	10.00	200-60-41413		923	1
Total 369 GEM STATE WELDERS SUPPLY INC. :						803.76	803.76				
336 GO FER IT EXPRESS											
122847	1	#122847 LOCAL SHIPPING W.	Invoice	08/31/2023	09/25/2023	226.80	226.80	200-60-41213		923	1
122847	2	#122847 LOCAL SHIPPING WW.	Invoice	08/31/2023	09/25/2023	107.10	107.10	210-70-41213		923	1
Total 336 GO FER IT EXPRESS:						333.90	333.90				
1850 GREAT AMERICA FINANCIAL SERVICES											
349033	1	Invoice# 34903324 10/2023	Invoice	09/18/2023	09/25/2023	124.00	124.00	100-20-41323		923	1
Total 1850 GREAT AMERICA FINANCIAL SERVICES:						124.00	124.00				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
1975 GUFFY'S GUN & PAWN											
09/19/2	1	4 SECONDARY FIRE ARMS	Invoice	09/19/2023	09/25/2023	3,084.00	3,084.00	100-25-41527		923	1
230906	1	PRACTICE ROUNDS OF 9MM	Invoice	09/06/2023	09/25/2023	1,120.00	1,120.00	100-25-41527		923	1
Total 1975 GUFFY'S GUN & PAWN:						4,204.00	4,204.00				
763 HAILEY PAINT AND SUPPLY											
12490	1	12490 HOP PORTER - PAINT GREEN	Invoice	09/07/2023	09/25/2023	124.00	124.00	100-50-41403		923	1
Total 763 HAILEY PAINT AND SUPPLY :						124.00	124.00				
6550 HARDING, CHRISTOPHER C											
5146-1	1	Inv 5146-17 Library Restroom Labor	Invoice	08/01/2023	09/25/2023	1,300.00	1,300.00	120-45-41549	23.45.0004.1	923	1
5146-1	2	Reimb parts Library Restroom remodel	Invoice	08/01/2023	09/25/2023	18.00	18.00	120-45-41549	23.45.0004.1	923	1
Total 6550 HARDING, CHRISTOPHER C:						1,318.00	1,318.00				
5410 HDR ENGINEERING INC											
120055	1	1200555411 FACILITY PLANNING STUDY - TO #11	Invoice	09/08/2023	09/25/2023	1,408.50	1,408.50	230-75-41549	19.70.0001.1	923	1
Total 5410 HDR ENGINEERING INC:						1,408.50	1,408.50				
1846 HOOVER, JAMES											
2023 E	1	Per diem for Hoover: Oct 2-4 for FAA 139 Re-cert	Invoice	09/12/2023	09/25/2023	165.00	165.00	100-55-41724		923	1
Total 1846 HOOVER, JAMES:						165.00	165.00				
1622 HOROWITZ, LISA											
2023 IC	1	2023 ICMA Annual Conference Per Diem	Invoice	08/30/2023	09/17/2023	103.17	103.17	100-15-41723		923	1
2023 IC	2	2023 ICMA Annual Conference Per Diem	Invoice	08/30/2023	09/17/2023	103.17	103.17	200-15-41723		923	1
2023 IC	3	2023 ICMA Annual Conference Per Diem	Invoice	08/30/2023	09/17/2023	103.16	103.16	210-15-41723		923	1
ICMA A	1	Airfare to ICMA 2023 conference reimbursement	Invoice	08/30/2023	09/17/2023	97.20	97.20	100-15-41724		923	1
ICMA A	2	Airfare to ICMA 2023 conference reimbursement	Invoice	08/30/2023	09/17/2023	97.20	97.20	200-15-41724		923	1
ICMA A	3	Airfare to ICMA 2023 conference reimbursement	Invoice	08/30/2023	09/17/2023	97.20	97.20	210-15-41724		923	1
Total 1622 HOROWITZ, LISA:						601.10	601.10				
8606 HRA VEBA TRUST											
OCTOB	1	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	227.80	227.80	100-50-41126		923	1
OCTOB	2	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	497.44	497.44	100-20-41126		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
OCTOB	3	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	1,594.60	1,594.60	100-25-41126		923	1
OCTOB	4	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	455.60	455.60	100-45-41126		923	1
OCTOB	5	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	227.80	227.80	100-55-41126		923	1
OCTOB	6	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.46	41.46	100-15-41126		923	1
OCTOB	7	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.45	41.45	200-15-41126		923	1
OCTOB	8	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.45	41.45	210-15-41126		923	1
OCTOB	9	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.46	41.46	100-42-41126		923	1
OCTOB	10	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.45	41.45	200-42-41126		923	1
OCTOB	11	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	41.45	41.45	210-42-41126		923	1
OCTOB	12	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	476.52	476.52	200-60-41126		923	1
OCTOB	13	MONTHLY VEBA CONTRIBUTION OCT 2023	Invoice	09/15/2023	09/17/2023	248.72	248.72	210-70-41126		923	1
Total 8606 HRA VEBA TRUST:						3,977.20	3,977.20				
6576 IDAHO BATTLEFIELDS											
000098	1	INV# 000098 TRAINING SUPPLIES	Invoice	09/06/2023	09/25/2023	613.80	613.80	100-25-41217		923	1
Total 6576 IDAHO BATTLEFIELDS:						613.80	613.80				
671 IDAHO LUMBER & HARDWARE											
959284	1	# 959284 Ace Scoop Grain Poly for shop	Invoice	08/23/2023	09/25/2023	63.98	63.98	100-55-41215		923	1
959431	1	INV # 959431 Drywall and Cabetie	Invoice	08/24/2023	09/25/2023	22.96	22.96	100-55-41217		923	1
959932	1	INV#959932 OSB Panel	Invoice	08/29/2023	09/25/2023	196.72	196.72	100-55-41217		923	1
960247	1	#960247 PAINT STRAINER	Invoice	08/31/2023	09/25/2023	4.99	4.99	200-60-41403		923	1
960777	1	960777 CM SOCKET SET	Invoice	09/06/2023	09/25/2023	86.97	86.97	100-40-41423		923	1
961045	1	#961045 LOCATE WIRE	Invoice	09/08/2023	09/25/2023	25.99	25.99	200-60-41403		923	1
961045	2	#961045 PVC PARTS	Invoice	09/08/2023	09/25/2023	20.57	20.57	200-60-41403		923	1
961284	1	961284 PARKING LINES - LUMBER CRAYON, CHA	Invoice	09/11/2023	09/25/2023	8.56	8.56	100-40-41405	23.40.0001.1	923	1
961535	1	961535 BATHROOMS - DEADBOLT	Invoice	09/12/2023	09/25/2023	18.99	18.99	100-50-41405		923	1
961536	1	961536 #4067 HINGE	Invoice	09/12/2023	09/25/2023	7.59	7.59	100-40-41405		923	1
961601	1	961601 PAINTING - MARKER, LUMBER CRAYON,	Invoice	09/13/2023	09/25/2023	11.57	11.57	100-40-41405	23.40.0001.1	923	1
961698	1	961698 MAINTENANCE - PAINT TRAY LINER, MF9	Invoice	09/13/2023	09/25/2023	17.98	17.98	100-50-41405		923	1
961705	1	961705 #4067 hasp stpl dbl3, knob	Invoice	09/13/2023	09/25/2023	8.58	8.58	100-40-41405		923	1
961766	1	961766 Mastic - BUCKET LID, SILICA SAND	Invoice	09/14/2023	09/25/2023	15.07	15.07	100-40-41405	23.40.0001.1	923	1
961817	1	INV # 961817 Bolt	Invoice	09/14/2023	09/25/2023	.57	.57	100-55-41415		923	1
962289	1	INV # 962289 Earplugs	Invoice	09/19/2023	09/25/2023	89.00	89.00	100-55-41215		923	1
Total 671 IDAHO LUMBER & HARDWARE:						600.09	600.09				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
5631 IDAHO MATERIALS AND CONSTRUCTION											
211942	1	211942 MAPLE AND MAIN PATCH	Invoice	09/12/2023	09/25/2023	1,344.42	1,344.42	100-40-41403		923	1
PAY RE	1	PAY REQUEST #1 CROY TO QUIGLEY PATH	Invoice	09/19/2023	09/25/2023	527,698.82	527,698.82	120-40-41549	21.40.0003.1	923	1
Total 5631 IDAHO MATERIALS AND CONSTRUCTION:						529,043.24	529,043.24				
400 IDAHO MOUNTAIN EXPRESS											
08/31/2	1	8/02, 8/09 - Thank you Park adopters Display	Invoice	08/31/2023	09/17/2023	885.78	885.78	100-50-41323		923	1
08/31/2	2	8/02 - P&Z Gyurkey ADU	Invoice	08/31/2023	09/17/2023	27.60	27.60	100-20-41323		923	1
08/31/2	3	8/21 - P&Z Prelim Plat Sub App by ARCH, Text Amen	Invoice	08/31/2023	09/17/2023	61.64	61.64	100-20-41323		923	1
08/31/2	4	08/02 - Conrad App for a Lot Line Adj	Invoice	08/31/2023	09/17/2023	31.28	31.28	100-20-41323		923	1
08/31/2	5	08/09 - FY24 Budget & New and increased city fees	Invoice	08/31/2023	09/17/2023	190.77	190.77	100-15-41323		923	1
08/31/2	6	08/09 - FY24 Budget & New and increased city fees	Invoice	08/31/2023	09/17/2023	190.77	190.77	200-15-41323		923	1
08/31/2	7	08/09 - FY24 Budget & New and increased city fees	Invoice	08/31/2023	09/17/2023	190.78	190.78	210-15-41323		923	1
08/31/2	8	8/28 - CC PUD App by F&G Idaho, LLC, Maple Street	Invoice	08/31/2023	09/17/2023	62.56	62.56	100-20-41323		923	1
08/31/2	9	8/16, 8/23 - Invitation to Bid - Quigley Road Bike Path	Invoice	08/31/2023	09/17/2023	909.09	909.09	100-42-41323		923	1
08/31/2	10	9/5 - P&Z Barfuss PUD consideration, Heitzman Desi	Invoice	08/31/2023	09/17/2023	78.20	78.20	100-20-41323		923	1
08/31/2	11	8/23 - 2023 River/Spruce Invitation to Bid	Invoice	08/31/2023	09/17/2023	932.40	932.40	100-20-41323		923	1
08/31/2	12	9/11 - CC Consideration of Prelim Plat App by Piling F	Invoice	08/31/2023	09/17/2023	49.68	49.68	100-20-41323		923	1
08/31/2	13	9/18 - P&Z Design Rev App by ARCH, BCRD Condi	Invoice	08/31/2023	09/17/2023	67.16	67.16	100-20-41323		923	1
08/31/2	14	8/30 - Notice of Municipal Election / Mayor/ Seat No.3	Invoice	08/31/2023	09/17/2023	16.56	16.56	100-15-41323		923	1
08/31/2	15	8/30 - Notice of Municipal Election / Mayor/ Seat No.3	Invoice	08/31/2023	09/17/2023	16.56	16.56	200-15-41323		923	1
08/31/2	16	8/30 - Notice of Municipal Election / Mayor/ Seat No.3	Invoice	08/31/2023	09/17/2023	16.56	16.56	210-15-41323		923	1
Total 400 IDAHO MOUNTAIN EXPRESS:						3,727.39	3,727.39				
22433 IDAHO POWER											
09/06/2	1	IP 2222783132 HAILEY POLICE DEPT.	Invoice	09/06/2023	09/25/2023	393.84	393.84	100-25-41717		923	1
09/06/2	2	IP 2207893211 Street - Blaine Manor St Apt	Invoice	09/06/2023	09/25/2023	5.31	5.31	100-40-41715		923	1
09/06/2	3	IP 2203575119 Streets	Invoice	09/06/2023	09/25/2023	7.55	7.55	100-40-41715		923	1
09/06/2	4	IP2200663470 control Elm Alley	Invoice	09/06/2023	09/25/2023	5.70	5.70	100-40-41717		923	1
09/06/2	5	IP 2204305425 Street - Traffic Lights	Invoice	09/06/2023	09/25/2023	138.99	138.99	100-40-41717		923	1
09/06/2	6	IP2221408442 Park - 851 Shenandoah - Balmoral	Invoice	09/06/2023	09/25/2023	5.31	5.31	100-50-41717		923	1
09/06/2	7	IP 2226639884 - Parks - Arboratum	Invoice	09/06/2023	09/25/2023	5.31	5.31	100-50-41717		923	1
Total 22433 IDAHO POWER:						562.01	562.01				
612 INGRAM BOOK COMPANY											
SEPT 2	1	Sept 2023 Library collection purchases	Invoice	09/19/2023	09/25/2023	382.58	382.58	100-45-41535		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
Total 612 INGRAM BOOK COMPANY:						382.58	382.58				
229 INTEGRATED TECHNOLOGIES											
224587	1	Inv # 224587 SERVICE CONTRAT #M7824-01 Printe	Invoice	09/03/2023	09/25/2023	44.67	44.67	100-55-41711		923	1
Total 229 INTEGRATED TECHNOLOGIES:						44.67	44.67				
345 JACOBS ENGINEERING GROUP INC											
D37536	1	Invoice# d3753600-002 Comp Plan	Invoice	09/14/2023	09/25/2023	860.00	860.00	100-20-41313		923	1
Total 345 JACOBS ENGINEERING GROUP INC:						860.00	860.00				
330 JANE'S ARTIFACTS											
058871	1	058871 library Hispanic Heritage program supplies	Invoice	09/13/2023	09/25/2023	6.95	6.95	100-45-41215		923	1
059730	1	059730 Card Stock and Paint Marker	Invoice	07/03/2023	09/17/2023	1.65	1.65	100-15-41211		923	1
059730	2	059730 Card Stock and Paint Marker	Invoice	07/03/2023	09/17/2023	1.65	1.65	200-15-41211		923	1
059730	3	059730 Card Stock and Paint Marker	Invoice	07/03/2023	09/17/2023	1.64	1.64	210-15-41211		923	1
060232	1	Inv # 105065 Offic Supplies	Invoice	08/31/2023	09/25/2023	118.76	118.76	100-55-41211		923	1
060325	1	060325 library Hispanic Heritage Storywalk	Invoice	09/12/2023	09/25/2023	61.00	61.00	100-45-41326		923	1
060333	1	060333 library Hispanic Heritage Storywalk	Invoice	09/13/2023	09/25/2023	33.00	33.00	100-45-41326		923	1
060348	1	060348 library office supplies	Invoice	09/14/2023	09/25/2023	7.98	7.98	100-45-41215		923	1
060360	1	060360 11x17 Paper	Invoice	09/15/2023	09/17/2023	10.00	10.00	100-15-41215		923	1
060360	2	060360 11x17 Paper	Invoice	09/15/2023	09/17/2023	10.00	10.00	200-15-41215		923	1
060360	3	060360 11x17 Paper	Invoice	09/15/2023	09/17/2023	9.99	9.99	210-15-41215		923	1
060362	1	060362 - Hispanic Heritage face paint supplies	Invoice	09/15/2023	09/25/2023	20.99	20.99	100-45-41215		923	1
060377	1	#060377 Post It Tabs	Invoice	09/18/2023	09/25/2023	21.32	21.32	100-20-41215		923	1
Total 330 JANE'S ARTIFACTS:						304.93	304.93				
1065 JOE'S BACKHOE SERVICES INC											
742404	1	7424042 2023 FLOOD - WAR EAGLE - HAUL ROAD	Invoice	09/04/2023	09/25/2023	1,500.00	1,500.00	100-40-41403	23.15.0002.1	923	1
Total 1065 JOE'S BACKHOE SERVICES INC:						1,500.00	1,500.00				
9560 KARL MALONE FORD HAILEY											
107069	1	REPAIR HPD VEHICLES	Invoice	08/15/2023	09/25/2023	1,648.21	1,648.21	100-25-41415		923	1
Total 9560 KARL MALONE FORD HAILEY:						1,648.21	1,648.21				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
4542 KETCHUM COMPUTERS											
19910	1	# 19910 Admin: Phishing issues, Website maint & pdf	Invoice	09/17/2023	09/17/2023	105.00	105.00	100-15-41313		923	1
19910	2	# 19910 Admin: Phishing issues, Website maint & pdf	Invoice	09/17/2023	09/17/2023	105.00	105.00	200-15-41313		923	1
19910	3	# 19910 Admin: Phishing issues, Website maint & pdf	Invoice	09/17/2023	09/17/2023	105.00	105.00	210-15-41313		923	1
19910	4	# 19910 HFD: Network cabeling devices	Invoice	09/17/2023	09/17/2023	45.00	45.00	100-55-41313		923	1
19910	5	# 19910 WW: Firewall issues for remote access	Invoice	09/17/2023	09/17/2023	90.00	90.00	210-70-41313		923	1
19910	6	# 19910 Library: Setup new email for Amber, Phone p	Invoice	09/17/2023	09/17/2023	180.00	180.00	100-45-41313		923	1
19910	7	# 19910 PW: Lock server issues	Invoice	09/17/2023	09/17/2023	30.00	30.00	100-42-41313		923	1
19910	8	# 19910 PW: Lock server issues	Invoice	09/17/2023	09/17/2023	30.00	30.00	200-42-41313		923	1
19910	9	# 19910 PW: Lock server issues	Invoice	09/17/2023	09/17/2023	30.00	30.00	210-42-41313		923	1
Total 4542 KETCHUM COMPUTERS:						720.00	720.00				
386 L.L. GREENS											
A71581	1	A715819 PAINT SPRAYER COMPRESSION SPRIN	Invoice	09/11/2023	09/25/2023	3.99	3.99	100-40-41405		923	1
A71601	1	#A716015 Library HHk Storywalk supplies	Invoice	09/12/2023	09/25/2023	29.99	29.99	100-45-41326		923	1
A71620	1	A716202 Library HHk hooks	Invoice	09/14/2023	09/25/2023	8.97	8.97	100-45-41215		923	1
A71622	1	A716227 MAINTENANCE - PAINT THINNER, POLY	Invoice	09/14/2023	09/25/2023	44.98	44.98	100-50-41405		923	1
B41915	1	B419154 MOP	Invoice	09/16/2023	09/25/2023	3.33	3.33	100-42-41413		923	1
B41915	2	B419154 MOP	Invoice	09/16/2023	09/25/2023	3.33	3.33	200-42-41413		923	1
B41915	3	B419154 MOP	Invoice	09/16/2023	09/25/2023	3.33	3.33	210-42-41413		923	1
D74385	1	D74385 - CAMERA BATTERY	Invoice	09/15/2023	09/25/2023	18.49	18.49	100-25-41215		923	1
Total 386 L.L. GREENS :						116.41	116.41				
227 L.N. CURTIS AND SONS											
CM367	1	CM # CM36778 Curtis Tools for Heroes - Belt & Buckl	Invoice	05/04/2023	09/25/2023	26.00-	26.00-	100-55-41703		923	1
INV671	1	INV # 671733 Curtis Tools for Heroes - Cleaning and	Invoice	01/30/2023	09/25/2023	93.11	93.11	100-55-41703		923	1
INV698	1	INV # 698267 Curtis Tools for Heroes - Patches	Invoice	04/24/2023	09/25/2023	87.51	87.51	100-55-41703		923	1
Total 227 L.N. CURTIS AND SONS:						154.62	154.62				
547 LES SCHWAB TIRE CENTER - STREETS											
117008	1	11700833143 RADIAL PASSENGER TUBE	Invoice	09/18/2023	09/25/2023	39.98	39.98	100-40-41405		923	1
Total 547 LES SCHWAB TIRE CENTER - STREETS:						39.98	39.98				
928 MAGIC VALLEY LABS, INC.											
28775	1	#28775 DRINKING WATER SAMPLES	Invoice	08/29/2023	09/25/2023	216.00	216.00	200-60-41795		923	1
28775	2	#28775 INDIAN CREEK SPRING SAMPLE	Invoice	08/29/2023	09/25/2023	186.00	186.00	200-60-41795		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
28775	3	#28775 CONSTRUCTION SAMPLES	Invoice	08/29/2023	09/25/2023	216.00	216.00	200-60-41795		923	1
28775	4	#28775 COOLER RETURN	Invoice	08/29/2023	09/25/2023	21.00	21.00	200-60-41795		923	1
Total 928 MAGIC VALLEY LABS, INC.:						639.00	639.00				
6581 MENDOZA BROTHERS ROOFING LLC											
23-160	1	23-160 OVERPAYMENT	Invoice	09/15/2023	09/25/2023	20.00	20.00	100-00-20320		923	1
Total 6581 MENDOZA BROTHERS ROOFING LLC:						20.00	20.00				
251 NAPA AUTO PARTS											
160588	1	OIL FILTER	Invoice	09/07/2023	09/25/2023	8.88	8.88	100-25-41415		923	1
160647	1	BAY BOX FOR HPD	Invoice	09/07/2023	09/25/2023	129.99	129.99	100-25-41415		923	1
161194	1	161194 ADJUSTABLE WRENCH, SHOP TOWELS, F	Invoice	09/12/2023	09/25/2023	1,233.88	1,233.88	100-40-41423		923	1
161479	1	161479 FORGED SHEARS	Invoice	09/14/2023	09/25/2023	55.47	55.47	100-40-41423		923	1
161480	1	161480 BLUE THREADLOCKER, BRAKE CLEANER	Invoice	09/14/2023	09/25/2023	200.94	200.94	100-40-41405		923	1
161552	1	161552 HEATER CORE ALUMINUM	Invoice	09/14/2023	09/25/2023	49.20	49.20	100-40-41405		923	1
161650	1	161650 5 SHELF, CUT-OFF WHEEL, WELDING HEL	Invoice	09/15/2023	09/25/2023	486.06	486.06	100-40-41423		923	1
219243	1	219243 2 YR BAT, CORE DEPOSIT	Invoice	09/14/2023	09/25/2023	170.99	170.99	100-40-41405		923	1
Total 251 NAPA AUTO PARTS:						2,335.41	2,335.41				
2131 NATIONAL AUTO FLEET GROUP											
WF866	1	INV # WF8662 FORD F150 G31019	Invoice	09/19/2023	09/25/2023	40,000.00	40,000.00	100-50-41405		923	1
WF866	2	INV # WF8662 FORD F150 G31019	Invoice	09/19/2023	09/25/2023	27,195.00	27,195.00	100-40-41415		923	1
Total 2131 NATIONAL AUTO FLEET GROUP:						67,195.00	67,195.00				
2174 NORTHERN TOOL & EQUIPMENT											
526293	1	52629382 ROUGHNECK 4LB, LITHIUM ION, IRT 40	Invoice	09/13/2023	09/25/2023	533.03	533.03	100-40-41405		923	1
Total 2174 NORTHERN TOOL & EQUIPMENT:						533.03	533.03				
401 OHIO GULCH TRANSFER STATION											
263393	1	INV # 263393 Trash Transfer	Invoice	09/15/2023	09/25/2023	8.64	8.64	100-55-41717		923	1
Total 401 OHIO GULCH TRANSFER STATION:						8.64	8.64				
50298 O'REILLY AUTO PARTS											
4635-3	1	# 4635-339107 MICRO CLOTH	Invoice	07/04/2023	09/25/2023	17.99	17.99	100-25-41415		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
4635-3	1	# 4635-339340 INTER CLEANER	Invoice	07/05/2023	09/25/2023	10.99	10.99	100-25-41415		923	1
4635-3	1	#4635-343408 HOOK&LOOP X2	Invoice	07/19/2023	09/25/2023	9.98	9.98	100-25-41415		923	1
4635-3	1	# 4635-343666 OIL FILTER X2	Invoice	07/20/2023	09/25/2023	10.58	10.58	100-25-41415		923	1
4635-3	1	# 4635-343690 ANTIFREEZE, GL-WIPER X2	Invoice	07/20/2023	09/25/2023	31.51	31.51	100-25-41415		923	1
4635-3	1	Inv # 4635-345475 Spark Plug	Invoice	07/25/2023	09/25/2023	2.86	2.86	100-55-41421		923	1
4635-3	1	# 4635-356002 SHOP TOWELS	Invoice	09/01/2023	09/25/2023	101.88	101.88	100-55-41405		923	1
4635-3	1	Inv # 4635-358382 Maxi Fuse	Invoice	09/10/2023	09/25/2023	10.58	10.58	100-55-41415		923	1
Total 50298 O'REILLY AUTO PARTS:						196.37	196.37				
6583 POLK STATE COLLAGE											
3323	1	3323 NPSIA - WRIGLEY	Invoice	09/19/2023	09/25/2023	3,500.00	3,500.00	100-25-41723		923	1
Total 6583 POLK STATE COLLAGE:						3,500.00	3,500.00				
50573 PRICHARD, JERAMIE											
113-79	1	Boot Stipend up to \$150	Invoice	07/29/2023	09/25/2023	150.00	150.00	100-55-41703		923	1
Total 50573 PRICHARD, JERAMIE:						150.00	150.00				
6579 PRIMROSE, LAURA A											
2023 IL	1	PER DIEM ILA Conference Oct 4-6	Invoice	09/14/2023	09/25/2023	72.50	72.50	100-45-41723		923	1
Total 6579 PRIMROSE, LAURA A:						72.50	72.50				
6530 REBECCA F. BUNDY, ARCHITECT, PLLC											
2023.0	1	2023.03 August Services	Invoice	09/01/2023	09/25/2023	1,785.00	1,785.00	100-20-41313		923	1
Total 6530 REBECCA F. BUNDY, ARCHITECT, PLLC:						1,785.00	1,785.00				
6587 RECON POWER BIKES											
12829	1	12829 - INTERCEPTOR POWER BIKE X2	Invoice	09/19/2023	09/25/2023	10,903.00	10,903.00	100-25-41325		923	1
Total 6587 RECON POWER BIKES:						10,903.00	10,903.00				
4694 ROB BECK LLC											
7471	1	7471 9/17/23 620 E CROY ST. - TREE REMOVAL, SI	Invoice	09/17/2023	09/25/2023	950.00	950.00	100-50-41402		923	1
Total 4694 ROB BECK LLC:						950.00	950.00				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
6522 RODGER, AMBER TELLERIA											
665546	1	Grocery outlet Reimb for Teen Craft programming pr	Invoice	09/08/2023	09/25/2023	63.35	63.35	100-45-41326		923	1
Total 6522 RODGER, AMBER TELLERIA:						63.35	63.35				
6532 RODRIGUE, EMILY T											
2023 F	1	MILEAGE REIMB:APA	Invoice	08/30/2023	09/15/2023	322.26	322.26	100-20-41724		923	1
2023 F	1	PERDIEM: APA	Invoice	08/30/2023	09/15/2023	121.25	121.25	100-20-41723		923	1
Total 6532 RODRIGUE, EMILY T:						443.51	443.51				
4642 ROMERO, HERBERT											
091120	1	Hispanic Heritage Kickoff Band Quinta Generacion	Invoice	09/11/2023	09/25/2023	250.00	250.00	100-45-41326		923	1
Total 4642 ROMERO, HERBERT:						250.00	250.00				
4635 ROPES END PROPERTY SERVICES LLC											
10914	1	Inv # 10914 Rodent Control	Invoice	09/05/2023	09/25/2023	95.00	95.00	100-55-41325		923	1
Total 4635 ROPES END PROPERTY SERVICES LLC:						95.00	95.00				
5129 RUSH TRUCK CENTERS OF ID INC											
303184	1	3031849541 LATCH KIT, HOOD LATCH	Invoice	03/24/2023	05/22/2023	175.00-	175.00-	100-40-41405		523	1
303380	1	3033805528 RUBBER PLUG	Invoice	08/17/2023	09/11/2023	53.94	53.94	100-40-41405		923	1
303408	1	3034086490 RADIATOR	Invoice	09/08/2023	09/25/2023	1,368.85	1,368.85	100-40-41415		923	1
Total 5129 RUSH TRUCK CENTERS OF ID INC:						1,247.79	1,247.79				
1608 SAFETY SUPPLY & SIGN											
186087	1	186087 SIGNAGE STOP, ALL WAY SIGNS	Invoice	08/08/2023	09/25/2023	1,388.99	1,388.99	100-40-41403		923	1
186138	1	186138 SIGNAGE CHIP SEAL WHITE, CHIP SEAL Y	Invoice	08/11/2023	09/25/2023	662.21	662.21	100-40-41403	23.40.0001.1	923	1
Total 1608 SAFETY SUPPLY & SIGN :						2,051.20	2,051.20				
2849 SAGE SUPPLY, INC.											
TS--211	1	TS--21128 TRAFFIC CONTROL - CHIP SEAL	Invoice	08/08/2023	09/25/2023	4,119.70	4,119.70	100-40-41403	23.40.0001.1	923	1
Total 2849 SAGE SUPPLY, INC.:						4,119.70	4,119.70				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
6502 SAUERBREY, SAGE M											
P&Z ST	1	PZ Meeting September 5 & 18	Invoice	09/05/2023	09/25/2023	200.00	200.00	100-10-41313		923	1
P&Z ST	2	PZ Stipend 1	Invoice	09/05/2023	09/25/2023	100.00	100.00	100-10-41313		923	1
P&Z ST	3	PZ Stipend 2	Invoice	09/05/2023	09/25/2023	100.00	100.00	210-10-41313		923	1
Total 6502 SAUERBREY, SAGE M:						400.00	400.00				
2124 SAWTOOTH PAINT & AIRLESS, INC.											
4L8CS	1	4L8CS PAINTING ST DEPT - 5 GL STRAINER	Invoice	09/13/2023	09/25/2023	9.95	9.95	100-40-41405		923	1
R3X8B	1	Inv # R3X8B Gallon Strainer	Invoice	08/28/2023	09/25/2023	7.96	7.96	100-55-41215		923	1
Total 2124 SAWTOOTH PAINT & AIRLESS, INC.:						17.91	17.91				
214 SAWTOOTH WOOD PRODUCTS											
000014	1	0000142576 POLYCUT BLADES 12PK	Invoice	08/28/2023	09/25/2023	25.98	25.98	100-50-41405		923	1
000014	1	0000142668 SHARPENING LABOR, TRIMMER LINE	Invoice	08/30/2023	09/25/2023	100.99	100.99	100-50-41405		923	1
Total 214 SAWTOOTH WOOD PRODUCTS:						126.97	126.97				
4330 SCANLON, OWEN											
P&Z ST	1	P&Z Stipend Septmeber 9/5 & 9/18	Invoice	09/05/2023	09/25/2023	200.00	200.00	100-10-41313		923	1
P&Z ST	2	P&Z Stipend	Invoice	09/05/2023	09/25/2023	100.00	100.00	200-10-41313		923	1
P&Z ST	3	P&Z Stipend 2	Invoice	09/05/2023	09/25/2023	100.00	100.00	210-10-41313		923	1
Total 4330 SCANLON, OWEN:						400.00	400.00				
1246 SERVA, ANGEL											
105	1	REFUND - 1 PARK FIELD RESERVATION - KEEFER	Invoice	08/24/2023	09/25/2023	150.00	150.00	100-00-32265		923	1
105	2	REFUND - PARK RESERVATION TAX	Invoice	08/24/2023	09/25/2023	9.00	9.00	200-00-20317		923	1
Total 1246 SERVA, ANGEL:						159.00	159.00				
6586 SILENT 6 LLC											
1150A	1	1150A - SERVICE FEES FOR SURVEILANCE EQUI	Invoice	09/13/2023	09/25/2023	524.00	524.00	100-25-41733		923	1
Total 6586 SILENT 6 LLC:						524.00	524.00				
5494 SILVER CREEK SUPPLY											
001242	1	0012423118-001 JIMMYS GARDEN- RB VALVE	Invoice	08/25/2023	09/25/2023	27.91	27.91	100-50-41405		923	1
001247	1	0012478864-001 NIPPLE PVC, ROTARY NOZZLE,	Invoice	08/30/2023	09/25/2023	162.48	162.48	100-50-41405		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
001249	1	0012498697-001 WOODSIDE - ROTARY NOZZLE	Invoice	08/31/2023	09/25/2023	44.90	44.90	100-50-41405		923	1
001250	1	0012505868-001 WOODSIDE - PVC PLUG, POPUP	Invoice	08/31/2023	09/25/2023	220.31	220.31	100-50-41405		923	1
001250	1	0012508028-001 RB ROTOR	Invoice	08/31/2023	09/25/2023	18.48	18.48	100-50-41405		923	1
Total 5494 SILVER CREEK SUPPLY:						474.08	474.08				
1239 SIMMS LAW PLLC											
AUGUS	1	professional services - August 2023	Invoice	09/01/2023	09/17/2023	408.33	408.33	100-15-41313	23.15.0003.1	923	1
AUGUS	2	professional services - August 2023	Invoice	09/01/2023	09/17/2023	408.33	408.33	200-15-41313	23.15.0003.1	923	1
AUGUS	3	professional services - August 2023	Invoice	09/01/2023	09/17/2023	408.34	408.34	210-15-41313	23.15.0003.1	923	1
AUGUS	4	professional services - August 2023	Invoice	09/01/2023	09/17/2023	3,616.92	3,616.92	100-15-41313		923	1
AUGUS	5	professional services - August 2023	Invoice	09/01/2023	09/17/2023	3,616.92	3,616.92	200-15-41313		923	1
AUGUS	6	professional services - August 2023	Invoice	09/01/2023	09/17/2023	3,616.91	3,616.91	210-15-41313		923	1
Total 1239 SIMMS LAW PLLC:						12,075.75	12,075.75				
5683 SKYLINE EXCAVATION AND GRADING											
PAY RE	1	PAY Request #2 - WATER FILL STATION	Invoice	09/19/2023	09/25/2023	38,792.00	38,792.00	220-65-41547	23.20.0001.1	923	1
Total 5683 SKYLINE EXCAVATION AND GRADING:						38,792.00	38,792.00				
7002 SMITH, DAN											
P&Z ST	1	P&Z Stipend September 5 & 18	Invoice	09/05/2023	09/25/2023	200.00	200.00	100-20-41313		923	1
P&Z ST	2	P&Z Stipend	Invoice	09/05/2023	09/25/2023	100.00	100.00	200-10-41313		923	1
P&Z ST	3	P&Z Stipend 2	Invoice	09/05/2023	09/25/2023	100.00	100.00	210-10-41313		923	1
Total 7002 SMITH, DAN:						400.00	400.00				
6585 SPECIAL SERVICES GROUP, LLC											
17187	1	17187 - SURVEILANCE EQUIPMENT	Invoice	09/13/2023	09/25/2023	4,496.99	4,496.99	100-25-41733		923	1
Total 6585 SPECIAL SERVICES GROUP, LLC:						4,496.99	4,496.99				
1506 STANDARD PLUMBING SUPPLY											
UMPB1	1	#UMPB15 BRASS PARTS FOR LEAK AT 1051 FOR	Invoice	09/06/2023	09/25/2023	34.82	34.82	200-60-41403		923	1
Total 1506 STANDARD PLUMBING SUPPLY :						34.82	34.82				
50446 STONE, DUSTIN											
P&Z ST	1	P&Z Stipend 9/18/23	Invoice	09/05/2023	09/25/2023	100.00	100.00	100-10-41313		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
P&Z ST	2	P&Z Stipend	Invoice	09/05/2023	09/25/2023	50.00	50.00	200-10-41313		923	1
P&Z ST	3	P&Z Stipend 2	Invoice	09/05/2023	09/25/2023	50.00	50.00	210-10-41313		923	1
Total 50446 STONE, DUSTIN:						200.00	200.00				
6580 STROPE, DENON M											
2023 IL	1	Per Diem ILA Conference -library	Invoice	09/14/2023	09/25/2023	72.50	72.50	100-45-41723		923	1
Total 6580 STROPE, DENON M:						72.50	72.50				
4620 SYBERTECH											
U11103	1	U11103 MILLENIUUM RESERVOIR PLANTERS	Invoice	09/13/2023	09/25/2023	5,423.51	5,423.51	100-40-41225		923	1
Total 4620 SYBERTECH:						5,423.51	5,423.51				
6584 SYMBOLARTS LLC											
375662	1	375662 - DEPARTMENT CHALLENGE COINS	Invoice	09/07/2023	09/25/2023	3,466.50	3,466.50	100-25-41325		923	1
376007	1	3476007 - DEPARTMENT CHALLENGE COINS	Invoice	09/13/2023	09/25/2023	1,114.50	1,114.50	100-25-41325		923	1
Total 6584 SYMBOLARTS LLC:						4,581.00	4,581.00				
4671 SYRINGA NETWORKS LLC											
23SEP	1	23SEP0406 Admin 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	100-15-41713		923	1
23SEP	2	23SEP0406 Admin 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	200-15-41713		923	1
23SEP	3	23SEP0406 Admin 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	210-15-41713		923	1
23SEP	4	23SEP0406 Comm Dev	Invoice	09/01/2023	09/25/2023	187.50	187.50	100-20-41713		923	1
23SEP	5	23SEP0406 P.W. 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	100-42-41713		923	1
23SEP	6	23SEP0406 P.W. 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	200-42-41713		923	1
23SEP	7	23SEP0406 P.W. 33.33%	Invoice	09/01/2023	09/25/2023	62.50	62.50	210-42-41713		923	1
23SEP	8	23SEP0406 Library	Invoice	09/01/2023	09/25/2023	187.50	187.50	100-45-41713		923	1
23SEP	9	23SEP0604 HPD	Invoice	09/01/2023	09/25/2023	850.00	850.00	100-25-41713		923	1
Total 4671 SYRINGA NETWORKS LLC:						1,600.00	1,600.00				
1026 TANNER INVESTMENTS, LLC											
FINAL	1	Final Release of Cash Security Deposit-Woodside BI	Invoice	09/11/2023	09/25/2023	13,500.00	13,500.00	100-00-20314		923	1
Total 1026 TANNER INVESTMENTS, LLC:						13,500.00	13,500.00				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
6572 TAQUERIA AL PASTOR											
09/07/2	1	Inv #1 Hispanic Heritage Kickoff 9.15.23	Invoice	09/07/2023	09/25/2023	250.00	250.00	100-45-41326		923	1
Total 6572 TAQUERIA AL PASTOR:						250.00	250.00				
50520 THE HOUSING COMPANY											
103	1	Housing Stipend Evaluation: Fletcher	Invoice	02/28/2023	09/25/2023	133.33	133.33	100-10-41547		923	1
103	2	Housing Stipend Evaluation: Fletcher	Invoice	02/28/2023	09/25/2023	133.33	133.33	200-10-41547		923	1
103	3	Housing Stipend Evaluation: Fletcher	Invoice	02/28/2023	09/25/2023	133.34	133.34	210-10-41547		923	1
105	1	Housing Stipend Evaluation: Wrigley	Invoice	06/01/2023	09/25/2023	66.67	66.67	100-10-41547		923	1
105	2	Housing Stipend Evaluation: Wrigley	Invoice	06/01/2023	09/25/2023	66.67	66.67	200-10-41547		923	1
105	3	Housing Stipend Evaluation: Wrigley	Invoice	06/01/2023	09/25/2023	66.66	66.66	210-10-41547		923	1
Total 50520 THE HOUSING COMPANY:						600.00	600.00				
2817 UNITED OIL											
102699	1	# 1026991 HFD FUEL	Invoice	08/31/2023	09/25/2023	501.78	501.78	100-55-41719		923	1
102699	1	#1026992 HPD GAS	Invoice	08/31/2023	09/25/2023	1,031.44	1,031.44	100-25-41719		923	1
102699	1	#1026994 PUMPED VEHICLE FUEL W.	Invoice	08/31/2023	09/25/2023	992.53	992.53	200-60-41719		923	1
102805	1	1028050 FUEL CHARGES PARKS	Invoice	09/15/2023	09/25/2023	471.51	471.51	100-50-41719		923	1
102805	1	Inv # 1028051 HFD FUEL	Invoice	09/15/2023	09/25/2023	391.11	391.11	100-55-41719		923	1
102805	1	# 1028052 HPD GAS	Invoice	09/15/2023	09/25/2023	984.79	984.79	100-25-41719		923	1
102805	1	1028053 FUEL CHARGES STREETS	Invoice	09/15/2023	09/25/2023	483.34	483.34	100-40-41719		923	1
Total 2817 UNITED OIL:						4,856.50	4,856.50				
50574 University of Utah											
07/05/2	1	Sun Valley Rope Rescue Training	Invoice	07/05/2023	09/25/2023	1,333.00	1,333.00	100-55-41723		923	1
Total 50574 University of Utah:						1,333.00	1,333.00				
1216 UPPER CASE PRINTING, INK											
926	1	# 926 11x17 Newsletter 4/4	Invoice	09/11/2023	09/17/2023	426.42	426.42	100-15-41323		923	1
926	2	# 926 11x17 Newsletter 4/4	Invoice	09/11/2023	09/17/2023	426.42	426.42	200-15-41323		923	1
926	3	# 926 11x17 Newsletter 4/4	Invoice	09/11/2023	09/17/2023	426.41	426.41	210-15-41323		923	1
Total 1216 UPPER CASE PRINTING, INK:						1,279.25	1,279.25				
762 VERIZON WIRELESS											
994341	1	MONTHLY CELL PHONE BILL Parks only	Invoice	09/01/2023	09/25/2023	72.08	72.08	100-50-41713		923	1

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
994381	1	MONTHLY CELL PHONE BILL STREETS	Invoice	09/07/2023	09/17/2023	874.28	874.28	100-40-41713		923	1
994381	2	MONTHLY CELL PHONE BILL WATER	Invoice	09/07/2023	09/17/2023	111.43	111.43	200-60-41713		923	1
994381	3	MONTHLY CELL PHONE BILL WASTEWATER	Invoice	09/07/2023	09/17/2023	946.28	946.28	210-70-41713		923	1
994381	4	MONTHLY CELL PHONE BILL Parks	Invoice	09/07/2023	09/17/2023	64.53	64.53	100-50-41713		923	1
Total 762 VERIZON WIRELESS:						2,068.60	2,068.60				
367 WALKER SAND AND GRAVEL											
120997	1	1209976 IMPORTED DIRTY ASPHALT, IMPORTED	Invoice	08/28/2023	09/25/2023	293.26	293.26	200-60-41403		923	1
121443	1	#1214439 SPOILS PILE FROM UP ON THE HILL	Invoice	09/05/2023	09/25/2023	970.82	970.82	200-60-41403		923	1
121593	1	1215934 IMPORTED CLEAN FILL, COMMERCIAL R	Invoice	09/07/2023	09/25/2023	1,410.04	1,410.04	100-40-41403		923	1
Total 367 WALKER SAND AND GRAVEL:						2,674.12	2,674.12				
4004 WAXIE SANITARY SUPPLY											
819829	1	81982913 KLEENLINE ESSENTIALS	Invoice	09/19/2023	09/25/2023	43.53	43.53	100-25-41215		923	1
Total 4004 WAXIE SANITARY SUPPLY:						43.53	43.53				
209 WEBB LANDSCAPING											
SRVCE	1	SRVCE570503 HOP PORTER IRRIG'N- INSPECTIO	Invoice	08/03/2023	09/25/2023	797.26	797.26	100-50-41325		923	1
SRVCE	1	SRVCE570642 SUNBEAM PARK - WEEKLY MOW S	Invoice	08/03/2023	09/25/2023	484.00	484.00	100-50-41325		923	1
SRVCE	1	SRVCE570850 SUNBEAM PARK SUMMER LAWN F	Invoice	08/01/2023	09/25/2023	858.00	858.00	100-50-41325		923	1
SRVCE	1	SRVCE571131 SUNBEAM PARK - WEEKLY MOW S	Invoice	08/10/2023	09/25/2023	484.00	484.00	100-50-41325		923	1
SRVCE	1	SRVCE571986 SUNBEAM PARK - BI-WEEKLY GAR	Invoice	08/04/2023	09/25/2023	1,092.00	1,092.00	100-50-41325		923	1
SRVCE	1	SRVCE572103 SUNBEAM PARK BI-WEEKLY GARD	Invoice	08/24/2023	09/25/2023	861.00	861.00	100-50-41325		923	1
SRVCE	1	SRVCE572519 SUNBEAM PARK - INSECT CONTR	Invoice	08/25/2023	09/25/2023	352.00	352.00	100-50-41325		923	1
SRVCE	1	SRVCE572533 SUNBEAM PARK TREE WELL MAIN	Invoice	08/17/2023	09/25/2023	300.00	300.00	100-50-41325		923	1
SRVCE	1	SRVCE572625 SUNBEAM PARK - WEEKLY MOW S	Invoice	08/17/2023	09/25/2023	484.00	484.00	100-50-41325		923	1
SRVCE	1	SRVCE572700 SUNBEAM PARK - WEEKLY MOW S	Invoice	08/25/2023	09/25/2023	484.00	484.00	100-50-41325		923	1
SRVCE	1	SRVCE573083 SUNBEAM PARK - WEEKLY MOW S	Invoice	08/31/2023	09/25/2023	484.00	484.00	100-50-41325		923	1
Total 209 WEBB LANDSCAPING :						6,680.26	6,680.26				
368 WESTERN STATES CAT											
IN0025	1	IN002527529 CUTTING EDGE	Invoice	09/13/2023	09/25/2023	8,225.80	8,225.80	100-40-41771		923	1
Total 368 WESTERN STATES CAT:						8,225.80	8,225.80				

Invoice Number	Sequence Number	Description	Type	Invoice Date	Due Date	Invoice Amount	Net Invoice Check Amount	GL Account Number	Job Number	GL Period	Separate Check
759 WHITE CLOUD COMMUNICATIONS INC											
104893	1	Inv # 104893 Radios, parts and accessories	Invoice	08/22/2023	09/25/2023	5,343.50	5,343.50	100-55-41215		923	1
104936	1	Inv # 104936 Radio Antenna	Invoice	08/30/2023	09/25/2023	46.00	46.00	100-55-41215		923	1
105065	1	Inv # 105065 Battery and Microphone	Invoice	09/05/2023	09/25/2023	1,626.50	1,626.50	100-55-41215		923	1
105110	1	#105110 3 NEW PORTABLE RADIOS	Invoice	09/18/2023	09/25/2023	5,113.44	5,113.44	100-25-41417		923	1
105111	1	#105111 RADIO UPDATE	Invoice	09/18/2023	09/25/2023	336.00	336.00	100-25-41417		923	1
Total 759 WHITE CLOUD COMMUNICATIONS INC:						12,465.44	12,465.44				
106 WHITEHEAD LANDSCAPING, INC.											
62808	1	62808 CUTTERS PARK - IRRIG'N CREW LABOR, P	Invoice	08/31/2023	09/25/2023	181.00	181.00	100-50-41325		923	1
Total 106 WHITEHEAD LANDSCAPING, INC.:						181.00	181.00				
6233 WINNS COMPOST											
829879	1	829879CR MIXED WOOD	Invoice	08/31/2023	09/25/2023	48.00	48.00	100-40-41405		923	1
Total 6233 WINNS COMPOST:						48.00	48.00				
50368 WOOD RIVER JOINERS INC											
12522	1	ESSER SS Grant Art class supplies	Invoice	09/04/2023	09/25/2023	400.00	400.00	100-45-41549	23.45.0001.1	923	1
Total 50368 WOOD RIVER JOINERS INC:						400.00	400.00				
399 WOOD RIVER WELDING INC											
184431	1	184431 CUTTING PIPE	Invoice	08/08/2023	09/25/2023	14.97	14.97	100-40-41405		923	1
Total 399 WOOD RIVER WELDING INC:						14.97	14.97				
Total :						1,059,176.	1,059,176.00				
Grand Totals:						1,059,176.	1,059,176.00				

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
100-00-20314	13,500.00	.00	13,500.00
100-00-20320	20.00	.00	20.00
100-00-20325	20,533.69	.00	20,533.69
100-00-32265	150.00	.00	150.00
100-10-41313	800.00	.00	800.00
100-10-41547	200.00	.00	200.00
100-15-41126	41.46	.00	41.46
100-15-41211	1.65	.00	1.65
100-15-41215	143.47	.00	143.47
100-15-41313	4,130.25	.00	4,130.25
100-15-41323	1,345.64	.00	1,345.64
100-15-41515	212.93	.00	212.93
100-15-41539	88.40	.00	88.40
100-15-41711	53.66	.00	53.66
100-15-41713	64.27	.00	64.27
100-15-41723	161.92	.00	161.92
100-15-41724	309.09	.00	309.09
100-20-41126	497.44	.00	497.44
100-20-41215	21.32	.00	21.32
100-20-41313	6,987.50	.00	6,987.50
100-20-41323	1,434.52	.00	1,434.52
100-20-41539	3.96	.00	3.96
100-20-41713	189.27	.00	189.27
100-20-41723	121.25	.00	121.25
100-20-41724	322.26	.00	322.26
100-25-41126	1,594.60	.00	1,594.60
100-25-41215	888.42	.00	888.42
100-25-41217	613.80	.00	613.80
100-25-41325	15,484.00	.00	15,484.00
100-25-41415	1,878.13	.00	1,878.13
100-25-41417	5,449.44	.00	5,449.44
100-25-41527	4,204.00	.00	4,204.00
100-25-41529	3,336.37	.00	3,336.37
100-25-41713	851.77	.00	851.77
100-25-41717	393.84	.00	393.84
100-25-41719	2,016.23	.00	2,016.23
100-25-41723	3,500.00	.00	3,500.00
100-25-41724	2,624.34	.00	2,624.34
100-25-41733	5,020.99	.00	5,020.99
100-40-41215	223.12	.00	223.12
100-40-41225	17,328.76	.00	17,328.76

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
100-40-41403	180,117.19	.00	180,117.19
100-40-41405	1,770.90	1,038.63-	732.27
100-40-41415	28,563.85	.00	28,563.85
100-40-41423	1,862.38	.00	1,862.38
100-40-41539	265.20	.00	265.20
100-40-41703	193.99	.00	193.99
100-40-41713	876.05	.00	876.05
100-40-41715	12.86	.00	12.86
100-40-41717	144.69	.00	144.69
100-40-41719	502.56	.00	502.56
100-40-41771	8,225.80	.00	8,225.80
100-42-41126	41.46	.00	41.46
100-42-41215	.00	52.99-	52.99-
100-42-41313	30.00	.00	30.00
100-42-41323	909.09	.00	909.09
100-42-41413	18.33	.00	18.33
100-42-41713	109.33	.00	109.33
100-45-41126	455.60	.00	455.60
100-45-41213	278.08	.00	278.08
100-45-41215	183.21	.00	183.21
100-45-41313	180.00	.00	180.00
100-45-41323	24.74	.00	24.74
100-45-41325	1,680.00	.00	1,680.00
100-45-41326	835.17	.00	835.17
100-45-41411	45.00	.00	45.00
100-45-41413	4,375.00	.00	4,375.00
100-45-41533	75.00	.00	75.00
100-45-41535	382.58	.00	382.58
100-45-41539	2,375.00	.00	2,375.00
100-45-41549	400.00	.00	400.00
100-45-41713	187.50	.00	187.50
100-45-41723	560.00	.00	560.00
100-50-41126	227.80	.00	227.80
100-50-41323	885.78	.00	885.78
100-50-41325	39,450.40	.00	39,450.40
100-50-41402	3,093.00	.00	3,093.00
100-50-41403	124.00	.00	124.00
100-50-41405	40,683.00	.00	40,683.00

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
100-50-41713	136.61	.00	136.61
100-50-41717	10.62	.00	10.62
100-50-41719	471.51	.00	471.51
100-55-41126	227.80	.00	227.80
100-55-41211	118.76	.00	118.76
100-55-41215	7,501.22	.00	7,501.22
100-55-41217	323.68	.00	323.68
100-55-41219	292.45	.00	292.45
100-55-41313	45.00	.00	45.00
100-55-41325	95.00	.00	95.00
100-55-41405	101.88	.00	101.88
100-55-41415	11.15	.00	11.15
100-55-41417	421.58	.00	421.58
100-55-41421	2.86	.00	2.86
100-55-41703	2,177.56	26.00-	2,151.56
100-55-41711	44.67	.00	44.67
100-55-41713	1.77	.00	1.77
100-55-41717	8.64	.00	8.64
100-55-41719	924.60	.00	924.60
100-55-41723	1,333.00	.00	1,333.00
100-55-41724	3,687.94	.00	3,687.94
120-40-41549	531,180.94	.00	531,180.94
120-45-41549	2,663.00	.00	2,663.00
200-00-20317	9.00	.00	9.00
200-10-41313	350.00	.00	350.00
200-10-41547	200.00	.00	200.00
200-15-41126	41.45	.00	41.45
200-15-41211	1.65	.00	1.65
200-15-41215	143.46	.00	143.46
200-15-41313	4,130.25	.00	4,130.25
200-15-41323	1,345.64	.00	1,345.64
200-15-41515	212.93	.00	212.93
200-15-41539	88.40	.00	88.40
200-15-41711	53.66	.00	53.66
200-15-41713	64.27	.00	64.27
200-15-41723	161.92	.00	161.92
200-15-41724	309.09	.00	309.09
200-42-41126	41.45	.00	41.45

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
200-42-41215	.00	53.00-	53.00-
200-42-41313	30.00	.00	30.00
200-42-41413	18.33	.00	18.33
200-42-41713	109.35	.00	109.35
200-60-41126	476.52	.00	476.52
200-60-41213	226.80	.00	226.80
200-60-41325	103.79	.00	103.79
200-60-41401	1,045.00	.00	1,045.00
200-60-41403	7,914.48	.00	7,914.48
200-60-41413	10.00	.00	10.00
200-60-41415	1,400.00	.00	1,400.00
200-60-41539	378.73	.00	378.73
200-60-41703	134.97	.00	134.97
200-60-41713	878.68	.00	878.68
200-60-41719	992.53	.00	992.53
200-60-41791	774.54	.00	774.54
200-60-41795	639.00	.00	639.00
210-10-41313	450.00	.00	450.00
210-10-41547	200.00	.00	200.00
210-15-41126	41.45	.00	41.45
210-15-41211	1.64	.00	1.64
210-15-41215	143.45	.00	143.45
210-15-41313	4,130.25	.00	4,130.25
210-15-41323	1,345.62	.00	1,345.62
210-15-41515	212.93	.00	212.93
210-15-41539	88.40	.00	88.40
210-15-41711	53.67	.00	53.67
210-15-41713	64.27	.00	64.27
210-15-41723	161.91	.00	161.91
210-15-41724	309.09	.00	309.09
210-42-41126	41.45	.00	41.45
210-42-41215	.00	53.00-	53.00-
210-42-41313	30.00	.00	30.00
210-42-41413	18.33	.00	18.33
210-42-41713	109.35	.00	109.35
210-70-41126	248.72	.00	248.72
210-70-41211	80.91	.00	80.91
210-70-41213	107.10	.00	107.10

Summary by General Ledger Account Number

GL Account Number	Debit	Credit	Net
210-70-41313	90.00	.00	90.00
210-70-41325	103.78	.00	103.78
210-70-41405	265.21	.00	265.21
210-70-41713	947.16	.00	947.16
220-65-41547	38,792.00	.00	38,792.00
230-75-41549	1,408.50	.00	1,408.50
Grand Totals:	<u>1,060,399.62</u>	<u>1,223.62-</u>	<u>1,059,176.00</u>

Summary by General Ledger Posting Period

GL Posting Period	Debit	Credit	Net
06/22	.00	328.51-	328.51-
05/23	.00	175.00-	175.00-
09/23	1,060,399.62	720.11-	1,059,679.51
Grand Totals:	<u>1,060,399.62</u>	<u>1,223.62-</u>	<u>1,059,176.00</u>

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 9/25/2023 **DEPARTMENT:** Treasurer **DEPT. HEAD SIGNATURE:** BS _____

SUBJECT:

Treasurer’s Reports – Unaudited Treasurer’s Reports for the month of August 2023.

AUTHORITY: ID Code 50-1011 IAR _____ City Ordinance/Code _____
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

Financial Statements for the month of August 2023 in “Snapshot” format follow.

Cash Flow Analysis for the past four years through August of each year.

Year to Date LOT receipts for the month of August (September-July sales and rentals) have continued to be strong but are pulling back a bit. YTD August 2023 receipts are now UP 7.3% from last year, up 27.93% from FY21, up 83.31% from FY20, 24.45% from FYE 19, up 70.02% from FY18, up 69.4% from FYE17, increased 86.51% from FYE16, up 109.78% from FYE 15, 132.98% better than FYE 14, 140.2% better than FYE 13. The reports submitted to Sun Valley Air Services are included as is the category report. The Chamber’s reports for August (Draw sheet) have not yet been sent.

Development Impact Fees Cash Flow report is attached.

Investment Report is included. LGIP interest for August is 5.17%.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____ YTD Line Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: _____ Phone # _____
Comments: _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

___ City Attorney	___ Clerk / Finance Director	___ Engineer	___ Building
___ Library	___ Planning	___ Fire Dept.	___ _____
___ Safety Committee	___ P & Z Commission	___ Police	___ _____
___ Streets	___ Public Works, Parks	___ Administrator	___ _____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Feel free to contact me if you have any questions; please approve as consent agenda item.

FOLLOW-UP REMARKS:*

CITY OF HAILEY SNAPSHOT OF REVENUE, EXPENSES, FUND BALANCE AND LIQUID ASSETS

as of 8/31/2023

	General Fund		Water Fund		Waste Water		Water Replacement		Waste Water Repl	
	YTD	Budget	YTD	Budget	YTD	Budget	YTD	Budget	YTD	Budget
Revenue*	7,775,798	9,149,588	1,671,792	2,057,162	2,722,876	2,296,249	592,526	423,120	348,457	1,584,560
Legislative	354,867	662,807								
Finance	352,939	423,238								
Comm Dev	518,323	716,992								
Police	1,698,777	1,935,407								
Streets	1,279,594	2,169,193								
Public Works	140,803	190,349								
Library	756,718	812,525								
Parks	362,445	811,385								
Fire	685,575	1,427,692								
Departmental Expenses	<u>6,150,041</u>	<u>9,149,588</u>	1,945,370	3,248,938	2,777,253	4,709,096	111,236	423,120	92,110	1,584,560
Net Revenue over Expenses	1,625,757	-	(273,578)	(1,191,776)	(54,377)	(2,412,847)	481,290	-	256,347	-
Fund Balance** at 9/30/2021	7,137,120	7,137,120	4,209,160	4,209,160	4,223,285	4,223,285	3,575,160	3,575,160	1,905,471	1,905,471
Change in Fund Balance	1,625,757	-	(273,578)	(1,191,776)	(54,377)	(2,412,847)	481,290	-	256,347	-
Fund Balance YTD	8,762,877	7,137,120	3,935,582	3,017,384	4,168,908	1,810,438	4,056,450	3,575,160	2,161,818	1,905,471
CASH IN BANKS										
Cash in Combined Checking	72,844		155,208		33,334		66,219		27,683	
LGIP	2,608,238		1,247,380		2,196,669		1,545,609		2,128,739	
LGIP	2,637,611		204,462		637,684					
LGIP	33,395				875,402					
LGIP CCD rate stabilization	252,246						-			
PIPER SANDLER investments	1,500,000		2,000,000	-	-		2,500,000			

* For Revenue detail, please see **General Fund Cash Flow Comparison** .

** Cash Fund Balance, does not include depreciable assets in proprietary funds. Unaudited.

CASH FLOW ANALYSIS FOR FIRST ELEVEN MONTHS OF FISCAL YEAR

		FYE 23		FYE 22		FYE 21		FYE 20	
GENERAL FUND REVENUE		CURRENT YEAR		CURRENT YEAR		CURRENT YEAR		CURRENT YEAR	
Acct No	Account Description	at 8/31/2023	at 8/31/2023	at 8/31/2022	at 8/31/2022	at 8/31/2021	Budget	at 8/31/2020	Budget
100-00-31001	Property Taxes from County	3,024,447	3,027,298	2,938,724	2,896,936	2,798,739	2,785,514	2,674,285	2,670,063
100-00-31009	Sales Tax Revenue through County					10,763	-	148,111	185,969
100-00-31910	Penalties & Interest On Taxes	7,808	14,500	11,806	14,500	9,694	14,500	5,876	14,120
100-00-31911	Motor Vehicle Fines through Co	54,787	65,000	67,461	65,000	62,188	85,000	72,349	100,000
100-00-32205	Alcohol Catering Licenses	420	1,000	400	1,000	260	1,000	120	3,500
100-00-32209	Police Security		500			-	500	0	
100-00-32210	Building Permits	661,193	706,063	860,016	588,386	592,343	225,000	295,490	250,000
100-00-32211	Business Licenses	40,616	45,000	39,007	30,000	40,730	30,000	39,755	43,000
100-00-32212	HPD Traffic School & Muni Code Viol (230)				500	315		755	0
100-00-32213	Business Licenses - LOT	880,590	1,630,752	824,774	1,196,430	682,204	390,745	465,780	648,300
100-00-32215	Donations-Fireworks		18,000	14,010	15,000	17,586	7,500		15,000
100-00-32216	Donations-HFD, HPD, HPL, Seagraves, Parks	65,548	-	33,425	8,000	43,711	10,000	28,721	25,000
100-00-32220	Encroachment Permits	25,384	19,500	12,050	15,000	12,575	8,000	13,025	14,000
100-00-32230	Franchises-Cable T.V.	80,642	90,000	83,335	80,000	89,077	80,000	81,044	79,583
100-00-32234	Banner Fees	2,950	4,000	2,400	4,000	1,203	4,000	2,100	5,000
100-00-32235	Franchise Fees-Idaho Power	233,717	195,000	201,619	188,000	188,009	188,000	155,276	185,900
100-00-32236	Franchises-Intermountain Gas	104,833	70,000	74,879	66,700	64,610	66,700	61,830	73,500
100-00-32237	Rubbish Company Franchise Fees	112,100	112,840	101,959	86,800	80,061	78,800	74,701	76,000
100-00-32257	Library Fines & Memberships	6,078	5,000	6,542	4,000	5,245	10,000	6,751	15,000
100-00-32265	Park Rental Fees	17,753	25,000	18,926	10,000	22,100	10,000	6,392	16,560
100-00-32266	Hailey Rodeo Park Rental Fees	-	4,000	-	4,000	2,450	4,000	-	10,000
100-00-32269	Hailey Rodeo Park Security	-	-	-	-	-	-	-	10,000
100-00-32273	Property Sales	-	-	-	2,000	-	-	-	-
100-00-32280	R. V. Dump Fees	1,250	1,500	713	1,500	1,289	1,200	908	1,000
100-00-32286	Sign and Fence Permits	460	2,600	948	2,000	1,330	2,000	839	2,500
100-00-32290	Fire Dept Permits	50,609	39,900	63,131	23,000	67,445	19,000	30,418	21,637
100-00-32294	Subdivision Inspection Permits	3,956	20,000	-	5,000	46,610	1,000	16,379	2,000
100-00-32296	Zoning Applications	30,761	44,070	76,933	33,990	49,957	25,000	43,090	29,000
100-00-32298	Maps, Copies & Postage	3,948	5,000	9,827	5,000	7,714	5,000	5,053	10,000
100-00-32413	Interest Earned	275,597	20,000	20,454	15,000	9,868	40,000	42,602	45,000
100-00-32415	Refunds	18,040	15,000	19,055	15,000	63,029	15,000	30,002	20,250
100-00-32417	Mutual Aid Reimbursements	60,067	-	117,600	113,250	26,001	-	0	0
100-00-33510	State Shared Liquor Apport.	268,243	322,010	256,119	279,496	247,666	223,285	193,947	202,855
100-00-33550	State Shared Sales Tax	731,294	1,162,461	687,463	871,554	552,892	648,158	490,998	543,188
100-00-33560	State Shared Highway Users Fund	466,233	516,852	534,333	420,652	411,359	331,268	288,976	389,894
100-00-33570	State Shared Grant/HFD Grants	251,699	-	-	-	46,935	-	5,014	0
100-00-34000	CCD Public Outreach for recycling	18,683	19,240	16,993	14,800	13,344	13,330	11,468	12,500
100-00-34003	Rubbish Bookkeeping Contract	112,100	112,840	101,959	86,800	80,061	78,800	75,683	76,000
100-00-34004	Police Security Contracts	3,573	10,000	5,515	10,000	1,644	10,000	4,693	13,500
100-00-34006	Police Security Contracts-School	160,000	212,662	196,910	196,910	191,338	185,764	185,765	185,764
100-00-34007	ARPA Transfer		600,000		30,000				
100-00-34008	Room Leases/Rentals	420	12,000	3,750		19,301	20,000	24,080	92,109
	GENERAL FUND REVENUE	7,775,798	9,149,588	7,403,034	7,400,204	6,561,646	5,618,064	5,582,275	6,087,692
	Rev. Dif from previous year	372,764		841,388		979,371		144,044	
	GENERAL FUND EXPENSES								
	LEGISLATIVE	354,867	662,807	351,540	451,631	246,951	241,625	260,680	341,124
	FINANCE	352,939	423,238	330,288	395,817	1,235,537	336,035	299,426	357,468
	COMMUNITY DEVELOPMENT	518,323	716,992	493,037	697,715	396,293	393,057	381,788	424,437
	POLICE	1,698,777	1,935,407	1,396,387	1,720,276	1,366,856	1,546,782	1,446,761	1,645,838
	STREET	1,279,594	2,169,193	1,245,656	2,130,625	1,102,352	1,422,874	1,240,211	1,513,633
	ENGINEER/PUBLIC WORKS	140,803	190,349	113,381	155,495	83,325	106,449	71,369	110,384
	LIBRARY	756,718	812,525	631,458	695,586	497,470	558,007	534,619	593,566
	PARKS	362,445	811,385	301,262	518,251	328,922	421,937	293,237	448,909
	FIRE	685,575	1,427,692	585,820	833,636	515,515	591,298	413,410	652,333
	TOTAL EXPENSES	6,150,041	9,149,588	5,448,829	7,599,032	5,773,221	5,618,064	4,941,501	6,087,692
	General Fund Balance	1,625,757	0	1,954,204	(198,828)	788,425	0	640,774	0
		67.2%		71.7%		102.8%		81.2%	
	PROPRIETARY FUNDS								
	WATER FUND REVENUE	1,671,792	2,057,162	1,608,515	1,772,551	1,639,932	1,706,473	1,595,569	1,766,800
	WATER FUND EXPENSES	1,945,370	3,248,938	1,377,034	2,420,332	1,363,891	2,149,310	1,211,260	3,006,738
	WATER FUND BALANCE	(273,578)	(1,191,776)	231,481	(647,781)	276,041	(442,837)	384,309	(1,239,938)
	WASTE WATER FUND REVENUE	2,722,876	2,296,249	2,265,447	2,296,249	2,044,850	2,050,000	2,064,988	2,050,000
	WASTE WATER FUND EXPENSES	2,777,253	4,709,096	2,071,662	3,160,297	1,758,471	2,802,139	1,681,947	2,573,447
	WASTE WATER FUND BALANCE	(54,377)	(2,412,847)	193,785	(864,048)	286,379	(752,139)	383,041	(523,447)
	WATER replacement FUND REVENUE	592,526	423,120	683,287	128,650	486,274	141,720	277,983	138,640
	WATER replacement FUND EXPENSES	111,236	423,120	268,815	252,000	127,134	252,000	84,269	123,000
	WATER replacement FUND BALANCE	481,290	-	414,472	(123,350)	359,140	(110,280)	193,714	15,640
	WASTE WATER replacement FUND REVENUE	348,457	1,584,560	466,954	86,450	309,065	82,160	171,767	82,160
	WASTE WATER replacement FUND EXPENSES	92,110	1,584,560	484,990	900,000	200,448	523,000	0	430,000
	WASTE WATER replacement FUND BALANCE	256,347	-	(18,036)	(813,550)	108,617	(440,840)	171,767	(347,840)

CITY OF HAILEY LOCAL OPTION TAX RECEIPT AND EXPENDITURE ANALYSIS AND CASH FLOW

Y o Y 8/31/2023
%

EXPENDITURE DESCRIPTION	MONTH	PAYMENTS	HAILEY ICE & SR CONNECTION		EMERGENCY SERVICES	TOTAL EXPENSES	1% Air eff July sales .5% Air	RECEIPTS	Chg	LOT BALANCE	
			Air Services Board	CHAMBER							& MT RIDES
ACCUMULATIVE TOTALS THROUGH 9/30/06		\$0.00		\$0.00		\$0.00		\$92,718.67			
FISCAL YEAR ENDING 9/30/07		\$234,196.00		\$10,000.00	\$38,000.00	\$100,000.00		\$382,196.00			
ACCUMULATIVE TOTALS THROUGH 9/30/07		\$234,196.00		\$10,000.00	\$38,000.00	\$100,000.00		\$382,196.00			
FISCAL YEAR ENDING 9/30/08		\$294,289.32		\$49,343.95	\$0.00	\$120,000.00		\$463,633.27		2%	
ACCUMULATIVE TOTALS THROUGH 9/30/08		\$528,485.32		\$59,343.95	\$38,000.00	\$220,000.00		\$845,829.27			
FISCAL YEAR ENDING 9/30/09		\$146,490.24		\$74,138.00	\$70,000.00	\$13,900.00		\$304,528.24		-17.32%	
ACCUMULATIVE TOTALS THROUGH 9/30/09		\$674,975.56		\$133,481.95	\$108,000.00	\$233,900.00		\$1,150,357.51			
FISCAL YEAR ENDING 9/30/10		\$167,474.64		\$69,000.00	\$75,000.00	\$0.00		\$311,474.64		0.35%	
ACCUMULATIVE TOTALS THROUGH 9/30/10		\$842,450.20		\$202,481.95	\$183,000.00	\$233,900.00		\$1,461,832.15			
FISCAL YEAR ENDING 9/30/11		\$59,700.00		\$68,000.00	\$75,000.00	\$97,300.00		\$300,000.00		3.76%	
ACCUMULATIVE TOTALS THROUGH 9/30/11		\$902,150.20		\$270,481.95	\$258,000.00	\$331,200.00		\$1,761,832.15			
FISCAL YEAR ENDING 9/30/12		\$153,130.03		\$61,000.00	\$65,000.00	\$82,200.00		\$361,330.03		2.73%	
ACCUMULATIVE TOTALS THROUGH 9/30/12		\$1,055,280.23		\$331,481.95	\$323,000.00	\$413,400.00		\$2,123,162.18			
FISCAL YEAR ENDING 9/30/13		\$151,890.15		\$61,000.00	\$65,000.00	\$68,000.00		\$345,890.15		4.67%	
ACCUMULATIVE TOTALS THROUGH 9/30/13		\$1,207,170.38		\$392,481.95	\$388,000.00	\$481,400.00		\$2,469,052.33			
FISCAL YEAR ENDING 9/30/14		\$124,009.66	\$47,409.27	\$61,000.00	\$68,000.00	\$100,000.00	\$48,774.97	\$366,634.59		5.09%	
ACCUMULATIVE TOTALS THROUGH 9/30/14		\$1,331,180.04	\$47,409.27	\$453,481.95	\$456,000.00	\$581,400.00	\$2,469,052.33	\$2,835,644.90			
FISCAL YEAR ENDING 9/30/15		\$186,664.65	\$70,087.79	\$61,000.00	\$68,000.00	\$96,787.24	\$48,774.97	\$401,126.16		9.41%	
ACCUMULATIVE TOTALS THROUGH 9/30/15		\$1,517,844.69	\$117,497.06	\$514,481.95	\$524,000.00	\$678,187.24	\$3,352,010.94	\$3,236,771.06			
FISCAL YEAR ENDING 9/30/16		\$202,168.97	\$83,129.35	\$61,000.00	\$68,000.00	\$107,000.00	\$52,298.32	\$85,524.02		12.41%	
ACCUMULATIVE TOTALS THROUGH 9/30/16		\$1,720,013.66	\$200,626.41	\$575,481.95	\$592,000.00	\$785,187.24	\$3,873,309.26	\$3,687,683.31			
FISCAL YEAR ENDING 9/30/17		\$239,500.00	\$93,456.19	\$65,000.00	\$72,500.00	\$138,000.00	\$608,456.20	\$96,148.34		10.51%	
ACCUMULATIVE TOTALS THROUGH 9/30/17		\$1,959,513.66	\$294,082.60	\$640,481.95	\$664,500.00	\$923,187.24	\$4,481,765.46	\$4,185,967.40			
FISCAL YEAR ENDING 9/30/18		\$295,500.00	\$92,015.49	\$65,000.00	\$75,000.00	\$89,800.00	\$617,315.49	\$94,666.14		-0.80%	
ACCUMULATIVE TOTALS THROUGH 9/30/18		\$2,255,013.66	\$386,098.09	\$705,481.95	\$739,500.00	\$1,012,987.24	\$5,099,080.95	\$4,680,255.87			
FISCAL YEAR ENDING 9/30/19		\$278,050.00	\$108,972.87	\$77,487.50	\$78,750.00	\$91,000.00	\$634,260.37	\$115,432.81		18.58%	
ACCUMULATIVE TOTALS THROUGH 9/30/19		\$2,533,063.66	\$495,070.95	\$782,969.45	\$818,250.00	\$1,103,987.24	\$5,733,341.32	\$5,266,388.53			
FISCAL YEAR ENDING 9/30/20		\$285,050.00	\$79,596.56	\$67,168.07	\$86,000.00	\$94,000.00	\$611,814.63	\$83,697.75		-22.91%	
ACCUMULATIVE TOTALS THROUGH 9/30/20		\$2,818,113.66	\$574,667.51	\$850,137.52	\$904,250.00	\$1,197,987.24	\$6,345,155.94	\$5,966,388.53			
FISCAL YEAR ENDING 9/30/21		\$545,045.00	\$129,087.10	\$70,492.64	\$62,500.00	\$51,700.00	\$858,824.74	\$137,052.68		47.66%	
ACCUMULATIVE TOTALS THROUGH 9/30/21		\$3,363,158.66	\$703,754.61	\$920,630.16	\$966,750.00	\$1,249,687.24	\$7,203,980.68	\$6,385,477.58			
Fire Dept	Oct-21		\$13,312.08	\$0.00		\$6,395.83	\$19,707.91	\$13,997.98	\$65,823.55	48.8%	(\$70,686.27)
Downtown Beautification, Streets Maint	Nov-21	\$45,833.33	\$8,320.35	\$0.00	\$20,500.00	\$6,395.83	\$81,049.51	\$8,749.05	\$48,912.45	29.5%	(\$94,074.28)
SVED	Dec-21	\$3,000.00	\$5,483.19	\$13,331.91		\$22,395.83	\$44,210.93	\$5,765.71	\$34,732.57	51.2%	(\$9,786.93)
Downtown Beautification, Streets Maint	Jan-22	\$45,833.33	\$10,459.20	\$6,489.02	\$4,000.00	\$6,395.83	\$73,177.39	\$10,998.11	\$56,169.13	69.8%	(\$103,797.08)
	Feb-22		\$17,562.22	\$4,315.49		\$6,395.83	\$28,273.54	\$18,467.11	\$75,405.30	74.9%	(\$38,198.22)
Downtown Beautification, Streets Maint	Mar-22	\$45,833.33	\$15,724.85	\$4,718.40	\$20,500.00	\$6,395.83	\$93,172.42	\$16,535.07	\$71,249.20	35.9%	(\$43,586.37)
	Apr-22		\$13,665.36	\$8,012.02		\$6,395.83	\$28,073.21	\$14,369.46	\$62,139.35	15.1%	\$4,849.23
Downtown Beautification, Parks & Streets Maint	May-22	\$45,833.33	\$4,865.46	\$0.00		\$6,395.83	\$57,094.63	\$5,116.15	\$34,354.03	-3.2%	(\$12,775.21)
	Jun-22		\$5,054.91	\$6,768.06	\$20,500.00	\$6,395.83	\$38,718.80	\$5,315.36	\$47,138.15	-7.0%	\$959.50
Downtown Beautification, Parks & Streets Maint	Jul-22	\$45,833.33	\$15,153.91	\$14,648.66		\$6,395.83	\$82,031.74	\$15,934.71	\$68,401.12	-14.0%	\$3,263.59
Hailey Arts Commission	Aug-22	\$8,000.00	\$26,552.96	\$8,479.91		\$6,395.83	\$49,428.70	\$27,921.10	\$115,596.58	-1.1%	\$97,352.56
Downtown Beaut, Parks & Streets, Lib RR, SnowEqpmt	Sep-22	\$45,833.33	\$20,761.73	\$13,486.53	\$20,500.00	\$119,645.83	\$220,227.42	\$21,831.47	\$93,446.96	-3.7%	(\$7,596.43)
FISCAL YEAR ENDING 9/30/22		\$286,000.00	\$156,916.21	\$80,250.00	\$86,000.00	\$206,000.00	\$815,166.21	\$165,001.27	\$773,368.39	15.91%	
ACCUMULATIVE TOTALS THROUGH 9/30/22		\$3,649,158.66	\$860,670.82	\$1,000,880.16	\$1,052,750.00	\$1,455,687.24	\$8,019,146.89	\$898,404.77	\$7,158,845.97		
Fire Dept	Oct-22		\$13,553.08	\$8,583.33		\$7,419.17	\$29,555.58	\$14,251.40	\$67,394.46	2.4%	\$44,493.84
Downtown Beautification, Streets Maint	Nov-22	\$50,491.67	\$10,003.97	\$8,583.33	\$23,000.00	\$25,419.17	\$117,498.14	\$10,519.42	\$54,309.55	11.0%	(\$8,175.32)
SVED	Dec-22	\$3,000.00	\$5,529.38	\$6,838.74		\$7,419.17	\$22,787.29	\$5,814.28	\$37,977.45	9.3%	\$12,829.12
Downtown Beautification, Streets Maint	Jan-23	\$50,491.67	\$12,167.60	\$11,651.46	\$5,000.00	\$7,419.17	\$86,729.89	\$12,794.53	\$59,647.11	6.2%	(\$1,459.13)
	Feb-23		\$19,259.89	\$5,871.07		\$7,419.17	\$32,550.13	\$20,252.25	\$87,302.98	15.8%	\$73,545.97
Downtown Beautification, Streets Maint	Mar-23	\$376,463.67	\$16,613.80	\$4,925.28	\$23,000.00	\$7,419.17	\$428,421.91	\$17,469.82	\$75,267.21	5.6%	(\$262,138.91)
	Apr-23		\$14,277.97	\$6,064.37		\$7,419.17	\$27,761.51	\$15,013.64	\$74,499.87	19.9%	(\$200,386.91)
Downtown Beautification, Parks & Streets Maint	May-23	\$50,491.67	\$6,447.36	\$10,614.26		\$7,419.17	\$74,972.45	\$6,779.56	\$45,657.18	32.9%	(\$222,922.63)
	Jun-23		\$6,207.20	\$7,526.78	\$23,000.00	\$7,419.17	\$44,153.14	\$6,527.02	\$44,062.07	-6.5%	(\$216,486.68)
Downtown Beautification, Parks & Streets Maint	Jul-23	\$50,491.67	\$13,750.49	\$8,587.54		\$7,419.17	\$80,248.87	\$14,458.98	\$71,828.05	5.0%	(\$210,448.52)
Hailey Arts Commission	Aug-23	\$8,000.00	\$12,953.31	\$8,583.33		\$7,419.17	\$36,955.81	\$27,241.46	\$111,521.88	-3.5%	(\$108,640.99)
Downtown Beaut, Parks & Streets, Lib RR, SnowEqpmt	Sep-23	\$50,491.67	\$29,223.44	\$15,170.50	\$23,000.00	\$324,469.17	\$442,354.77	\$30,729.17	\$93,446.96	0.0%	(\$426,819.63)
FISCAL YEAR ENDING 9/30/23		\$639,922.00	\$159,987.49	\$103,000.00	\$97,000.00	\$424,080.00	\$1,423,989.49	\$181,851.52	\$822,914.77	6.41%	
ACCUMULATIVE TOTALS THROUGH 9/30/23		\$4,289,080.66	\$1,020,658.31	\$1,103,880.17	\$1,149,750.00	\$1,879,767.24	\$9,443,136.38	\$1,080,256.29	\$7,981,760.73		

Year-to-date change UP 7.29% over FY22, 27.93% from FY21, up 83.31% from FY20, up 24.45% v FY19, up 70.02% v FY18, +69.4% compared with FY 17, +86.51% compared with FY 16, up 109.78% compared with FY 15, up 132.98% when compared with FY 14, +140.2 compared with FY 13 and +156.07% compared with FY12

Month of L.O.T. Payment to Retail Establishment (City receives in month following payment to business) (at 4/29/19)	Lodging & Rental Cars 3% Tax (8? Businesses)	Short Term Rentals 3% (29 ShortTerm sites) 1/31/2019	1% Air	Alcohol Beverages 2% Tax (15? Businesses)	Restaurant Food 1% Tax (23? Businesses)	Monthly Total	Penalty
FYE 9/30/2006 (3 months collected in first year)	\$79,998.51			\$11,959.47	\$31,274.14	\$123,232.12	\$ -
FYE 9/30/2007	\$219,816.63			\$47,957.72	\$105,888.56	\$373,662.91	\$346.34
FYE 9/30/2008	\$215,375.75			\$45,661.79	\$110,790.35	\$371,827.89	\$1,235.36
FYE 9/30/2009	\$163,489.38			\$40,465.86	\$102,727.58	\$306,682.82	\$1,093.57
FYE 9/30/2010	\$163,137.76	\$216.00		\$43,749.89	\$104,365.59	\$311,253.24	\$587.02
FYE 9/30/2011	\$158,010.54	\$94.84		\$45,845.48	\$111,747.96	\$315,603.98	\$750.76
FYE 9/30/2012	\$170,970.28	\$258.21		\$48,144.39	\$115,899.49	\$335,014.16	\$579.20
FYE 9/30/2013	\$180,541.81	\$316.92		\$48,526.08	\$119,782.37	\$348,850.26	\$655.81
FYE 9/30/2014	\$194,566.46	\$468.95	Short Term Lodging 1% Air	\$49,229.77	\$123,960.08	\$422,566.62	\$841.58
FYE 9/30/2015	\$217,876.99	\$797.14	\$72,625.66	\$51,644.80	\$133,652.48	\$475,799.93	\$1,330.55
FYE 9/30/2016	\$259,269.30	\$3,595.75	\$87,358.03	\$53,085.08	\$140,659.83	\$543,967.99	\$2,191.42
FYE 9/30/2017	\$282,533.65	\$4,956.92	\$95,830.19	\$55,985.70	\$145,871.55	\$585,178.01	\$1,944.33
FYE 9/30/2018	\$279,300.67	\$7,634.44	\$95,645.04	\$56,924.56	\$153,772.72	\$593,277.43	\$2,393.03
FYE 9/30/2019	\$294,645.69	\$49,195.91	\$114,613.87	\$65,309.70	\$166,209.84	\$689,975.01	\$9,541.14
2020							
October	\$15,224.85	\$1,796.93	\$5,673.93	\$4,557.55	\$13,560.64	\$40,813.89	\$126.89
November	\$7,551.53	\$1,806.54	\$3,119.36	\$3,911.87	\$10,914.86	\$27,304.15	\$44.06
December	\$22,362.10	\$2,114.69	\$8,158.93	\$5,403.69	\$13,594.32	\$51,633.72	\$72.83
January	\$38,923.22	\$2,178.98	\$13,700.74	\$4,912.46	\$12,584.29	\$72,299.69	\$551.40
February	\$26,500.10	\$3,185.54	\$9,895.21	\$5,048.40	\$12,559.20	\$57,188.45	\$21.41
March	\$14,645.72	\$559.02	\$5,068.25	\$2,255.26	\$7,374.20	\$29,902.44	\$95.65
April	\$5,472.20	\$18.60	\$1,830.27	\$205.00	\$6,125.06	\$13,651.12	\$12.74
May	\$4,502.03	\$88.84	\$1,530.29	\$1,014.45	\$9,331.85	\$16,467.46	\$26.46
June	\$11,987.72	\$2,559.27	\$4,849.00	\$2,899.17	\$12,997.87	\$35,293.03	\$28.11
July	\$27,193.57	\$4,003.88	\$10,399.15	\$4,244.09	\$17,144.52	\$62,985.20	\$13.86
August	\$31,339.07	\$2,526.55	\$11,288.54	\$3,923.45	\$16,091.47	\$65,169.07	\$8.41
September	\$22,799.80	\$2,946.32	\$8,582.04	\$3,858.86	\$16,196.28	\$54,383.30	\$46.18
FYE 9/30/2020	\$228,501.89	\$23,785.15	\$84,095.68	\$42,234.25	\$148,474.56	\$527,091.52	\$1,048.00
2021							
October	\$17,058.77	\$2,789.14	\$6,615.97	\$3,716.90	\$14,225.62	\$44,406.39	
November	\$9,113.39	\$222.08	\$3,111.82	\$2,700.79	\$11,500.17	\$26,648.25	\$79.75
December	\$14,755.91	\$3,893.78	\$6,216.56	\$2,439.16	\$12,688.46	\$39,993.87	\$20.33
January	\$19,857.78	\$3,496.07	\$7,784.62	\$3,459.33	\$13,001.32	\$47,599.11	\$328.07
February	\$33,270.92	\$2,672.54	\$11,981.16	\$3,699.39	\$12,980.60	\$64,604.61	\$35.19
March	\$30,820.76	\$4,537.39	\$11,786.05	\$4,819.71	\$14,620.22	\$66,584.12	\$129.39
April	\$14,862.42	\$3,207.05	\$6,023.16	\$4,342.24	\$14,346.76	\$42,781.62	\$59.21
May	\$17,294.38	\$3,348.08	\$6,880.82	\$5,537.21	\$15,032.32	\$48,092.80	\$785.98
June	\$42,601.19	\$5,175.02	\$15,925.40	\$5,686.77	\$19,384.73	\$88,773.11	\$1,150.16
July	\$82,976.57	\$4,744.76	\$29,240.45	\$7,152.60	\$22,210.51	\$146,324.89	\$43.59
August	\$65,002.24	\$3,711.68	\$22,904.64	\$6,019.38	\$20,335.57	\$117,973.50	\$622.79
September	\$37,564.80	\$4,429.13	\$13,997.98	\$5,551.40	\$17,225.99	\$78,769.29	\$189.93
FYE 9/30/2021	\$385,179.13	\$42,226.68	\$142,468.60	\$55,124.88	\$187,552.27	\$812,551.56	\$3,444.39
2022							
October	\$23,849.46	\$2,397.69	\$8,749.05	\$4,574.48	\$16,590.77	\$56,161.45	\$135.06
November	\$14,289.77	\$3,007.35	\$5,765.71	\$4,055.88	\$12,664.44	\$39,783.15	\$79.88
December	\$29,224.36	\$3,769.97	\$10,998.11	\$4,819.39	\$16,394.13	\$65,205.96	\$80.61
January	\$48,311.31	\$7,090.01	\$18,467.11	\$5,040.85	\$16,273.42	\$95,182.70	
February	\$44,904.64	\$4,700.57	\$16,535.07	\$5,120.73	\$14,998.07	\$86,259.08	\$5.69
March	\$38,921.84	\$4,186.53	\$14,369.46	\$5,048.06	\$15,151.72	\$77,677.60	\$13.48
April	\$13,202.72	\$2,145.72	\$5,116.15	\$5,168.46	\$16,255.09	\$41,888.13	\$61.11
May	\$12,587.78	\$3,358.29	\$5,315.36	\$4,927.99	\$16,897.17	\$43,086.58	\$15.01
June	\$42,942.07	\$4,862.05	\$15,934.71	\$6,990.56	\$20,346.80	\$91,076.18	\$26.36
July	\$78,347.27	\$5,416.01	\$27,921.10	\$7,882.84	\$23,595.48	\$143,162.70	\$202.18
August	\$61,036.43	\$4,457.97	\$21,831.47	\$6,077.56	\$22,091.40	\$115,494.83	\$51.18
September	\$38,735.45	\$4,018.75	\$14,251.40	\$6,101.85	\$19,871.75	\$82,979.20	\$102.93
FYE 9/30/2022	\$446,353.09	\$49,410.92	\$165,254.67	\$65,808.65	\$211,130.24	\$937,957.56	\$773.49
2023							
October	\$27,587.66	\$3,970.61	\$10,519.42	\$5,737.61	\$18,866.85	\$66,682.14	\$104.90
November	\$14,850.70	\$2,592.14	\$5,814.28	\$4,750.43	\$14,173.50	\$42,181.05	\$179.91
December	\$33,439.60	\$4,944.00	\$12,794.53	\$6,927.10	\$19,059.24	\$77,164.47	\$91.09
January	\$55,520.60	\$5,236.16	\$20,252.25	\$5,722.05	\$18,196.95	\$104,928.00	\$544.85
February	\$47,311.96	\$5,097.51	\$17,469.82	\$5,673.00	\$17,442.29	\$92,994.58	\$92.25
March	\$42,643.27	\$2,397.65	\$15,013.64	\$6,012.48	\$18,224.53	\$84,291.56	\$262.68
April	\$17,692.01	\$2,646.66	\$6,779.56	\$4,697.04	\$13,437.10	\$45,252.36	\$560.43
May	\$16,147.34	\$3,433.70	\$6,527.01	\$4,594.35	\$17,240.84	\$47,943.24	\$80.21
June	\$38,400.48	\$4,976.47	\$14,458.98	\$5,757.92	\$20,539.61	\$84,133.46	\$450.47
July	\$73,029.59	\$8,694.79	\$27,241.46	\$6,684.59	\$22,218.22	\$137,868.64	\$5.16
FYE 9/30/2023	\$366,623.18	\$43,989.67	\$136,870.95	\$56,556.57	\$179,399.13	\$783,439.50	\$2,371.95
	\$4,306,190.71	\$226,947.49	\$1,049,572.99	\$884,214.64	\$2,393,158.74	\$8,857,932.51	\$31,127.94

CASH FLOW of 1% LOT for FYE 23 (October - September revenues and receipt of funds)

	FY22 Actual	FY23 Budget	FY23 Budget	FY23 Budget	FY23 Actual	FY23 Actual	4.9%		AMOUNT
HAILEY	BED/CAR1%	BED/CAR3%	BED/CAR1%	<i>Bud net</i>	BED/CAR3%	BED/CAR1%	MINUS COST	NET	PAID ASB
OCT	8,749.05	92,187.50	30,729.17	29,223.44	31,558.27	10,519.42	(515.45)	10,003.97	
NOV	5,765.71	92,187.50	30,729.17	29,223.44	17,442.84	5,814.28	(1,534.90)	4,279.38	
DEC	10,998.11	92,187.50	30,729.17	29,223.44	38,383.60	12,794.53	(626.93)	12,167.60	
JAN	18,467.11	92,187.50	30,729.17	29,223.44	60,756.76	20,252.25	(992.36)	19,259.89	
FEB	16,535.07	92,187.50	30,729.17	29,223.44	52,409.47	17,469.82	(856.02)	16,613.80	
MAR	14,369.46	92,187.50	30,729.17	29,223.44	45,040.92	15,013.64	(735.67)	14,277.97	
APR	5,116.15	92,187.50	30,729.17	29,223.44	20,338.67	6,779.56	(332.20)	6,447.36	
MAY	5,315.36	92,187.50	30,729.17	29,223.44	19,581.04	6,527.01	(319.82)	6,207.19	
JUNE	15,934.71	92,187.50	30,729.17	29,223.44	43,376.95	14,458.98	(708.49)	13,750.49	
JULY	27,921.09	92,187.50	30,729.17	14,611.72	81,724.38	13,620.73	(667.42)	12,953.31	
AUG	21,831.47	92,187.50	30,729.17	14,611.72		12,116.46	(593.71)	11,522.76	
SEPT	14,251.40	92,187.50	30,729.17	14,611.72		7,909.53	(387.57)	7,521.96	
							0.00	0.00	
							0.00	0.00	
							0.00	0.00	
Total	165,254.67	1,106,250.00	368,750.00	306,846.09	410,612.90	143,276.23	(8,270.54)	135,005.69	0.00

PAYABLE: SUN VALLEY AIR SERVICES BOARD
ACCOUNT CODE: 100-10-41707

25% Granicus 5,000.00
 pd 10.11.22 #54146 1,250.00

July 2023 sales and beyond; 50%

The Chamber- Hailey, Wood River Valley

LOT Transaction Detail

July 2023

08/27/23

Accrual Basis

Type	Date	Num	Name	Memo	Amount
50050 · Payroll & Benefit Expenses					
50057 · Salary Expense					
50052 · Visitor Services					
Paycheck	07/14/2023	DD	Enderud, Shelley K	Direct Deposit	112.00
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	336.00
Paycheck	07/14/2023	DD	Thomas, Denise L	Direct Deposit	176.00
Paycheck	07/31/2023	DD	Enderud, Shelley K	Direct Deposit	192.00
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	336.00
Paycheck	07/31/2023	DD	McKenna, Jack W	Direct Deposit	97.50
Paycheck	07/31/2023	DD	Thomas, Denise L	Direct Deposit	128.00
Bill	07/31/2023		R. Giorgi Branding		900.00
Total 50052 · Visitor Services					2,277.50
50053 · Administrative Assistant					
Bill	07/31/2023	63	kim Bryson		20.00
Bill	07/31/2023		R. Giorgi Branding		150.00
Total 50053 · Administrative Assistant					170.00
50056 · Executive Director					
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	977.53
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	1,084.46
Paycheck	07/31/2023	DD	McKenna, Michael W	Direct Deposit	589.84
Total 50056 · Executive Director					2,651.83
50057 · Salary Expense - Other					
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	0.00
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	0.00
Total 50057 · Salary Expense - Other					0.00
Total 50057 · Salary Expense					5,099.33
50060 · Payroll Taxes					
Paycheck	07/14/2023	DD	Enderud, Shelley K	Direct Deposit	6.94
Paycheck	07/14/2023	DD	Enderud, Shelley K	Direct Deposit	1.62
Paycheck	07/14/2023	DD	Enderud, Shelley K	Direct Deposit	0.68
Paycheck	07/14/2023	DD	Enderud, Shelley K	Direct Deposit	0.62
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	0.00
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	20.83
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	4.88
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	2.01
Paycheck	07/14/2023	DD	Lowe, Virginia A	Direct Deposit	1.85
Paycheck	07/14/2023	DD	Thomas, Denise L	Direct Deposit	10.91
Paycheck	07/14/2023	DD	Thomas, Denise L	Direct Deposit	2.56
Paycheck	07/14/2023	DD	Thomas, Denise L	Direct Deposit	1.05
Paycheck	07/14/2023	DD	Thomas, Denise L	Direct Deposit	0.97
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	60.61
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	67.24
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	14.18
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	15.72
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	0.00
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	0.00
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	5.40
Paycheck	07/14/2023	DD	McKenna, Michael W	Direct Deposit	6.00
Paycheck	07/31/2023	DD	Enderud, Shelley K	Direct Deposit	11.91
Paycheck	07/31/2023	DD	Enderud, Shelley K	Direct Deposit	2.79
Paycheck	07/31/2023	DD	Enderud, Shelley K	Direct Deposit	1.15
Paycheck	07/31/2023	DD	Enderud, Shelley K	Direct Deposit	1.06
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	0.00
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	20.84
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	4.87
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	2.02
Paycheck	07/31/2023	DD	Lowe, Virginia A	Direct Deposit	1.86
Paycheck	07/31/2023	DD	McKenna, Jack W	Direct Deposit	6.04
Paycheck	07/31/2023	DD	McKenna, Jack W	Direct Deposit	1.42
Paycheck	07/31/2023	DD	McKenna, Jack W	Direct Deposit	0.58
Paycheck	07/31/2023	DD	McKenna, Jack W	Direct Deposit	0.54

The Chamber- Hailey, Wood River Valley

LOT Transaction Detail

08/27/23

July 2023

Accrual Basis

Type	Date	Num	Name	Memo	Amount
Paycheck	07/31/2023	DD	Thomas, Denise L	Direct Deposit	7.94
Paycheck	07/31/2023	DD	Thomas, Denise L	Direct Deposit	1.85
Paycheck	07/31/2023	DD	Thomas, Denise L	Direct Deposit	0.77
Paycheck	07/31/2023	DD	Thomas, Denise L	Direct Deposit	0.71
Paycheck	07/31/2023	DD	McKenna, Michael W	Direct Deposit	36.57
Paycheck	07/31/2023	DD	McKenna, Michael W	Direct Deposit	8.55
Paycheck	07/31/2023	DD	McKenna, Michael W	Direct Deposit	0.00
Paycheck	07/31/2023	DD	McKenna, Michael W	Direct Deposit	3.26
Total 50060 · Payroll Taxes					338.80
Total 50050 · Payroll & Benefit Expenses					5,438.13
50200 · Office Supply Exp.					
Bill	07/14/2023	59734	Jane's Artifacts, Inc.		41.31
Total 50200 · Office Supply Exp.					41.31
50203 · Event Supplies					
Check	07/06/2023	732	Shell Oil	FUel for Mike's tru...	99.00
Total 50203 · Event Supplies					99.00
50230 · Computer & Internet Exp.					
Bill	07/01/2023	1321	Hailey Computer	rodeo concessions...	750.00
Check	07/09/2023	Debit	DropBox		11.99
Total 50230 · Computer & Internet Exp.					761.99
60020 · Advertising Exp.					
Bill	07/05/2023		Copy and Print, LLC	4th Banner	594.00
Bill	07/06/2023	1500	Wood River Weekly*	chamber corner	385.00
Total 60020 · Advertising Exp.					979.00
60210 · Entertainment /Speaker Exp.					
Bill	07/05/2023		edge Event Productions		1,269.00
Check	07/06/2023	1470		4th of july horses	1,500.00
Total 60210 · Entertainment /Speaker Exp.					2,769.00
60275 · Rental - Equipment etc.					
Bill	07/26/2023		Clear Creek Disposal ...	4th of July	465.00
Total 60275 · Rental - Equipment etc.					465.00
TOTAL					10,553.43

	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	TOTAL	Budgeted
Visitor Inquiries:														Yet to expend
Total Number of Members	398	398	398	398	398	398	398	398	399	399			3,982	
E-mails answered	173	311	277	211	300	333	312	406	555	507			3,385	
Visitor Count	245	252	124	136	101	145	137	194	245	272			1,851	
Phone Inquiries	111	97	75	43	37	44	33	44	137	237			858	
Relocation Packets/Information	175	17	22	32	78	124	111	2,500	1,500	1,650			6,209	
Referrals to Local Businesses	411	527	666	375	333	357	200	299	423	633			4,224	
Press Releases/Articles	22	19	25	13	17	14	13	15	22	32			192	
Website Unique Visitors	2,589	2,397	2,122	2,800	2,213	2,223	2,237	2,530	4,380	5,927			29,418	
Website Total Visits	3,271	2,966	3,077	3,100	1,844	2,526	3,361	3,111	4,483	6,098			33,837	
Website Pages	4,651	4,747	3,382	3,613	3,414	3,765	3,700	5,233	8,210	10,707			51,422	
Facebook Posts	19	16	8	9	5	15	20	24	30	25			171	
Facebook Fans	9,688	9,693	9,692	9,967	9,973	9,972		9,967	9,979	9,984			88,915	
Facebook Engagements	234	541	73	193	292	318	786	836	802	1,413			5,488	
Facebook Total Reach	17,675	33,471	11,068	24,854	4,106	10,513	14,205	16,937	21,745	20,321			174,895	
Instagram Followers	945	970	983	995	1,001	117	140	1,77	1,111	1,140			7,402	
Special Events/ Business Promotion														\$90,000.00 Budget
Arborfest (May)													-	
Hailey Home and Garden													-	
Hailey Hotwheels													-	
Hailey Historical		1,000.00											1,000.00	
Snow Carving													-	
Chili Cookoff	1,335.82	79.71											1,415.53	
Halloween Hoopla (October)	125.00												125.00	
Holiday Hoopla (December)		125.00	1,047.06	500.41									1,672.47	
July 4th Days of the Old West (July)				54.76	100.00			136.29	1,206.42	5,103.31			6,600.78	
Memorial Day (May)													-	
Rodeos (July, Aug, Sept)													-	
Sheep Town Drags (June)													-	
Trailing of the Sheep (October)													-	
Turkey Trot		745.09											745.09	
Promote Hailey/business													-	
Event Insurance							2,683.00						2,683.00	
Copies													-	
Website Updates													-	
Hailey Maps								720.00					720.00	
Misc./Event supplies													-	
Event Administration/Grant	2,434.98	2,525.38	1,206.71	1,632.99	2,499.81	2,598.18	2,440.12	2,503.46	3,049.83	2,068.58			22,960.04	
Visitor Center Staffing	2,544.57	1,770.63	2,939.90	3,376.92	2,125.48	3,360.20	4,719.70	4,061.04	4,225.30	3,369.55			32,493.29	
Meeting Travel Expense				200.00			665.45						865.45	
Telephone/Internet	94.00	94.00	94.00	94.00	188.00	94.00	94.00	94.00	94.00				940.00	
Computer Exp/Dropbox	11.99	11.99	11.99	11.99	11.99	11.99	11.99	11.99	11.99	11.99			119.90	
Visitor center improvements/maintenance	292.38												292.38	
TOTAL	6,838.74	6,351.80	5,299.66	5,871.07	4,925.28	6,064.37	10,614.26	7,526.78	8,587.54	10,553.43	-	-	72,632.93	90,000.00 Budget
													72,632.93	17,367.07 Bal Remaini

DEVELOPMENT IMPACT FEE CASH FLOW

8/31/2023

REVENUE	FY8-15	FYE 16	FYE 17	FYE 18	FYE 19	FYE 20	FYE 21	FYE 22	FYE 23	TOTALS
		9/30/2016	9/30/2017	9/30/2018	9/30/2019	9/30/2020	9/30/2021	9/30/2022	8/31/2023	
DIF - PARKS	78,592	2,760	11,600	6,650	10,015	16,736	19,922	152,132	102,408	400,815
DIF - POLICE	51,620	9,824	217	-	-	-	-	-	-	61,661
DIF - TRANSP	300,309	91,812	73,123	42,775	115,827	126,801	121,410	354,448	199,465	1,425,969
DIF - FIRE	204,131	39,290	22,008	17,663	38,668	29,694	27,367	59,067	33,349	471,237
DIF - CIP	18,295	4,313	5,638	2,374	10,041	7,686	7,074	11,705	4,900	72,026
		WiseGuy agr								
	652,946	147,998	112,586	69,462	174,551	180,917	175,773	577,352	340,122	2,431,708
										Int FYE 09 690.37
										Int FYE 10 572.52
										Int FYE 11 766.40
										Int FYE 12 588.57
										Int FYE 13 231.40
										Int FYE 14 186.99
										Int FYE 15 166.25
										Int FYE 16 716.45
										Int FYE 17 1,008.97
										Int FYE 18 2,505.63
										Int FYE 19 5,091.73
										Int FYE 20 3,037.15
										Int FYE 21 624.40
										Int FYE 22 2,169.38
										Int FYE 23 13,008.42
										Expenses, actual and proposed thru FY23 (1,676,307.05)
										DIF bal 786,765.27
										Cash in LGIP 446,593.27
										Difference 340,172.00

RECAP BY CATEGORY, not including interest

	PARKS	POLICE	TRANSP	FIRE	CIP	TOTAL
FEES	400,815	61,661	1,425,969	471,237	72,026	2,431,708
EXPENSES FYE 08			30,000			30,000
EXPENSES FYE 09,10				18,567		18,567
EXPENSES FYE 11	63,070					63,070
EXPENSES FYE 12	-		135,686	75,563	7,500	218,749
EXPENSES FYE 13	8,224					8,224
EXPENSES FYE 15			45,195		9,500	54,695
EXPENSES FYE 16	12,300	31,981	13,750	27,224		85,255
EXPENSES FYE 17		29,681		134,690		164,371
EXPENSES FYE 18			138,252			138,252
BALANCE to 10/1/18	317,221	(0)	1,063,086	215,193	55,026	1,650,525
EXPENSES FYE 19	26,497	-	187,000	-	-	213,497
EXPENSES FYE 20						-
EXPENSES FYE 21	-		62,409	-	12,400	74,809
FY 22 Budgeted Expenses	66,000	(0)	360,819	-	-	426,819
FY 23 Budgeted Expenses				180,000		180,000
Anticipated Bal 9/30/23	224,724	-	452,858	35,193	42,626	755,401

RECAP, WITH PROJECTED SPENDING OF DIF FOR CAPITAL PROJECTS FYE11-23

	PARKS	POLICE	TRANSP	FIRE	CIP	TOTAL
Truck/Street Dept			(30,000)			
Skatepark Expansion	(22,070)					
Skatepark Irr. Syst	(21,000)	-				
RV Dump Station	(20,000)					
Fire Station Design				(18,567)		
Woodside Roundabout			(180,881)			
Firetruck - used				(75,563)		
R Caplan CIP update					(7,500)	
TischlerBise					(9,500)	
Skatepark	(8,224)					
FY16 Proposed and Spent:						
Snow Plow Wing			(13,750)			
HPD Station		(25,634)				
Park Projects	(12,300)					
Fire Truck FY 16				(27,224)		
Street Projects FY17						
Public Safety Bldg FY17		(36,027)		-		
Fire Truck FY 17				(134,690)		
Chipper/Spreader 30% 74K			(22,325)			
Balmoral Park complete	(26,497)					
PW4P 2nd, Croy ETC FY18-20			(302,928)			
Snow Storage FY21			(62,409)			
CIP Update TischlerBise					(12,400)	
Anticipated FY23	(66,000)		(360,819)	-	-	
FYE23 PUMPER TRUCK				(180,000)		
Total FYE 11-23	176,091	61,661	973,111	436,044	29,400	1,676,307
DIF interest thru 9/30/22	5,331		10,743	835	1,011	18,356.21
YTD interest FY 23	3778.06		7613.47	591.66	716.62	13,008.42



8/31/2023

CITY OF HAILEY INVESTMENT REPORT

FUND	STATE INV POOL	PIPER SANDLER	TOTAL	int pd	date pd
	<i>Aug interest 5.17%</i>				
GENERAL (includes Fireworks)	2,641,632.63	Maturity	2,641,632.63	15000	3-Jan
GENERAL -35% OPERTING RESERVE	2,637,611.12	1,500,000.00	4,137,611.12	55875	31-Jan
CLEAR CREEK RATE STABILIZATION	252,246.36		252,246.36		31-Jan
CAPITAL PROJECTS	1,219,577.63		1,219,577.63	15000	3-Jan
CAPITAL PROJECTS ---in lieu fees	107,027.97		107,027.97		
CAPITAL PROJECTS DIF Reserve	446,593.27		446,593.27		
CAPITAL PROJECTS Public Art	33,883.39		33,883.39		
CAPITAL PROJECTS Pathways 4 P	242,732.05		242,732.05		
CAPITAL PROJECTS Total	2,049,814.31		2,049,814.31		
ARPA FUNDS	1,402,103.02		1,402,103.02	15000	3-Jan
RODEO PARK PROPETY TAX RCPTS	80,534.56		80,534.56		
WATER REVENUE	1,247,380.41	2,000,000.00	3,247,380.41		
WATER RATE STABILIZATION	204,461.91		204,461.91		
WASTE WATER REV	2,196,668.55		2,196,668.55	15000	3-Jan
WASTE WATER BOND RESERVE	637,683.88		637,683.88		
WASTE WATER RATE STABILIZATION	875,402.29		875,402.29		
WATER REPLACEMENT	1,545,609.11	2,500,000.00	4,045,609.11	55875	31-Jan
WASTE WATER REPLACEMENT	2,128,738.59		2,128,738.59		
TOTAL	17,899,886.74	6,000,000.00	23,899,886.74	171,750	

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Community Development **DEPT. HEAD SIGNATURE:** RD

SUBJECT: Consideration of an Annexation Application by the City of Hailey, and an ordinance, Ordinance No. _____, annexing a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, as well as the Marvin Gardens Subdivision to the north within Blaine County limits.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code N/A (IFAPPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED: The City of Hailey requests Council approval to annex a fifty-five-foot (55') wide section of Quigley Road, where the current and planned use is public access or transportation. The proposed annexation currently functions as a shoulder of the road, or right-of-way (ROW). The plan is to develop it into a shared-use path that will complete the Croy Street and Quigley Road Pathway connection from downtown Hailey to Quigley Trails Park. The uses surrounding the proposed annexation are residential. The proposed annexation abuts the Marvin Gardens Subdivision to the north in Blaine County, as well as the Sunbeam and Deerfield Subdivisions to the west and south within City limits.



More specifically, the proposed annexation pertains to the gap, outlined in blue above, and is most accurately described as: between the easterly edge of the Sunbeam Subdivision’s and the mouth of Quigley Canyon. This year, the City of Hailey was awarded another Transportation Alternatives Program Infrastructure Grant to fill this gap and complete the Croy Street to Quigley Road Pathway projects. If the city-initiated application receives Council approval, construction of the shared-use path would commence spring/summer 2024.

Currently, the subject property is owned by Blaine County, but maintained and managed by the City of Hailey via a Memorandum of Understanding. City Staff requests review of and approval by the Hailey City Council to annex the remaining 55'-wide section of Quigley Road into City Limits to further multi-modal infrastructure projects within the City.

Attachments:

- Staff Report
- Draft Ordinance No. _____: Authorizing the Annexation of Quigley Road
 - o Exhibit A-1: Legal Description

- Exhibit A-2: Annexation Property
- Exhibit B: Updated Hailey Zoning Map

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____
 Estimated Hours Spent to Date: _____
 Staff Contact: Robyn Davis

Caselle # _____
 YTD Line-Item Balance \$ _____
 Estimated Completion Date: _____
 Phone # 788-9815 #2015

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input checked="" type="checkbox"/> City Administrator	<input checked="" type="checkbox"/> Engineer	<u>Building</u>
<input type="checkbox"/> Library	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> Fire Dept.	<u>Finances</u>
<input type="checkbox"/> Safety Committee	<input checked="" type="checkbox"/> P & Z Commission	<input type="checkbox"/> Police	_____
<input checked="" type="checkbox"/> Streets	<input checked="" type="checkbox"/> Public Works, Parks	<input type="checkbox"/> Mayor	_____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion Language:

Approval: Motion to approve and conduct a first reading of Ordinance No. _____, an ordinance annexing a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, as well as the Marvin Gardens Subdivision to the north within Blaine County limits, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Condition (a) noted herein, and read by title only.

Denial: Motion to deny the Ordinance No. _____, an ordinance annexing a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, finding that the project does not meet the standards under Section 17.10 of the Municipal Code _____ [the Council should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Council should specify a date].

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Date _____ City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt. /Order Originals: _____ *Additional/Exceptional Originals to: _____
 Copies (all info.): Copies Instrument # _____



STAFF REPORT
Hailey City Council
Regular Meeting of September 25, 2023

To: Hailey Planning and Zoning Commission
From: Robyn Davis, Community Development Director
Overview: Consideration of an Annexation Application by the City of Hailey to annex a fifty-five-foot (55') wide section of Quigley Road into the City of Hailey. The proposed annexation abuts the Sunbeam and Deerfield Subdivisions to the west and south in the Limited Residential (LR-1) Zoning District within City limits, as well as the Marvin Gardens Subdivision to the north within Blaine County limits. A shared-use path connecting the Croy Street Pathway to the Quigley Trails Park is planned for the annexation.

Hearing: September 25, 2023

Applicant: City of Hailey c/o Brian Yeager, Public Works Director
Location: A parcel of land falling within the North West $\frac{1}{4}$ of Section 10 Township 2 North Range 18 East, B.M., and said parcel also falling within the Plat of Marvin Gardens No.1 Subdivision recorded under instrument number 209065 records of Blaine County, Idaho, and said parcel being more particularly described as follows: Commencing at a brass cap marking the center $\frac{1}{4}$ corner of Section 10, said point falling South $89^{\circ}52'19''$ East 2653.92 feet from a Brass cap marking the West $\frac{1}{4}$ corner of Section 10, thence proceeding North $0^{\circ}17'59''$ West 977.11' along the center section line to a $\frac{5}{8}''$ rebar marking the South East most corner of said plat and also being the South East corner of the Quigly Road Dedication, and said corner being the True Point of Beginning; Thence North $0^{\circ}17'59''$ West 56.73' to a $\frac{1}{2}''$ rebar monument marking a point common to the North East corner of the Quigley Road dedication and the South East corner of Lot 3; Thence South $75^{\circ}30'18''$ West 1366.67' to a $\frac{1}{2}''$ rebar monument marking a point common to the North West corner of the Quigley Road dedication and the South West corner of Lot 4; Thence South $0^{\circ}08'08''$ East 56.77' to a $\frac{5}{8}''$ rebar monument marking the South West corner of the Quigley Road dedication; Thence North $75^{\circ}30'18''$ East 1366.84' to the True Point of Beginning.

Size: Approximately 1.76 acres or 75,166 square feet
Zoning: Limited Residential (LR-1)

Background: The City of Hailey requests Council approval to annex a fifty-five-foot (55') wide section of Quigley Road, where the current and planned use is public access or transportation. The proposed annexation currently functions as a shoulder of the road, or right-of-way (ROW). The plan is to develop it into a shared-use path that will complete the Croy Street and Quigley Road Pathway connection from downtown Hailey to Quigley Trails Park. The uses surrounding the proposed annexation are residential. The proposed annexation abuts the Marvin Gardens Subdivision to the north in Blaine County, as well as the Sunbeam and Deerfield Subdivisions to the west and south within City limits.



This property is within the Hailey Area of City Impact (ACI), which was delineated and shaped by the Area of City Impact Agreement that was adopted by the City on November 14, 1994 as Ordinance 649. The ACI Agreement was enacted to, “...ensure that development of land surrounding Hailey does not directly or indirectly negatively impact Hailey City services, infrastructure or quality of life”. Furthermore, the 1994 Agreement determines that “Annexation by Hailey shall be limited to those lands lying within its Area of City Impact”, reiterating that “If the City of Hailey wishes to consider annexing lands outside of its Area of City Impact, it shall negotiate its Area of City Impact boundary with Blaine County.” In other words, property within the ACI is generally appropriate for annexation into the City.

Of relevance to the shared-use path planned for the proposed annexation, a similar portion of Quigley Road was annexed into the City and developed into a shared-use path during the entitlement process of Sunbeam Subdivision:



- Rathke Subdivision; Instrument Number 134347
 - Marvin Gardens No. 1 Subdivision; Instrument Number 209065
 - Mother Lode Addition; Instrument Number 227267
 - Martin Young Subdivision; Instrument Number 237400
 - Marvin Gardens No. 1 Subdivision, Lot 1 Amended; Instrument Number 257550
 - A Replat of Lots 4 and 5, Marvin Gardens No. 1 Subdivision; Instrument Number 317964
 - Drexler Ranch; Instrument Number 317964
 - Martin Young Subdivision Amended; Instrument Number 341009
 - Dove Meadows Subdivision; Instrument Number 355937
 - Malone Subdivision; Instrument Number 378544
 - A Replat of Drexler Ranch Subdivision; Instrument Number 423951
 - Old Cutters Subdivision; Instrument Number 553634
 - Lots 1A and 2A, Block 1, Marvin Gardens No. 1 Subdivision; Instrument Number 657240
 - Lot 5A, Block 3, Mother Lode Addition, Instrument Number 657240
2. A title policy provided by Stewart Title Guaranty Company, File No. 1921937, Date that affect the property. All of said exceptions are NOT shown hereon and said title
 3. Parcels A and B are hereby dedicated to the City of Hailey as open space to benefit contribution requirements.
 4. Parcel C shall be reserved for Phase 2 of Sunbeam Subdivision.
 5. Parcel D is an open space parcel to benefit this development.
 - 6. Parcel E is to be dedicated to the City of Hailey for Quigley Road Right-of-Way.**
 7. Parcel F is hereby dedicated to the City of Hailey for use as a municipal well site.
 8. A temporary agricultural easement shall exist over the entirety of Parcel B, to be v Sunbeam Subdivision.



Connecting downtown Hailey to the Quigley Trails Park with bicycle and pedestrian infrastructure is a longstanding goal of the City. The 2014 Blaine County Bicycle and Pedestrian Master Plan identifies “Connections to Trails and Parks,” as a Hailey project—with specific mention to Quigley Road. In 2018 and 2019, the City of Hailey constructed a separated bike path east on Croy Street, from Main Street to

the Wood River Trail—using Transportation Alternatives Program infrastructure grants. The City has used various funding sources to provide the “local match” required of such grants— including revenue from sidewalk in-lieu fees and the Pathways for People levy in reserve. This year, the City:

- extended the Croy Street Pathway, as a shared-use path, east of the Wood River Trail,
- improved the Croy and 8th Street intersection geometry to accommodate the shared-use path, and
- connected the Croy Street shared-use path to the shared-use path segment on Quigley Road, which was constructed as a part of the Sunbeam Subdivision.

The proposed annexation pertains to the gap between the easterly edge of the Sunbeam Subdivision and the mouth of Quigley Canyon. This year, the City of Hailey was awarded another Transportation Alternatives Program Infrastructure Grant to fill this gap and complete the Croy Street to Quigley Road Pathway projects. If the city-initiated application receives Council approval, construction of the shared-use path would commence spring/summer 2024. Per the Quigley Farms Annexation Agreement, the Buttercup Hill Trailhead at Quigley Trails Park and the network of bicycle and pedestrian infrastructure in the subdivision will be developed. The snapshots below depict how the Croy Street and Quigley Road Pathways have been funded and function within Hailey’s existing and planned multi-modal network.



The Hailey Comprehensive Plan presents a strong basis for recreation and multi-modal transportation projects. Goals within Section 10: Transportation— as well as Section 5: Land Use, Population, and Growth Management, Section 8: Housing, and Section 13: School Facilities and Transportation— of the Plan highlight the importance of a safe, convenient, and efficient multi-modal transportation system for the benefit of Hailey’s residents, environment, and vibrancy. The following goals from the Plan support the City’s plan to annex and install a separated shared-use path on the remaining portion of Quigley Road:

- “Lessen dependency on the automobile” (Goal 5.5, page 30).
- “Create a maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents” (Goal 10.1, page 43); and
- “Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites” (Goal 13.2, page 47).

Additionally, Section 8: Housing of the Plan comments on the benefits of shorter commutes, which have a higher likelihood of mode-shifting to walking and biking, stating:

- “Productivity of the workforce improves when commutes are shortened”; and
- “Long commutes are not only costly to the workers, but to the environment as well. Carbon emissions are reduced, and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt” (page 38).

Of prominence, the second part of the Plan’s vision statement describes Hailey as “a community whose character of place is defined by safe, walkable, attractive and vibrant residential and commercial neighborhoods and streets.”

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on September 1, 2023. The notice was posted on all boundaries of the subject property on September 18, 2023.

Standards of Evaluation: Chapter 14.01 of the Hailey Municipal Code establishes annexation procedures to promote uniformity and certainty in annexation applications; however, the Section 14.01.020 states, “If city initiates an annexation, the provisions of this chapter shall not govern.” Understanding the flexibility granted to City-initiated applications yet striving for uniformity and certainty across annexation applications, Staff hereby analyzes the submittal requirements for the City-Initiated Application:

- A. Application fees are established by ordinance.** Exempt. Government entities, pursuant Title 14, are exempt from application fees related to government-initiated annexations.
- B. A statement of the size of the property in square footage and acres.** Approximately 1.76 acres or 75,166 square feet.
- C. A description of the proposed project, including the approximate:**
 - 1) Number and size of proposed lots.
 - 2) Length and location of the proposed water and sewer mains.
 - 3) Length and location of proposed streets and alleys; and

4) Length and location of the proposed sidewalks.

The City-Initiated Application at hand, to annex Quigley Road, does not involve any new infrastructure aside from the development of a shared-use path in the right-of-way. The proposed shared-use path is fifty-five feet (55') wide, funding for the project has been secured through a competitive Transportation Alternative Program (TAP) grant.

- D. A schematic design of the entire project showing the proposed uses, density, streets, alleys, easements, and proposed size and location of open spaces and parks.** The proposed use is to maintain and improve the existing use—public access, transportation. The street will retain its name: Quigley Road. Density, alleys, easements, and open spaces/parks are irrelevant to this application because the application does not involve a subdivision.
- E. A statement describing how the proposed project complies with specific goals and policies of the Hailey comprehensive plan.** Please refer to the narrative in the beginning of this report.
- F. A statement describing how the proposed project is compatible with adjacent neighborhood(s).** Please refer to the narrative in the beginning of this report. This project is the last segment in a multi-year effort to extend the Croy Street Path to Quigley Trails Park.
- G. A statement describing how the applicable natural resources (e.g., watercourses, springs, streams, wildlife, and access to public lands) and natural hazards (e.g., avalanche, floodplains, and floodways) are incorporated into proposed project and/or mitigated.** The construction of a shared-use path on Quigley Road increases access to public lands and supports modes of travel that are less harmful to our environment and natural resources. The proposed annexation does not pose any impacts regarding avalanches, floodplains, and floodways.
- H. A statement describing what contributions and/or dedications the applicant is willing to make as part of the proposed annexation.** N/A - the Applicant and recipient are one in the same, the City.
- I. A description of how the proposed annexation will protect Hailey's established or proposed wellhead protection zones.** This project will comply with the provisions of the City's wellhead protection zones, like any other street or multi-modal facility in the City.
- J. A detailed description of how the annexation will impact the existing municipal infrastructure and services (e.g., water, sewer, streets, library, police, fire, and parks).** The proposed annexation is minimal in scope—the City of Hailey already maintains Quigley Road and has planned for the extension of the Croy Street Path to Quigley Trails Park. The proposed annexation will actualize this plan and expand the City's multi-modal network.
- K. A statement of who will maintain the streets, alleys, parks, and utilities (privately and publicly owned utilities) and how the maintenance of the streets, alleys, parks, and utilities (privately and publicly owned utilities) will be funded.** The proposed annexation and path will be maintained as other City pathways are maintained.

- L. A phasing plan showing the proposed dates of construction and completion of phased construction for infrastructure, streets, alleys, utilities, and all other development. In the case of a phased project, subsections C and D of this section may be omitted for future phases; however, provisions shall be made within an annexation agreement for submittal of plans and payment of fees for future phases. N/A, the shared-use path is planned to be constructed in one phase— spring/summer 2024.**
- M. Unless the administrator determines, in the administrator's sole and absolute discretion, one or more of the following studies are not warranted based on the size, scope and impact of a proposed annexation, the following studies shall be submitted:**
- a) Traffic study showing impact on adjacent streets and streets that would serve the proposed project.** The proposed project supports modes of travel that are safer and less expensive than driving. By expanding its multi-modal network, with projects like this one, the City aims to support an increase in mode shift from driving to walking and biking. For existing pedestrians and bicyclists, the proposed project will increase road safety by adequate infrastructure, separate from vehicle travel.
 - b) Floodplain study (if applicable).** N/A
 - c) Avalanche study (if applicable).** N/A
 - d) Wetland study (if applicable).** N/A
 - e) Wildlife study.** The proposed annexation does not anticipate an impact on surrounding wildlife. The only anticipated impact is positive—the proposed project supports modes of travel that are less harmful than cars to our environment and natural resources.
 - f) A level I environmental study showing the presence of any hazardous waste.** N/A
 - g) Contour map depicting fifteen percent (15%) and twenty five percent (25%) slope lines measured at two-foot (2') intervals.** The proposed annexation is on relatively flat ground.
- N. A list of names and mailing addresses of all property owners within three hundred feet (300') of the external boundaries of the proposed annexation and the names and mailing addresses of all easement holders within the proposed annexation.** Notice was mailed to all residents within three-hundred feet (300') of the proposed annexation. At the August 22, 2023 public hearing, the Commission suggested that City Staff communicate with Blaine County on the proposed annexation and further seek a Letter of Consent and/or Support prior to review by the Hailey City Council. Staff will continue to coordinate with Blaine County Land Use, and formalize a support letter, prior to review by Council. This has been added as a Condition of Approval.
- O. A description of all water rights, including all surface and ground water rights, appurtenant to the real property subject of the annexation. The description of all water rights shall include a description of all the elements of the water rights, including, but not limited to, the source, quantity, priority date, point of diversion, purpose and period of use, place of use, and any provisions or conditions attached to the water right. The applicant shall attach all decrees, licenses, and permits describing the water rights to the application for annexation.** Exempt. The proposed use places no demand on the system; no water rights are affected by this application. The preliminary plans for the shared-use path indicate the location of municipal water, wastewater, and fire hydrants in the Quigley Road right of way.

Per Section 14.01.090, the Hailey City Council shall make its own findings of fact and conclusions of law to determine:

- a. **Whether the proposed application will be harmonious and in accordance with the goals and policies of applicable components of the Hailey comprehensive plan.**
- b. **Whether the proposed annexation would be in the best interests of the citizens of Hailey; and,**
- c. **To the extent possible, whether the proposed annexation will have a negative fiscal impact upon the existing citizens of Hailey at the time of an annexation and in the future.**

Summary and Suggested Conditions: The Commission shall review the Annexation Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Annexation Application will be forwarded to the Hailey City Council for review. The Council shall review the application via a public hearing, and approve, conditionally approve, or deny the Application.

If approved, the following conditions shall be met:

- a) The Applicant shall secure a Letter of Consent and/or Support from Blaine County Land Use as to the proposed Annexation Application prior to the Mayor's signature on the associated Ordinance, Ordinance No. _____.

Motion Language:

Approval: Motion to approve the Annexation Application by the City of Hailey, wherein the subject parcel, as described herein, is annexed into the City of Hailey, finding that the application meets all City Standards, and Condition (a) will be met.

Denial: Motion to deny the Annexation Application by the City of Hailey, wherein the subject parcel, as described here, does not comply with City Standards, finding that [Council should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Council should specify a date].

HAILEY ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, ANNEXING CERTAIN ADJACENT AND CONTIGUOUS REAL PROPERTY TO THE CITY OF HAILEY; PROVIDING FOR THE ZONING OF SAID ANNEXED REAL PROPERTY; PROVIDING THAT SUCH REAL PROPERTY AND ALL PERSONS WITHIN THE LIMITS OF SUCH ANNEXED REAL PROPERTY SHALL BE SUBJECT TO ALL PROVISIONS OF ALL ORDINANCES OF THE CITY OF HAILEY; PROVIDING FOR THE FILING OF THE COPIES OF THE ORDINANCE; PROVIDING FOR COMPLIANCE WITH IDAHO CODE SECTION 63-215; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE.

WHEREAS, the City Council has reviewed a request for annexation of certain real property adjacent to the City of Hailey, owned by Blaine County, Idaho.”

WHEREAS, the legal description of the property requested for annexation is attached hereto as **Exhibit “A-1”** and depicted as **Exhibit “A-2,”** “Annexation Property;”

WHEREAS, the City Council of the City of Hailey has determined that the annexation of the Annexation Property will further the City's interest and protect the health, safety, and welfare of the citizens of Hailey.

WHEREAS, the City Council of the City of Hailey has determined that the annexation represents an orderly extension of City boundaries.

WHEREAS, the City Council of the City of Hailey has determined that the annexation represents a Category A annexation pursuant to Idaho Code Section 50-222.

WHEREAS, the City Council of the City of Hailey has determined that the Annexation Property is contiguous to and adjacent to the existing boundaries of the city of Hailey.

WHEREAS, the City Council of the City of Hailey has determined that the annexation is in the best interests of the City of Hailey.

WHEREAS, the Hailey Planning and Zoning Commission (“Commission”) has recommended zoning classifications for the Annexation Property and has voted to recommend approval of an amendment to the Hailey Zoning Map.

WHEREAS, the Hailey City Council has considered the recommendation of the Commission and has voted to approve of an amendment to the Hailey Zoning Map as shown on attached **Exhibit “B.”**

WHEREAS, essential public facilities and services are available to the uses shown on attached **Exhibit “B”** without excessive public cost.

WHEREAS, the proposed uses as shown on attached **Exhibit “B”** are compatible with the

surrounding area.

WHEREAS, the zoning map amendment set forth in this ordinance will promote the public health, safety and general welfare; and

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

SECTION 1. The Annexation Property is hereby declared to be a part of the City of Hailey and annexed thereto.

SECTION 2. The portion of the Annexation Property owned by Blaine County, Idaho, shall be, and is hereby, classified and zoned as part of the Limited Residential (LR-2) zoning district, and as depicted in attached **Exhibit “B.”** The Official Zoning Map of the City of Hailey established under Section 17.05.010 of the Hailey Municipal Code is hereby amended by including the zoning districts shown on attached **Exhibit “B.”**

SECTION 3. From and after the effective date of this Ordinance all property and persons within the Annexation Property shall be subject to the provisions of all ordinances of the City of Hailey.

SECTION 4. Pursuant to Idaho Code Section 50-223, the Clerk of the City of Hailey shall, within ten (10) days following the effective date of this Ordinance, file a certified copy of this Ordinance with the Blaine County Auditor, the Blaine County Treasurer, the Blaine County Assessor, and the Idaho State Tax Commission.

SECTION 5. The Clerk of the City of Hailey shall, within ten (10) days following the effective date of this Ordinance, cause one copy of a legal description and map prepared in a draftsman like manner which shall plainly and clearly designate the boundaries of the altered portion of the City of Hailey to be filed with the Blaine County Recorder, the Blaine County Assessor, and the Idaho State Tax Commission.

SECTION 6. This Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS ____ day of _____, 2023.

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk

Exhibit A-1
Annexation Area Legal Description

Exhibit A-1: Quigley Road Legal Description

A parcel of land falling within the Northwest $\frac{1}{4}$ of Section 10 Township 2 North Range 18 East, B.M., and said parcel also falling within the Plat of Marvin Gardens No.1 Subdivision recorded under instrument number 209065 records of Blaine County, Idaho, and said parcel being more particularly described as follows:

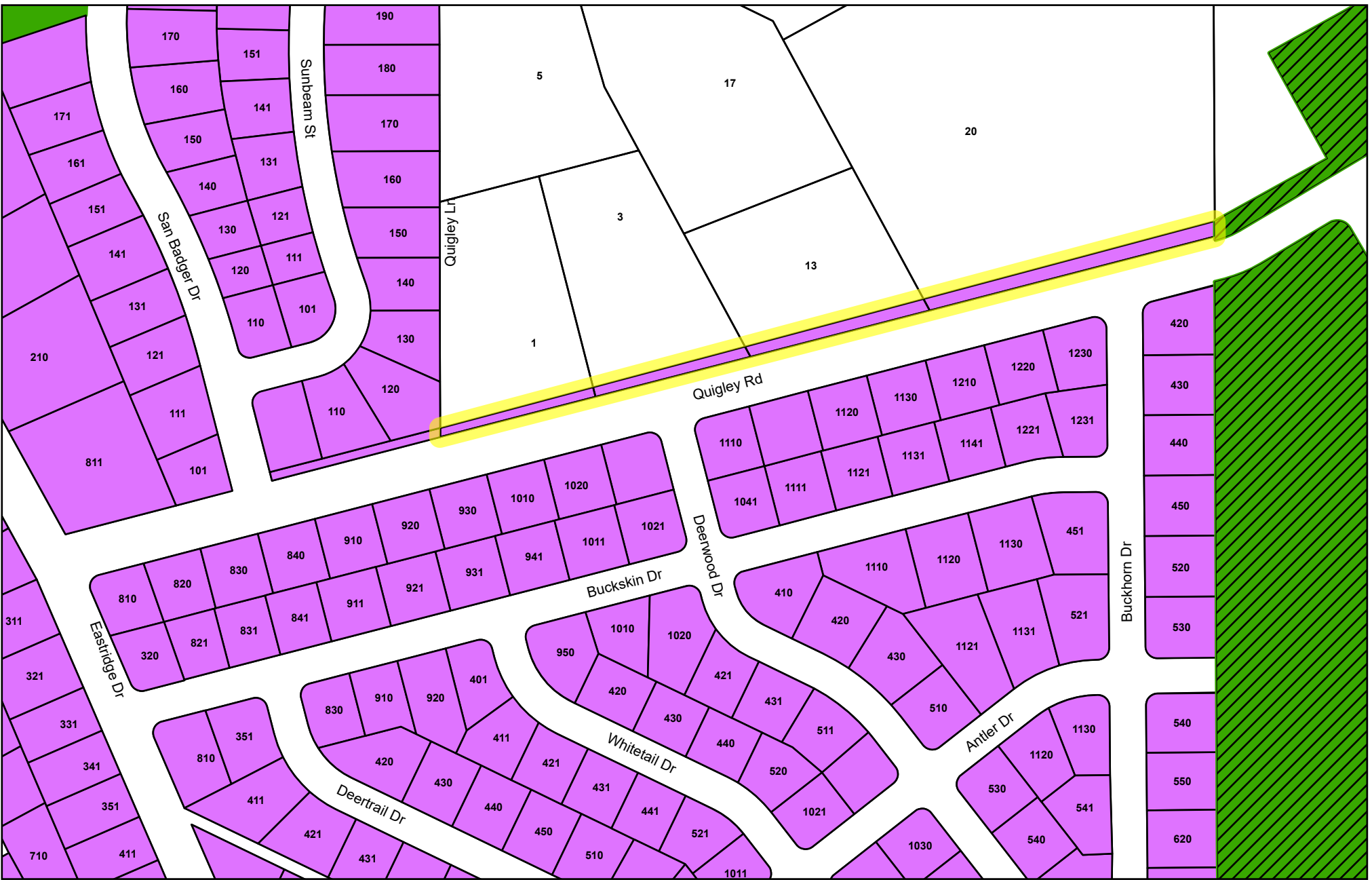
Commencing at a brass cap marking the center $\frac{1}{4}$ corner of Section 10, said point falling South $89^{\circ}52'19''$ East 2653.92 feet from a Brass cap marking the West $\frac{1}{4}$ corner of Section 10, thence proceeding North $0^{\circ}17'59''$ West 977.11' along the center section line to a $\frac{5}{8}$ " rebar marking the South East most corner of said plat and also being the South East corner of the Quigly Road Dedication, and said corner being the True Point of Beginning;

Thence North $0^{\circ}17'59''$ West 56.73' to a $\frac{1}{2}$ " rebar monument marking a point common to the Northeast corner of the Quigley Road dedication and the Southeast corner of Lot 3;

Thence South $75^{\circ}30'18''$ West 1366.67' to a $\frac{1}{2}$ " rebar monument marking a point common to the Northwest corner of the Quigley Road dedication and the Southwest corner of Lot 4;
Thence South $0^{\circ}08'08''$ East 56.77' to a $\frac{5}{8}$ " rebar monument marking the Southwest corner of the Quigley Road dedication.

Thence North $75^{\circ}30'18''$ East 1366.84' to the True Point of Beginning, said parcel containing 1.76 acres or 75,166 square feet, more or less.

Exhibit A-2
Annexation Property



Annexation and Zoning to LR-1

- Limited Residential 1 (8,000 s.f.)
- Recreational Green Belt
- Proposed Annexation

150

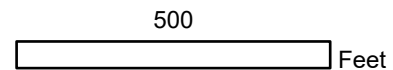
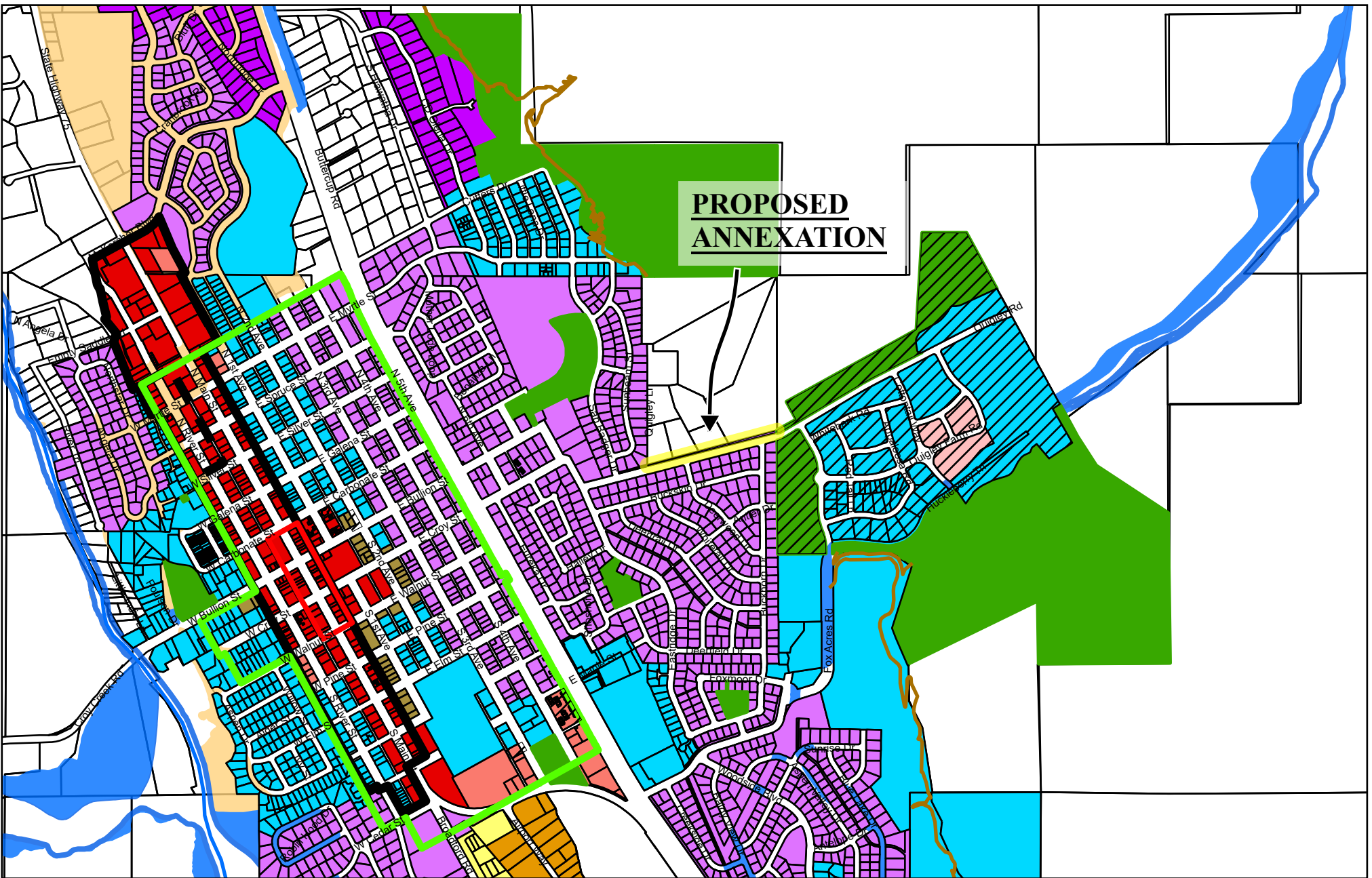


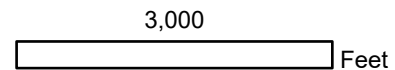
Exhibit B
Hailey Zoning Map



**PROPOSED
ANNEXATION**

Annexation and Zoning to LR-1

- | | | |
|---------------------|-------------------------------------|------------------------|
| Airport | Limited Residential 1 (8,000 s.f.) | Technological Industry |
| Business | Limited Residential 2 (12,000 s.f.) | Transitional |
| General Residential | Neighborhood Business | Proposed Annexation |
| Light Industrial | Recreational Green Belt | |
| Limited Business | | |



Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2023 **DEPARTMENT:** Community Development **DEPT. HEAD SIGNATURE:** RD

SUBJECT: Consideration of a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code Title 16
(IFAPPLICABLE)

BACKGROUND: The proposed Panorama Point Subdivision is within Phase I of the Sunbeam Subdivision, which received its Final Plat approval on April 12, 2021. The Final Plat of Phase I of the Sunbeam Subdivision subdivided Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey into 85 primary dwelling units on 70 lots. Per the subdivision’s plat and Planned Unit Development (PUD) Agreement (recorded on June 29, 2020; Instrument #670234), Phase I includes three (3) cottage lots that are required to develop a total of 18 cottage units.

Now, ARCH Community Housing Trust Inc. proposes to subdivide the remaining one (1) Phase I cottage lot, Lot 64, into eight (8) cottage townhouse sublots to serve eight (8) cottage townhouse units under a Preliminary Plat Application. If approved, a new subdivision within Phase I of the Sunbeam Subdivision would be developed, recorded, and named Sunny Townhomes Subdivision.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: Robyn Davis Phone # 788-9815 #2015

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IFAPPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Administrator	<input checked="" type="checkbox"/> Engineer	<input type="checkbox"/> Building
<input type="checkbox"/> Library	<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Fire Dept.	_____
<input type="checkbox"/> Safety Committee	<input checked="" type="checkbox"/> P&Z Commission	<input type="checkbox"/> Police	_____
<input checked="" type="checkbox"/> Streets	<input checked="" type="checkbox"/> Public Works, Parks	<input type="checkbox"/> Mayor	_____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD: Conduct a Public Hearing on a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District.

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Motion Language:

Approval: Motion to approve a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District, finding that the application meets all City Standards, and that Conditions (a) through (n) will be met.

Denial: Motion to deny a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM



Staff Report
Hailey City Council
Regular Meeting of September 25, 2023

To: Hailey City Council
From: Robyn Davis, Community Development Director
Overview: Consideration of a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District.
Hearing: September 25, 2023

Applicant: ARCH Community Housing Trust, Inc.
Project: Sunny Gulch Townhomes
Location: SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5
Size: 0.93 acres (40,510.8 square feet)
Zoning/Size: Limited Residential (LR-1) Zoning District

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on September 6, 2023.

Background: The Final Plat for Phase I of the Sunbeam Subdivision was approved on April 12, 2021— wherein Tax Lot 6655, Section 9 & 10, T2N, R18E, Hailey, was subdivided into 85 units on 70 lots. Phase I includes three (3) cottage lots for a total of 18 cottage units, as outlined in the Planned Unit Development (PUD) Agreement (recorded on June 29, 2020; Instrument #670234). On August 7, 2023, the Pilling Family Trust’s Subdivision Application (Panorama Point Subdivision) received a recommendation for City Council approval by the Hailey Planning and Zoning Commission. This Application proposed to subdivide two (2) of the three (3) Phase I cottage townhouse lots into ten (10) sublots with ten (10) new cottage units in total.

The ARCH Community Housing Trust Inc. proposes to subdivide the remaining one (1) Phase I cottage lot, Lot 64, into eight (8) cottage townhouse sublots to serve eight (8) cottage townhouse units under a Preliminary Plat Application. If approved, a new subdivision within Phase I of the Sunbeam Subdivision would be developed, recorded, and named Sunny Townhomes Subdivision.

The Application for the Sunny Townhomes Subdivision proposes to subdivide the 0.93 acres of Lot 64 into eight (8) cottage townhouse sublots between 0.09 and 0.16 acres in size. In addition to the ten (10) cottage lots proposed for the Panorama Point Subdivision at the September 11, 2023 public hearing, this application completes the eighteen (18) cottage units planned for Phase I of the Sunbeam Subdivision.

Of relevance to this project, the Hailey Municipal Code defines the following cottage, townhouse, and sublot terms in the following ways:

TOWNHOUSE DEVELOPMENT: A multi-family residential project of two (2) or more townhouse units, where permitted under the Hailey zoning ordinance, which may be constructed as either or both of the following:

A. Building(s) containing two (2) or more townhouse units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to building and fire code requirements, and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.

B. **“Cottages”**, which are buildings containing single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.

TOWNHOUSE SUBLLOT: The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a “townhouse unit”, as defined in this section. Platting of sublots shall follow the procedures set forth in this title and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

TOWNHOUSE UNIT: A dwelling including a minimum of one bathroom and a single kitchen, designed for, or occupied as a unit by one family for living and cooking purposes, located in a townhouse development on a platted townhouse subplot.

As specified in the Code, a cottage is a building that contains a single townhouse unit on an individual townhouse subplot. Per Code, townhouse units are required to include a minimum of one (1) bathroom and one (1) kitchen. Furthermore, townhouse units are to be designed or occupied by one (1) family. In other words, cottages are small single-family housing units due to the typically small size of townhouse sublots. As presented to the Commission on May 15, 2023 and June 20, 2023, and at the time of drafting these Findings of Fact, Staff is developing an ordinance to accommodate cottage developments with definitions, standards, and zoning that are distinct from other housing types. At this point in time, cottage development applications—such as this one— will be held to the existing standards within Hailey’s Municipal Code. Staff has worked internally with the Applicant to communicate the City Council’s priorities for the character and intent of cottage developments, as they were negotiated in the Sunbeam Subdivision Planned Unit Development Agreement.

Due to the evolving nature of cottage development definitions, standards, and zoning, and citing the precedent set forth by the corresponding cottage subdivision project associated with Sunbeam Subdivision’s PUD Agreement (Panorama Point), City Staff and Planning and Zoning Commissioners - under advisement from the City of Hailey Attorney - requested that the Applicant submit a Design Review Application and complete a Public Hearing process. Final approval of the Applicant’s Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the Design

Review Application associated with Sunny Townhomes Subdivision. This has been made a Condition of Approval.

Additionally, the Applicant and the Commission noted that the Sunny Townhomes Subdivision is proposed to have rental occupancy, and that ARCH will be the sole owner of the subdivided parcels. The Staff Report and previous Condition of Approval language that included references to HOAs (which are traditionally made up of multiple homeowners) appeared to be misleading and inaccurate to the planned circumstances for the site’s long-term management. Staff agreed to alter the Condition of Approval language to better reflect the single-owner nature of Sunny Townhomes Subdivision. This change is reflected in this Staff Report.

Procedural History: The Applicant submitted their Preliminary Plat Application for the Sunny Townhomes Subdivision on June 20, 2023, and it was certified complete on June 21, 2023. A public hearing before the Planning and Zoning Commission occurred on August 21, 2023, and the Hailey City Council will review this application on September 25, 2023 in Hailey City Hall Council Chambers and virtually via Microsoft Teams.

This property is subject to a Planned Unit Development (PUD) Agreement dated June 18, 2020 (Instrument #670234), as well as the Final Plat for Phase I of the Sunbeam Subdivision that was approved on April 12, 2021.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>Public Works Staff have reviewed the proposed application. Any issues, questions, or concerns will be thoroughly reviewed and discussed with the Applicant prior to final design.</i>
				Fire/Safety: <i>The site’s interior, vehicular access aisle, which services each of the units and also acts as a fire lane, is proposed at the minimum allowable width by Hailey Municipal Code. The Hailey Fire Department is requesting that the Applicant ensure the fire lane is unobstructed and accessible at all times.</i> <i>The Applicant shall paint all curbs of the lot’s interior, vehicular access aisles with red paint, as well as install signage prohibiting parking along the sides of the access aisle, except in the three (3) designated guest parking spaces shown on site plans. This has been made a Condition of Approval.</i>
				Water and Sewer: <i>No comments.</i>
				Building: <i>No comments.</i>
				Streets: <i>No comments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>N/A – The public streets for Phase I of the Sunbeam Subdivision were platted in 2021 and have since been built/are existing. The project proposed here does not include any new streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.
			Staff Comments	<i>N/A – No cul-de-sacs nor dead-end streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments	<i>N/A – Each of the proposed cottage units will be accessed via an interior parking access lane, which connects to Gray’s Starlight Drive in the northeast quadrant of the parcel. City of Hailey Department Heads have reviewed the site plans and did not recommend more than one (1) access point.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			Staff Comments	<i>N/A – No streets are proposed, only a single parking access lane from Gray’s Starlight Drive to the interior of the lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			Staff Comments	<i>N/A – No public streets nor traffic calming measures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			Staff Comments	<i>N/A – No public streets are proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<i>Staff Comments</i>	<i>N/A – No roadways are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<i>Staff Comments</i>	<i>N/A – No new road grades are proposed. The public streets are existing and meet City Standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	<i>N/A – Storm drains and/or drainage areas of adequate size are in place.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<i>Staff Comments</i>	<i>The Applicant shall paint all curbs of the lot’s interior parking access lane with red paint, as well as install signage prohibiting parking along the sides of the access lane, except in the three (3) designated guest parking spaces shown on site plans. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<i>Staff Comments</i>	<i>N/A – No new streets nor alleys are proposed.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.

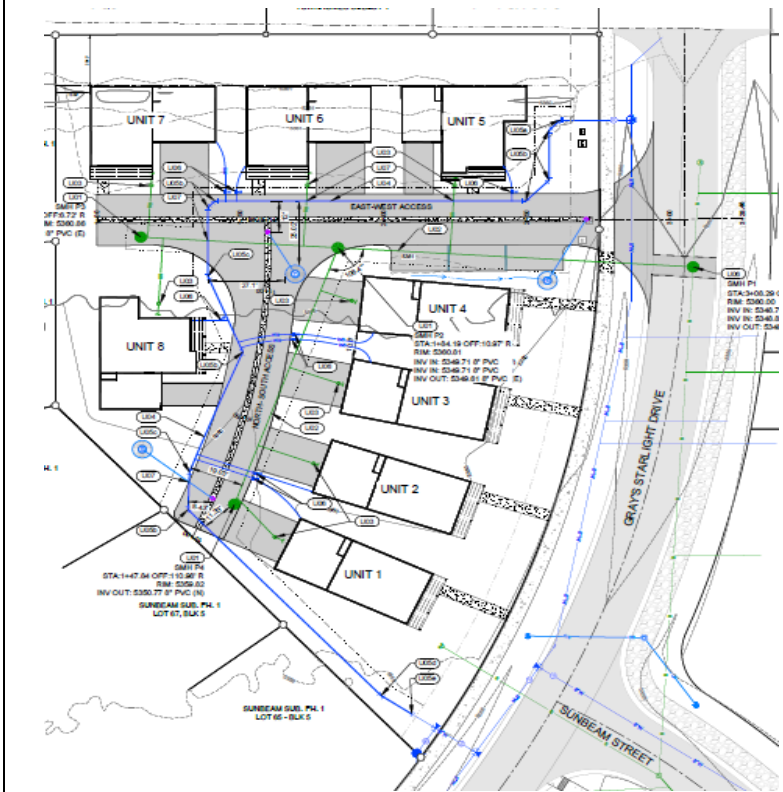
			Staff Comments	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			Staff Comments	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			Staff Comments	<i>N/A – No private streets are proposed.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			Staff Comments	<i>The proposal includes one (1) parking access lane, which will service all cottage units within the subdivision. Ingress/egress are achieved via this singular approach from Gray's Starlight Drive. The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current ownership and any future ownership changes. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			Staff Comments	<i>N/A. All proposed driveways are located off the private access lane, and only one curb cut is proposed off the public street, Grays Starlight Drive. Minimal impact to the public street is proposed, and driveway dimensions are appropriate for private roads, access lanes, and aisles. The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current ownership and any future ownership changes. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			Staff Comments	<i>N/A – None of the proposed driveways exceed one-hundred and fifty feet (150').</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.

			Staff Comments	<i>N/A, as no driveways accessing more than one (1) residential dwelling unit are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			Staff Comments	<i>N/A – None of the proposed driveways serve more than one (1) residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			Staff Comments	<i>No driveways interfere with the maintenance of existing infrastructure. The residential approaches are serviced by a communal parking access lane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>The proposed parking access lane has been approved by the Fire Department, with required traffic safety control methods (fire lane paint and signage) and will be inspected for IFC compliance during the final plat inspections.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways, or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>The site plan for the interior access lane has been inspected by the Hailey Fire Department and appears to comply with all regulations set forth in the IFC and other applicable codes and ordinances.</i>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			Staff Comments	<i>The public street sidewalk and drainage improvements were constructed in Phase I of the Sunbeam Subdivision. The existing pedestrian facilities and proposed drainage are adequate for the site; however, any additional drainage requirements or sidewalk repairs will be reviewed by City Staff prior to final design. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<i>The sidewalks were constructed for Phase I of the Sunbeam Subdivision and are equal the length of the public street frontage. Unless improvements are needed to the existing sidewalks, this standard has been met. The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			Staff Comments	<i>The public street sidewalks were constructed for Phase I of the Sunbeam Subdivision. Units 1-4 are proposed to include a walkway from each unit's eastern frontage, connecting to the existing public sidewalk on Gray's Starlight Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to

				future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	<i>The public street sidewalk, adjacent to the site, were constructed for Phase I of the Sunbeam Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	<i>N/A – This is a Preliminary Plat Application for a new cottage subdivision, this project involves more than a Lot Line Adjustment.</i>

16.04.040: Alleys and Easements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	<i>N/A – This project is in the Limited Residential (LR-1) Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	<i>N/A – Alleys are not required, nor are they planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			Staff Comments	<i>N/A – Alleys are not required, nor are they planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	<i>Alleys are not required, nor are they planned. The proposed underground utilities are routed in the platted parking access aisle and platted public utility easements. A main line from Gray's Starlight Drive will provide sewer service connection for each of the units. Water service will be provided from two (2) connections to the mainline, also located on Gray's Starlight Drive. The City Water and Wastewater Departments are supportive of the proposed plans.</i>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	<i>N/A – Alleys are not required, nor are they planned for this parcel. This area is residential and not commercial.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	<i>N/A – The proposed design does not include a dead-end alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	<p><i>The proposed plat includes:</i></p> <ul style="list-style-type: none"> • <i>Mutual reciprocal easements for access by all cottage units, as well as by existing and future public and private utilities including, to utilities including but not limited to water, sewer, drainage, cable tv, telephone, natural gas, electrical lines, and roof and site drainage over, under and across their sublots for the repair, maintenance and replacement of those services;</i> • <i>A 10' Public Utility and Snow Storage Easement per Sunbeam Subdivision Phase 1, recorded as Instrument Number 682301</i> • <i>A Public Utility Easement, 27.84' to 31.99' wide. to benefit the City of Hailey.</i> • <i>A 20' wide private irrigation easement to benefit the Sunbeam Subdivision's HOA</i> • <i>A snow storage easement to benefit the Sunny Townhomes Subdivision Development.</i> <p><i>Any concerns and/or issues with the proposed easements will be reviewed by the City Engineer and resolved prior to final design. The Applicant shall also address the easement and maintenance of the utilities in the CC&R's for the subdivision. Both stipulations have been made Conditions for Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
			Staff Comments	<i>See Section 16.04.040.A.7 for explanation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.

			Staff Comments	<i>The easements have been explained in the prior Section 16.04.040.A.7. There is no need for a river access easement, as this site does not border the Big Wood River.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			Staff Comments	<i>N/A – No natural resource, riparian area, hazardous area, or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk, and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			Staff Comments	<i>According to snow storage site plans submitted by the project’s engineer, the proposed snow removal area measures 9,312 square feet in size. The required snow storage area, per Hailey Municipal Code, is 2,328 square feet. 2,584 square feet of snow storage is provided. No dimensions of any snow storage area are measured at less than 10 feet, and no above ground utilities appear to be impacted.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			Staff Comments	<i>N/A – This subdivision and proposed plat involves an existing block. No new blocks are proposed.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			Staff Comments	<i>The project parcel is subject to the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision. The PUD Agreement and Final Plat for Phase I specified that three (3) cottage lots shall be developed into eighteen (18) cottage units. In keeping with the affiliated PUD Agreement and Final Plat, this application proposes eight (8) sublots between 0.09 and 0.16 acres in size, for single-family cottage units, to be known as Sunny Townhomes Subdivision. As</i>

				<p>such, the remaining cottage lots in Phase I (Lots 41 and 49) have been recommended for City Council approval by the Planning and Zoning Commission, for subdivision into ten (10) cottage lots of an average size of 0.10 acres, to be known as Panorama Point Subdivision.</p> <p>Also of relevance, the Hailey Municipal Code specifies a minimum lot size for townhouse sublots— “a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3’) in width adjacent to any opening, measured at the foundation”— but not a maximum size. The proposed lots meet and exceed the minimum area required for townhouse sublots.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p> <p><i>Staff Comments</i> N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p> <p><i>Staff Comments</i> N/A – The plat does not include any double frontage lots.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p> <p><i>Staff Comments</i> N/A – Each of the proposed sublots are buildable.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p> <p><i>Staff Comments</i> N/A – No flag lots are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p> <p><i>Staff Comments</i> N/A, townhouse sublots are excluded from this requirement. The proposed development has frontage on the public street, Gray’s Starlight Drive.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>In the Townsite Overlay District, original Townsite lots shall be subdivided such that the newly platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.</p> <p><i>Staff Comments</i> N/A – This project is not located within the Townsite Overlay (TO) Zone District.</p>
16.04.070: Orderly Development				

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads, and utilities through undeveloped land.</p> <p><i>Staff Comments</i> The proposed project—the development of cottages through Sunny Townhomes Subdivision—is subject to the Phasing Plan and Planned Unit Development for Phase I of the Sunbeam Subdivision. Per the PUD Agreement, “All cottage lots depicted in the PUD development Plan must be developed with cottage units by the Owner or its successors or assigns.” The “Owner shall use commercially reasonable efforts to expedite the development of said cottage units.” This project—the proposed Sunny Townhomes Subdivision—can be understood as a subset of Phase I of the development of the Sunbeam Subdivision, Staff does not see any reason to create an additional phasing plan for the development of the proposed cottage units.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p> <p><i>Staff Comments</i> N/A – Neither the Applicant nor Staff request that the proposed subdivision be phased.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance. <p><i>Staff Comments</i> N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ul style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most

				<p>effective layout feasible.</p> <p>4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</p> <p>5. Park land shall be most appropriately located on the Contiguous Parcels.</p> <p>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</p> <p>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</p> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			Staff Comments	<i>N/A – The Commission and Council completed this process for the Planned Unit Development (PUD) Agreement for Phase I of the Sunbeam Subdivision, of which this project is a part. The PUD required that a 4.54-acre park/open area space and a six-foot (6') wide pedestrian trail be completed during Phase I.</i>
16.04.080: Perimeter Walls, Gates, and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			Staff Comments	<i>N/A – No perimeter walls, gates, landscape berms, nor retaining walls are proposed.</i>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	<i>The Commission and Council completed this process for the Planned Unit Development Plan and Final Plat for Phase I of the Sunbeam Subdivision. Through those processes, cottages were planned for this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	<i>The City Engineer will determine whether a Soils Report is required for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns;

				<p>d) Areas where trees and/or natural vegetation will be preserved;</p> <p>e) Location of all street and utility improvements including driveways to building envelopes; and</p> <p>f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.</p>
			Staff Comments	<i>A Grading/Site Improvement Plan has been submitted and is under review by the City Engineer.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading/Site Improvement Plan has been submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	<i>A permanent irrigation system is proposed for the site, servicing sixty-one (61) trees and one hundred and eighty-seven (187) shrub/grass/perennial clusters. Approximately four-thousand six hundred and fifty (4,650) square feet of low water grass cover is proposed as well. Revegetation of the site appears substantial, and the flat topography of the lot discourages erosion.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	<p>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</p> <p>a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM).</p> <p>c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</p> <p>d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</p> <p>e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</p>

			Staff Comments	<i>Proposed grading and drainage appear to be adequate for the site but shall meet the approval of the City Engineer, this has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm-water Discharge from Construction Activity” for all construction activity affecting more than one acre.
			Staff Comments	<i>A Drainage Plan has been submitted. Runoff shall be collected at the entryway of the subdivision’s parking access lane, within landscaping, and at the parking access lane spur that services Units 1-4 and Unit 8. Storm water will be retained onsite. These have been made Conditions of Approval and will be reevaluated at final design, prior to Final Plat approval.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			Staff Comments	<i>N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			Staff Comments	<i>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision.</i>

			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>P = x multiplied by .0277</p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<i>Staff Comments</i>	<i>N/A – The parks and pathways required of this site were accounted for in the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	<p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p>
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is located within the Limited Residential (LR-1) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			<i>Staff Comments</i>	<i>Sidewalks and shared-use paths were constructed for Phase I of the Sunbeam Subdivision and are adequate for the site. No additional pathways are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required

				standards at or before the platting or development of the lots, sublots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A – This application is subject to the existing Planned Unit Development Agreement for Phase I of the Sunbeam Subdivision, which addressed park/open space requirements. No additional Park/Open Space is required at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Minimum Requirements:
			D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<i>Staff Comments</i>	<i>The Applicant shall address the maintenance of the outdoor shared space delineated by the easement between the proposed townhouse sublots in CC&R's for the subdivision. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless

				<p>the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p>
			Staff Comments	<i>Please refer to Section 16.04.110(A)2 for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>Specific Park Standards: All Parks shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	<p>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	<p>Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways, and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	<p>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	<p>Shall require low maintenance or provide for maintenance or maintenance endowment.</p>
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			Staff Comments	<i>N/A – Please refer to Section 16.04.110(A.2) for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	<p>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</p>
			Staff Comments	<i>N/A – Please refer to Section 16.04.110(A.2) for further information.</i>
			G.	<p>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location, and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	<p>Shall meet the minimum applicable requirements required by section 4.10.04 of this section.</p>
			Staff Comments	<i>N/A – Please refer to Section 16.04.110 for further detail.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&Rs for the subdivision. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails, or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	<i>N/A – Please refer to Section 16.04.110 for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	<i>The Applicant shall address the design and maintenance of the outdoor shared space in CC&Rs for the subdivision. This has been made a Condition of Approval.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			<i>Staff Comments</i>	<i>N/A – The required park/open space is existing and was developed according to the PUD Agreement for Phase I of the Sunbeam Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction, and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110 for further detail.</i>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety, and general welfare.

			Staff Comments	<i>The Applicant plans to construct the infrastructure that is necessary for municipal services, if the project is approved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			Staff Comments	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			Staff Comments	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			Staff Comments	<i>This standard will be met.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			Staff Comments	<i>This standard shall be met, has been made a Condition of Approval, and will be reevaluated at final design, prior to Final Plat approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			Staff Comments	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired to this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			Staff Comments	<i>N/A – Signage for the public street names is existing, this project does not any other signage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required

				improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A – No streetlights are planned for this project.</i>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval.</i>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Staff have no concerns or issues with the proposed sewer connections at this time. Connections will be revisited at final design, prior to Final Plat approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A – This project is not within the Townsite Overlay (TO) District.</i>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to Final Plat approval. This has been made a Condition of Approval.</i>
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			<i>Staff Comments</i>	<i>All utilities are shown to be installed underground and accessible via easements. The easements shall meet the approval of the City Engineer, this has been made a Condition of Approval.</i>
16.05.070: Parks, Green Space				

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			<i>Staff Comments</i>	<i>See Section 16.04.110 for further detail.</i>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			<i>Staff Comments</i>	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design.</i>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A – The completion of all major infrastructure by the Developer is preferred over bonding.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>As built drawings will be required.</i>
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed subdivision is for single-family cottages that do not include party walls. The Subdivision is also proposed to have a single owner and offer the townhomes as rentals, negating the presence of an HOA. However, the Applicant shall include CC&Rs to address the maintenance of utilities and shared outdoor space in the easements. This has been made a Condition of Approval.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)
			Staff Comments	<i>Vehicular access on the proposed plat directly leads to the cottage units, where garages can be assumed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			Staff Comments	<i>Each single-family cottage unit is required to have two (2) parking spaces, this has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC, and IFC. Each townhouse unit must have separate water, sewer, and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			Staff Comments	<i>The proposed plat complies with this standard. Although the plat indicates municipal services passing through the sublots, they are protected by easements and do not pass through other buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			Staff Comments	<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015)
			Staff Comments	<i>Final approval of the Applicant's Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the Design Review Application associated with Sunny Townhomes Subdivision. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			Staff Comments	<i>This project is subject to the Planned Unit Development Agreement and Final Plat for Phase I of the Sunbeam Subdivision, which identified this cottage lot and requires the development of eighteen (18) cottage units in Phase I of the Sunbeam Development. Per the affiliated PUD Agreement and Final Plat, eight (8) cottage units are proposed on the parcel in question, and the remaining ten (10) cottage units required in Phase I have been approved and will be of a similar size.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only those exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	<i>N/A</i>

Summary and Suggested Conditions: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Preliminary Plat and Final Plat Applications will be forwarded to the Hailey City Council for review.

The following are suggested Conditions of Approval for this Application:

- a. All conditions of the Planned Unit Development approval, dated June 18, 2020, shall be met.
- b. All Fire Department and Building Department requirements shall be met.
 - i. The Applicant shall paint all access aisle curbs with red paint, as well as install signage prohibiting parking alongside the access aisle, g, except in the three (3) designated guest parking spaces shown on site plans.
- c. All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant’s sole expense include, but will not be limited to:
 - i. Permits for the installation of all drywells.
 - ii. Metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
 - iii. The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d. Drainage facilities, grading, driveways, and utility easements shall be reviewed and approved by the City Engineer prior to Final Plat approval.
- e. Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
- f. The Applicant shall dedicate the parking access lane easement. Such dedication shall be noted as a plat note within the Sunny Townhomes Subdivision Plat.
- g. The Applicant shall address the maintenance of utilities and shared outdoor space between townhouse sublots within the subdivision’s CC&R’s.
- h. Runoff shall be collected at the entryway of the subdivision’s parking access lane, within landscaping, and at the parking access lane spur that services Units 1-4 and Unit 8, and storm water will be retained onsite.

- i. The proposed access lane and driveways shall be managed by the owner(s) of the subdivision, accounting for current ownership and any future ownership changes.
- j. All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- k. The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- l. The Final Plat must be submitted within three (3) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m. Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.
- n. The final approval of this Preliminary Plat Application shall be contingent upon Planning and Zoning Commission approval of the subsequent Design Review Application associated with Sunny Townhomes Subdivision.

Motion Language:

Approval: Motion to approve a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District, finding that the application meets all City Standards, and that Conditions (a) through (n) will be met.

Denial: Motion to deny a Preliminary Plat Application by ARCH Community Housing Trust, Inc., wherein one (1) lot is subdivided into eight (8) sublots for cottage townhouse development (SUNBEAM SUBDIVISION PHASE 1 LOT 64 BLK 5). This project is located along the public streets of Gray’s Starlight Drive and Sunbeam Street within the Limited Residential (LR-1) Zoning District., finding that _____ [Council should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Council should specify a date].

SUNNY TOWNHOMES

LOCATED WITHIN: SECTION 10, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M.,
CITY OF HAILEY, BLAINE COUNTY, IDAHO
WHEREIN LOT 64, BLOCK 5, SUNBEAM SUBDIVISION, PHASE 1, IS DIVIDED INTO
TOWNHOUSE SUBLOTS 1-8

JUNE 2023
PRELIMINARY PLAT

SURVEYOR'S NARRATIVE:

- THE PURPOSE OF THIS PLAT IS TO CONVERT LOT 64, BLOCK 5, PHASE 1 OF SUNBEAM SUBDIVISION INTO TOWNHOUSE SUBLOTS AS SHOWN HEREON.
- FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL OR REPLACEMENTS OF ORIGINAL CORNERS.
- DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
- DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
 - A. PLAT OF SUNBEAM SUBDIVISION, PHASE 1, INST. NO. 682301
 - B. PLAT OF STARLIGHT SERENADE TOWNHOMES, INST. NO. 690790

NOTES:

- REFER TO THE ORIGINAL PLAT AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF SUNBEAM SUBDIVISION, PHASE 1, RECORDED AS INSTRUMENT NO'S. 682301 & 682300, FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
- 20' PRIVATE IRRIGATION EASEMENT TO BENEFIT THE SUNBEAM SUBDIVISION H.O.A. (PER PLAT, INST. NO. 682301)
- 10' PUBLIC UTILITY AND SNOW STORAGE EASEMENT (PER PLAT, INST. NO. 682301)
- ALL TOWNHOUSE UNIT OWNERS SHALL HAVE MUTUAL RECIPROCAL EASEMENTS FOR ACCESS, EXISTING AND FUTURE PUBLIC AND PRIVATE UTILITIES INCLUDING, BUT NOT LIMITED TO: WATER, CABLE TV, SEWERAGE, TELEPHONE, NATURAL GAS, AND ELECTRICAL LINES, ROOF AND SITE DRAINAGE OVER, UNDER AND ACROSS THEIR TOWNHOUSE SUBLOTS FOR THE REPAIR, MAINTENANCE AND REPLACEMENT THEREOF.
- PUBLIC UTILITY EASEMENT TO BENEFIT THE CITY OF HAILEY. SNOW STORAGE EASEMENT TO BENEFIT THE SUNNY TOWNHOMES H.O.A.

ZONING: LR-1



* SEE SHEET 2 FOR ADDITIONAL EASEMENTS.

LEGEND

	PROPERTY BOUNDARY
	PROPOSED TOWNHOUSE SUBLOT LINE
	ADJOINING PROPERTY LINE
	EASEMENT (TYPE AND WIDTH AS SHOWN)
	1 FT CONTOUR (EXISTING GRADE)
	EXISTING SEWER LINE
	CENTERLINE OF 18\"/>
	FOR NEW 8\"/>
	NEW SEWER SERVICE AND CLEANOUT
	EXISTING WATER LINE
	CENTERLINE OF 18\"/>
	FOR NEW 8\"/>
	NEW WATER SERVICE AND METER
	EXISTING STORM PIPE
	NEW STORM PIPE
	CONCRETE
	EMERGENCY ACCESS, PUBLIC UTILITY & SNOW STORAGE EASEMENT (SEE SHEET 2 & NOTE 5)
	MEASURED BEARINGS AND DISTANCES
	FOUND 1\"/>
	FOUND 5\"/>
	SET 1\"/>
	SET 5\"/>
	CALCULATED POINT, NOTHING SET
	EXISTING POWER BOX
	NEW POWER BOX
	EXISTING CABLE TV RISER
	NEW CABLE TV RISER
	EXISTING FIRE HYDRANT
	EXISTING SEWER MANHOLE
	NEW SEWER MANHOLE
	EXISTING DRYWELL
	NEW DRYWELL
	EXISTING CATCH BASIN
	NEW CATCH BASIN

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	215.28	370.00	8°58'56\"/>	S 15°39'15\"/>	215.15
C2	57.99	370.00	8°58'56\"/>	S 04°25'30\"/>	57.93
C3	41.72	370.00	6°21'40\"/>	S 14°25'20\"/>	41.70
C4	41.72	370.00	6°21'40\"/>	S 18°38'29\"/>	41.70
C5	115.84	370.00	11°33'56\"/>	S 01°41'16\"/>	115.70
C6	43.84	250.00	10°02'32\"/>	S 02°18'16\"/>	43.79
C7	26.85	250.00	6°31'53\"/>	S 00°00'00\"/>	26.84
C8	26.84	250.00	6°31'53\"/>	S 37°12'24\"/>	26.82
C9	26.33	250.00	0°02'00\"/>	S 23°32'23\"/>	26.32
C10	33.98	250.00	14°24'00\"/>	S 09°00'00\"/>	33.70
C11	1103.11	263.87	226°23'11\"/>	S 18°38'29\"/>	1097.46
C12	39.84	263.87	6°54'11\"/>	S 11°31'44\"/>	39.67
C13	17.32	263.87	18°47'56\"/>	S 01°31'17\"/>	17.26
C14	19.80	370.00	5°05'44\"/>	S 02°00'00\"/>	19.80
C15	13.41	370.00	0°31'40\"/>	S 02°00'00\"/>	13.41
C16	112.26	370.00	1°53'50\"/>	S 32°47'21\"/>	112.26

LINE BEARING	DISTANCE
L1	S 00°01'00\"/>
L2	S 00°01'00\"/>
L3	S 00°01'00\"/>
L4	S 00°01'00\"/>
L5	S 00°01'00\"/>
L6	S 00°01'00\"/>
L7	S 00°01'00\"/>
L8	S 00°01'00\"/>
L9	S 00°01'00\"/>
L10	S 00°01'00\"/>
L11	S 00°01'00\"/>
L12	S 00°01'00\"/>
L13	S 00°01'00\"/>
L14	S 00°01'00\"/>
L15	S 00°01'00\"/>
L16	S 00°01'00\"/>
L17	S 00°01'00\"/>

PREPARED BY:
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P1
PRELIMINARY PLAT

	SUNNY TOWNHOMES SECTION 10, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO PREPARED FOR: ARCH COMMUNITY HOUSING TRUST		
	PROJECT NO. 23004 PRELIMINARY PLAT	DWG BY: ROB DATE: 6/5/2023	CRD: 23004.CRD 23004.DWG

SUNNY TOWNHOMES

LOCATED WITHIN: SECTION 10, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
WHEREIN LOT 64, BLOCK 5, SUNBEAM SUBDIVISION, PHASE 1, IS DIVIDED INTO TOWNHOUSE SUBLOTS 1-8

JUNE 2023
PRELIMINARY PLAT

SURVEYOR'S NARRATIVE:

- THE PURPOSE OF THIS PLAT IS TO CONVERT LOT 64, BLOCK 5, PHASE 1 OF SUNBEAM SUBDIVISION INTO TOWNHOUSE SUBLOTS AS SHOWN HEREON.
- FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL OR REPLACEMENTS OF ORIGINAL CORNERS.
- DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
- DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
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NOTES:

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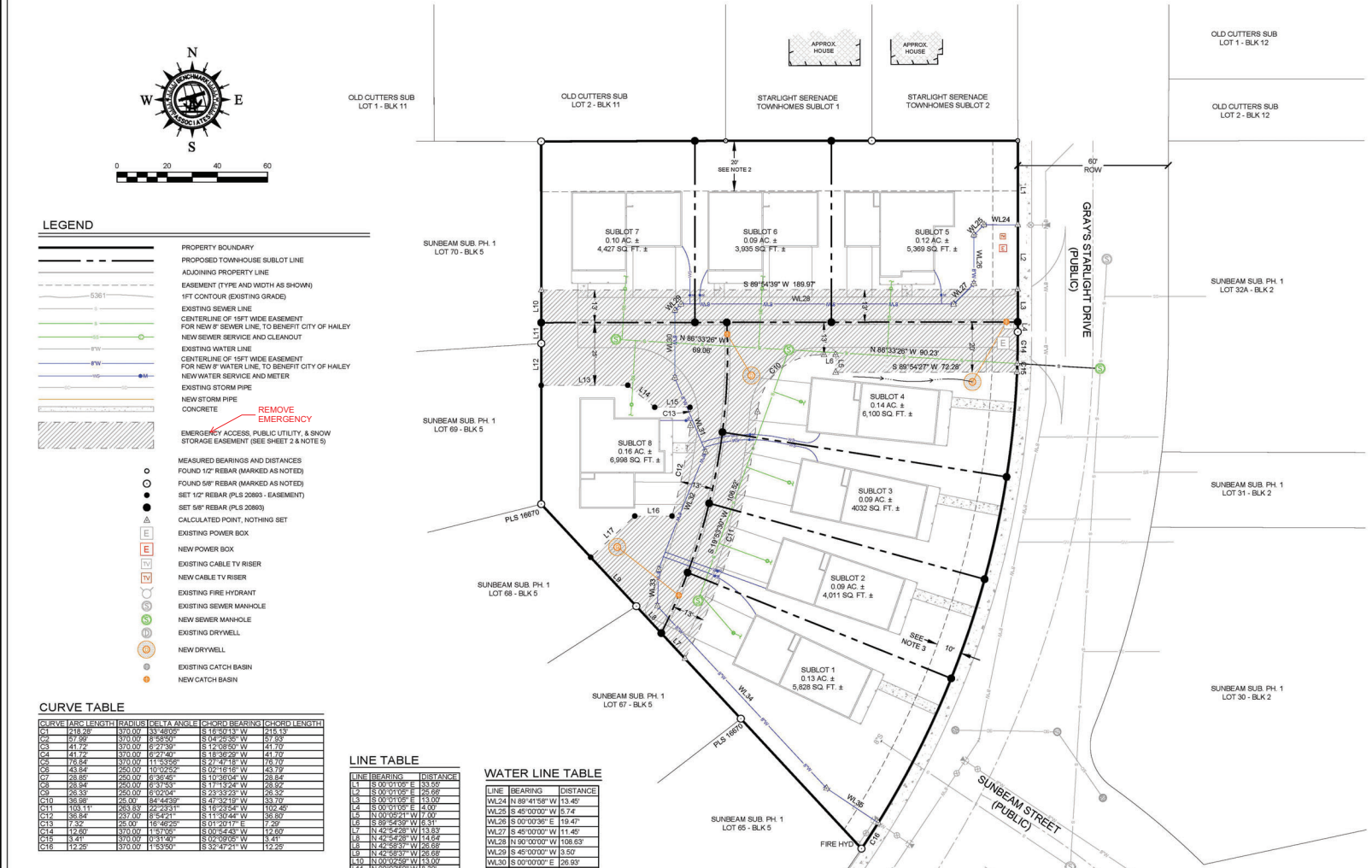
ZONING: LR-1



P2 PRELIMINARY PLAT EASEMENT PLAN

LOCATED WITHIN: SECTION 10, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR: ARCH COMMUNITY HOUSING TRUST

PROJECT NO. 23004	DWG BY: ROB	CRD: 23004.CRD	23004.DWG
PRELIMINARY PLAT	DATE: 6/5/2023		SHEET: 2 OF 2



LEGEND

- PROPERTY BOUNDARY
- - - PROPOSED TOWNHOUSE SUBLOT LINE
- - - ADJOINING PROPERTY LINE
- - - EASEMENT (TYPE AND WIDTH AS SHOWN)
- - - 1FT CONTOUR (EXISTING GRADE)
- - - EXISTING SEWER LINE
- - - CENTERLINE OF 18FT WIDE EASEMENT FOR NEW 8" SEWER LINE, TO BENEFIT CITY OF HAILEY
- - - NEW SEWER SERVICE AND CLEANOUT
- - - EXISTING WATER LINE
- - - CENTERLINE OF 18FT WIDE EASEMENT FOR NEW 8" WATER LINE, TO BENEFIT CITY OF HAILEY
- - - NEW WATER SERVICE AND METER
- - - EXISTING STORM PIPE
- - - NEW STORM PIPE
- - - CONCRETE
- - - REMOVE EMERGENCY
- - - EMERGENCY ACCESS, PUBLIC UTILITY & SNOW STORAGE EASEMENT (SEE SHEET 2 & NOTE 5)
- MEASURED BEARINGS AND DISTANCES FOUND 1/2" REBAR (MARKED AS NOTED)
- FOUND 5/8" REBAR (MARKED AS NOTED)
- SET 1/2" REBAR (PLS 20893 - EASEMENT)
- SET 5/8" REBAR (PLS 20893)
- △ CALCULATED POINT, NOTHING SET
- EXISTING POWER BOX
- NEW POWER BOX
- EXISTING CABLE TV RISER
- NEW CABLE TV RISER
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- NEW SEWER MANHOLE
- EXISTING DRYWELL
- NEW DRYWELL
- EXISTING CATCH BASIN
- NEW CATCH BASIN

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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C3	41.72	370.00	8°58'50"	S 14°25'20" W	41.70
C4	41.72	370.00	8°58'50"	S 18°38'29" W	41.70
C5	113.84	870.00	11°33'56"	S 07°41'46" W	113.70
C6	43.84	250.00	10°02'52"	S 02°18'16" W	43.79
C7	26.85	250.00	0°31'53"	S 00°00'00" W	26.84
C8	26.84	250.00	0°31'53"	S 17°12'24" W	26.82
C9	26.33	250.00	0°32'02"	S 23°32'23" W	26.32
C10	33.98	250.00	0°42'40"	S 29°00'00" W	33.97
C11	1103.11	263.87	226°23'31"	S 18°35'54" W	1102.46
C12	33.94	250.00	0°34'11"	S 11°39'44" W	33.92
C13	17.32	250.00	18°49'26"	S 01°31'17" E	17.30
C14	14.80	370.00	0°31'53"	S 00°00'00" W	14.79
C15	13.41	370.00	0°31'53"	S 02°02'05" W	13.41
C16	112.29	370.00	1°53'20"	S 32°42'21" W	112.29

LINE TABLE

LINE BEARING	DISTANCE
L1	S 00°01'00" E 53.56
L2	S 00°01'00" E 26.86
L3	S 00°01'00" E 13.00
L4	S 00°01'00" E 4.00
L5	N 00°00'00" W 1.00
L6	S 45°00'00" W 5.74
L7	S 00°00'30" E 19.47
L8	S 45°00'00" W 11.46
L9	N 42°54'30" W 14.62
L10	S 45°00'00" W 108.63
L11	S 45°00'00" W 3.50
L12	S 00°00'00" E 26.93
L13	S 22°30'00" E 31.92
L14	N 89°41'58" W 13.45
L15	N 89°41'58" W 50.44
L16	S 00°45'24" E 13.88
L17	N 89°41'58" E 14.46
L18	N 90°00'00" W 14.81
L19	S 42°54'32" E 99.10
L20	S 56°11'17" E 24.73

WATER LINE TABLE

LINE BEARING	DISTANCE
WL1	S 00°01'00" E 53.56
WL2	S 00°01'00" E 26.86
WL3	S 00°01'00" E 13.00
WL4	S 00°01'00" E 4.00
WL5	N 00°00'00" W 1.00
WL6	S 45°00'00" W 5.74
WL7	S 00°00'30" E 19.47
WL8	S 45°00'00" W 11.46
WL9	N 42°54'30" W 14.62
WL10	S 45°00'00" W 108.63
WL11	S 45°00'00" W 3.50
WL12	S 00°00'00" E 26.93
WL13	S 22°30'00" E 31.92
WL14	N 89°41'58" W 13.45
WL15	N 89°41'58" W 50.44
WL16	S 00°45'24" E 13.88
WL17	N 89°41'58" E 14.46
WL18	N 90°00'00" W 14.81
WL19	S 42°54'32" E 99.10
WL20	S 56°11'17" E 24.73



PLANT LEGEND

symbol	quan	description	planted size
	6	Street Tree - Class II (Per Halley Street Tree List) <i>Ashum Blank Maple - Acer x fraxinifolium</i> Thornless Honeylocust - <i>Gleditsia triacanthos</i>	3" Cal.
	8	Medium Sized Deciduous Trees Washington Hawthorn - <i>Crataegus phaeopyrum</i> Crabapple - <i>Malus spp.</i>	2-1/2" Cal.
	10	Evergreen Trees Douglas Fir - <i>Pseudotsuga menziesii var. glauca</i> Colorado Spruce (green) - <i>Picea pungens</i>	10'-12" Height or 2-1/2" Cal.
	37	Small Evergreen Trees Rocky Mountain Juniper - <i>Juniperus scopulorum</i> White Weeping Spruce - <i>Picea glauca 'Pendula'</i> Bristlecone Pine - <i>Pinus contorta</i>	5" Height or 1-1/2" Cal.
	96	Shrub Massing Peking Cotoneaster - <i>Cotoneaster lucida</i> Diable Woodruff - <i>Physocarpus opulifolius 'Diable'</i> Snowmound Spirea - <i>Spiraea x nipponica 'Snowmound'</i> Yor Blackhead Spirea - <i>Spiraea betulifolia 'Yor'</i> Common Snowberry - <i>Symphoricarpos albus</i>	5 Gal.
	91	Ornamental Grasses & Perennials Reed Grass - <i>Calamagrostis x a. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Holcus latifolius sempervirens</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavender - <i>Lavandula</i> Salvia - <i>Salvia divinatorum</i>	1 Gal.
	900	Maintained Grass - 2% of Lot Area	Sod
	3,750	Low Maintenance Grass - 9% of Lot Area <i>Idaho Fescue Blend</i> - Low Water Use	Hydroseed
		Decorative Rock	3" Thick

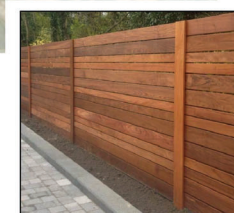
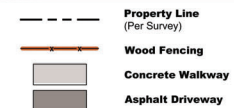
IRRIGATION NOTES

1. Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and rain/freeze sensor for a water wise system.
2. Drip irrigation shall be installed adjacent to buildings and in all planting beds.
3. Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
4. Irrigation supply connected to Sunny Townhomes water system. The point of connection will include an approved backflow prevention device and water meter.

EXISTING TREE LEGEND



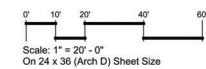
PLAN LEGEND



WOOD FENCING PHOTO EXAMPLE



POLLINATOR PARK PHOTO EXAMPLES



NS
CONSULTING, PLLC

landscape architecture & drone mapping
Nathan Schutte, ASLA
P: 208.320.2911
E: nathanschutte@gmail.com



The designs and concepts shown are the sole property of NS Consulting. The drawings may not be used except with the expressed written consent of NS Consulting, PLLC.

PROJECT
SUNNY TOWNHOMES
Lot 64 Sunbeam Subdivision
Halley, Idaho

DOCUMENT DATE
May 3, 2023
DRAWN BY
Nathan Schutte

REVISION
No. Date Remark

PRELIMINARY
LANDSCAPE
PLAN

L1

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/2025 **DEPARTMENT:** Legal **DEPT. HEAD SIGNATURE:** CPS

SUBJECT: Adoption of Ordinance No. _____, increasing the late payment penalty for water and wastewater utility.

AUTHORITY: x IC Title 50 IAR _____ City Ordinance/Code HMC
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED: This item is a house-keeping task. The City recently undertook a comprehensive review, update and consolidation of fees, touching across all departments. Water and Wastewater fees were included in that new fee schedule update adopted by resolution. The late payment penalty, proposed to be increased from two (\$2.00) dollars to four (\$4.00) dollars, is embedded in the ordinance itself. Before Council, is the simple text amendment verifying that increase in late payment penalty. In order for the increase to commence concurrently with the host of other fee increases it is recommended that the ordinance be adopted, that the first and second reading be waived, that the third reading be had, by title only; and that the ordinance become effective October 1, 2023 after publication of same.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

Budget Line Item # _____ YTD Line Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: _____ Phone # _____
Comments: NA

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

<input checked="" type="checkbox"/> City Attorney	<input checked="" type="checkbox"/> Clerk / Finance Director	<input type="checkbox"/> Engineer	<input type="checkbox"/> Building
<input type="checkbox"/> Library	<input type="checkbox"/> Planning	<input type="checkbox"/> Fire Dept.	<input type="checkbox"/> _____
<input type="checkbox"/> Safety Committee	<input type="checkbox"/> P & Z Commission	<input type="checkbox"/> Police	<input type="checkbox"/> _____
<input type="checkbox"/> Streets	<input type="checkbox"/> Public Works, Parks	<input type="checkbox"/> Mayor	<input type="checkbox"/> _____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to adopt Ordinance No. _____, dispense with the first and second reading and a reading in full; proceed with a third reading, by title only, and publication thereof.

FOLLOW-UP REMARKS:

HAILEY ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF HAILEY AMENDING CHAPTER 13.04 OF THE HAILEY MUNICIPAL CODE, BY AMENDING SECTION 13.04.150(C), WATER AND WASTEWATER USER FEES TO INCREASE THE, DELINQUENCY AND NOTICE: BY INCREASING THE DELINQUENCY FEE FROM TWO DOLLARS (\$2.00) TO FOUR DOLLARS (\$4.00); BY PROVIDING FOR A REPEALER CLAUSE; BY PROVIDING FOR A SEVERABILITY CLAUSE AND BY PROVIDING AN EFFECTIVE DATE AFTER PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Mayor and the City Council of the City of Hailey wish to amend the Hailey Municipal Code to ensure the safety of the City of Hailey water system; and

WHEREAS, the Mayor and City Council find that the amendments to the Chapter will further the public health, safety and general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Section 13.04.150(B), Water and Wastewater User Fees; Delinquency and Notice: of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

C. Water And Wastewater User Fees; Delinquency And Notice: All water and wastewater user fees shall be due and payable to the city clerk on or before the bill closing date of each month's bill and, upon failure to pay within the time as prescribed, each user shall pay, in addition to the amount due, the sum of two dollars (~~\$2.4~~.00) and interest at the rate of twelve percent (12%) per annum.

Section 2. All Ordinances or Resolutions or parts thereof in conflict herewith are hereby repealed and rescinded.

Section 3. If any section, paragraph, sentence or provision hereof or the application thereof to any particular circumstances shall ever be held invalid or unenforceable, such holding shall not affect the remainder hereof, which shall continue in full force and effect and applicable to all circumstances to which it may validly apply.

Section 4. This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL and approved by the Mayor this _____ day of _____, 2023.

Martha Burke, Mayor
City of Hailey

ATTEST:

Mary Cone, City Clerk

Publish: Idaho Mountain Express, _____.

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/23

DEPARTMENT: PW

DEPT. HEAD SIGNATURE: BY _____

SUBJECT: Motion to adopt the Myrtle Street pathway design concept and if the grant is awarded to accept the grant and direct staff to advance final design drawings. **ACTION ITEM**

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IFAPPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

City Council has previously discussed the grant and has taken public comment. Since then, staff held a public workshop and gathered feedback. Staff is now asking council for direction. The grant application has not been awarded.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS: Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: _____ Phone # _____
Comments: _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IFAPPLICABLE)

- | | | |
|---|--|---|
| <input type="checkbox"/> City Administrator | <input type="checkbox"/> Library | <input type="checkbox"/> Benefits Committee |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Mayor | <input type="checkbox"/> Streets |
| <input type="checkbox"/> City Clerk | <input type="checkbox"/> Planning | <input type="checkbox"/> Treasurer |
| <input type="checkbox"/> Building | <input type="checkbox"/> Police | <input type="checkbox"/> Wastewater |
| <input type="checkbox"/> Engineer | <input checked="" type="checkbox"/> Public Works | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Fire Dept. | <input type="checkbox"/> P & Z Commission | <input type="checkbox"/> _____ |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to adopt the Myrtle Street pathway design concept and if the grant is awarded to accept the grant and direct staff to advance final design drawings. **ACTION ITEM**

ACTION OF THE CITY COUNCIL:

Date : _____

City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record *Additional/Exceptional Originals to: _____
Copies (all info.): _____ Copies (AIS only) _____
Instrument # _____

Myrtle Street Reconstruction and Separated Pollinator Pathway

Project Goals:

Improve Safety: Create a larger barrier between vehicles and pedestrians and implement traffic calming measures

Preserve Neighborhood Character: Utilize a design that respects Old Hailey charm with trees, detached sidewalks and neighborhood scale

Connect Neighborhood Pathways: Advance the pathway system that connects our neighborhoods

Provide Environmental Benefit: Expand roadway plantings that increase carbon sequestration, pollinator habitat and heat island mitigation

Increase Placemaking and Comfort: Contribute to the attractiveness, sense of place and walkability of the neighborhood

Design Cost-Effective Solution: Specify a design that takes a responsible approach to the construction and maintenance costs of the roadway

Project element	Pros	Cons	Notes
Reconstruct Roadway	Roadway is very high on Street Department reconstruction maintenance list Reconstruction will improve drainage and extend roadway life	Some citizens prefer the road "as is"	Proposed reconstruction shifts roadway 6' to the south
Separate Pathway by 10'	Proven to be a safer bike/pedestrian user experience. Creates an area large enough to be used for snow storage	Properties on the south side have 21'-6' of Right of Way for parking/landscaping; was previously 27'-6"	

	<p>Creates room to create pollinator pathway</p> <p>Respects Old Hailey character of separated walkways</p> <p>Allows for drainage so water will not pond on the pathway</p>		
Add pollinator plantings and appropriate street trees along the separated pathway	<p>Aligned with the city's sustainability goals</p> <p>Increases carbon sequestration</p> <p>Builds on Old Hailey character</p> <p>Adds to placemaking</p>	Weeds could develop	Some citizens prefer gravel
Add roundabout at 3rd	Will serve to slow down westbound traffic coming down the hill	Will utilize some of the additional 100' public right of way	
Retain Stop sign at Second	Keeps traffic slow in school zone		



CITY OF HAILEY

**MYRTLE STREET &
POLLINATOR PATHWAY**

Design Package
September 25, 2023

GGLO

SEATTLE | LOS ANGELES | BOISE

GOALS

The following set of goals have been identified for the Myrtle Street and Pollinator Pathway improvement project. These goals were developed from a review of public input, existing planning documents, and current conditions. The goals are not ranked in order of importance.

REPLACE DETERIORATING ROADWAY

Implement an improved design when replacing the deteriorating roadway at the end of its lifetime.

IMPROVE SAFETY

Create a larger barrier between vehicles and pedestrians and implement traffic calming measures.

PRESERVE NEIGHBORHOOD CHARACTER

Utilize a design that respects Old Hailey charm with trees, detached sidewalks, and a neighborhood scale.

CONNECT NEIGHBORHOOD PATHWAYS

Advance the pathway system that connects our neighborhoods.

PROVIDE ENVIRONMENTAL BENEFIT

Expand roadway plantings that increase carbon sequestration, pollinator habitat, and heat island mitigation.

INCREASE PLACEMAKING AND COMFORT

Contribute to the attractiveness, sense of place, and walkability of the neighborhood.

DESIGN COST-EFFECTIVE SOLUTION

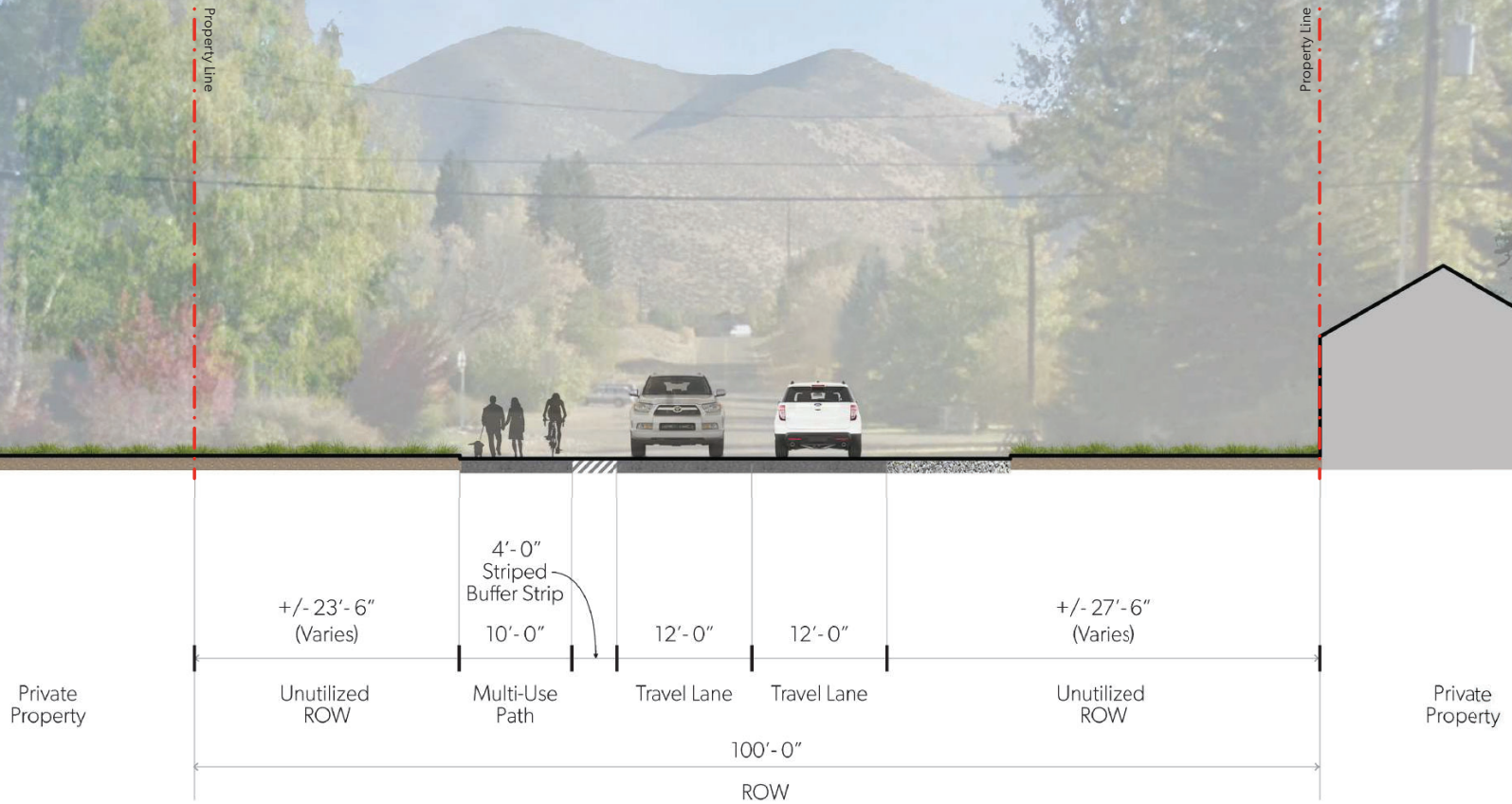
Specify a design that takes a responsible approach to the construction and maintenance costs of the roadway.

MYRTLE STREET CONCEPT PLAN

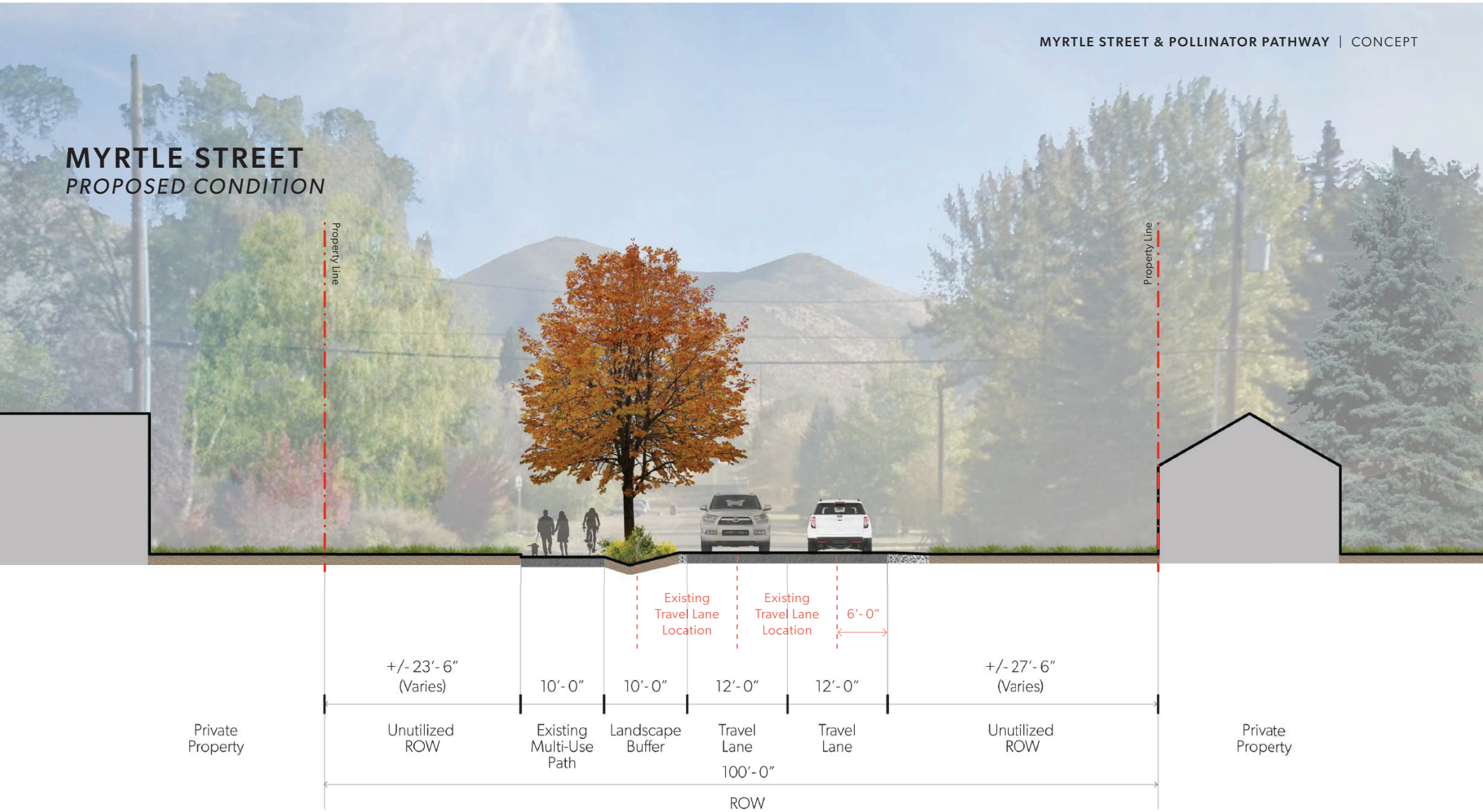
The Myrtle Street and Pollinator Pathway improvement project expands the buffer separating the existing multi-use pathway from the vehicle lanes on Myrtle Street. The existing 4' striped buffer strip of pavement is replaced in this concept with a 10' landscape buffer. This is accomplished by shifting the current vehicle lanes 6' to the southeast. Additionally, a roundabout is proposed for 3rd Avenue to improve safety and circulation. This concept meets the goals outlined for the project.



MYRTLE STREET EXISTING CONDITION



MYRTLE STREET PROPOSED CONDITION



TREE SELECTIONS MYRTLE STREET

The intent of the Downtown Street Tree Selections are to emphasize the distinct character of each Downtown street while also unifying the area with a limited palette of tree species. Large street trees provide shade, create visual interest, sequester carbon, and purify the air. A larger street tree grows a taller canopy that provides all the benefits of a healthy street tree while also ensuring visibility is preserved for business fronts on the ground level. We make the following recommendations for all street trees:

- Incorporation of Silva Cells to support healthy tree growth
- Minimum 5' width planting area with 600 min cubic feet of soil per tree
- Minimum 3" caliper street trees, branched 8' clear
- Minimum 3" of mulch
- Elk protection for first few years

BUR OAK

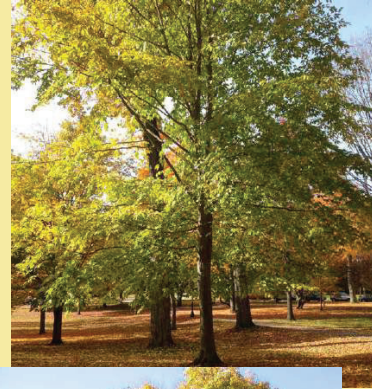


PREFERRED TREE

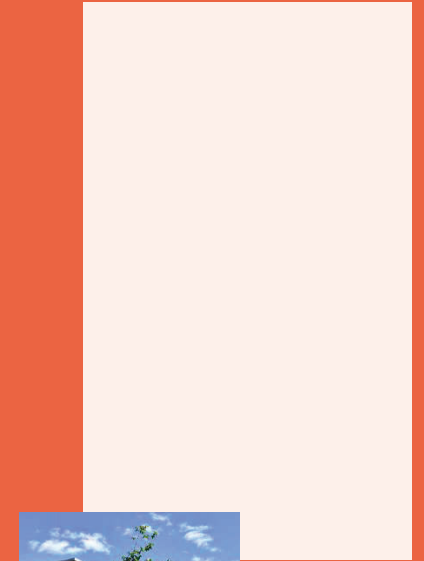
SWAMP WHITE OAK



AMERICAN BEECH



AUTUMN TREASURE HOPHORNBEAM



PLANT SELECTIONS MYRTLE STREET

The Myrtle Street Plant Selections are recommended species for use in the landscape strips within the right-of-way along Myrtle Street. These native plantings have been chosen for their heartiness, drought-tolerance, and ability to survive in Hailey's climate with little to no maintenance. These species also bring pollinators to the area which increases ecosystem health and biodiversity. We make the following recommendations for all planting strips:

- Import soil and mix in compost
- Minimum 3" of mulch for weed control and to keep moisture in the soil
- Use of drip irrigation initially to establish plants
- Source plants from nursery in close proximity and with similar climate
- Use decorative gravel in new plant beds per diagram below:



IDAHO SUNFLOWER



MOONSHINE YARROW



RUSSIAN SAGE



RABBIT BRUSH



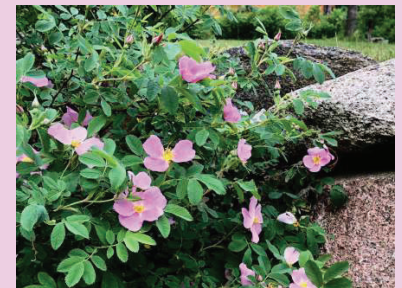
SHEEP FESCUE



SAGEBRUSH SPP.



WOOD'S ROSE



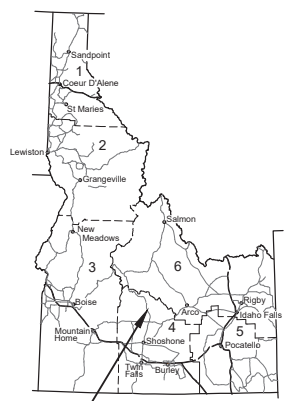
Myrtle Street & Pollinator Pathway
Hailey, ID

GGLO
City of Hailey
Design Package



CITY OF HAILEY PUBLIC WORKS DEPARTMENT

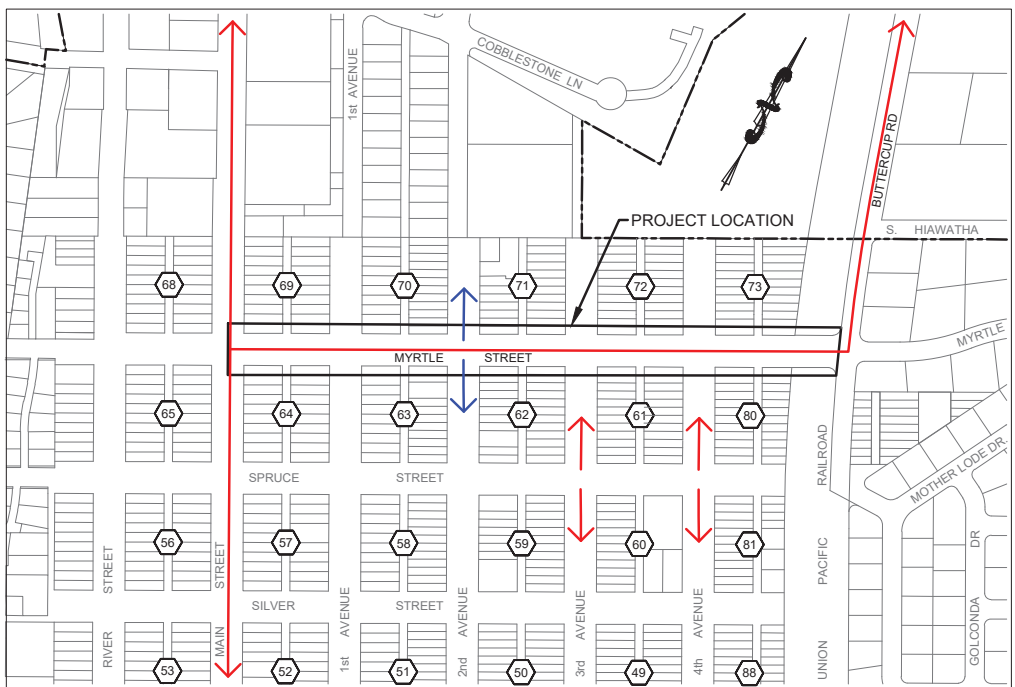
MYRTLE STREET IMPROVEMENTS 2023



**MYRTLE STREET
HAILEY**

← Highway Bypass Route
← Primary School Walk/Bike/Drive Route

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL CONSTRUCTION NOTES
3	LEGEND
4	MATERIAL QUANTITIES
5-9	DETAILS
10-12	DEMOLITION PLANS
13	MYRTLE STREET ALIGNMENT GEOMETRY
14-15	MYRTLE STREET IRRIGATION SUPPLY PLANS
17-19	MYRTLE STREET ROAD PLAN AND PROFILES
20	2ND AVENUE ALIGNMENT GEOMETRY
21	ROUNDBOUT ISLAND GEOMETRY
22	ROUNDBOUT ISLAND GEOMETRY
23	2ND AVENUE ROAD PLAN AND PROFILE
24	ROUNDBOUT DESIGN
25-28	ROUNDBOUT DETAILED GRADING PLANS
29-31	ROAD STRIPING & SIGN INSTALLATION PLANS



**VICINITY MAP
N.T.S.**

No.	Date	Revisions

SCALES SHOWN ARE FOR
 11"x17" SHEETS ONLY

 DRAWING INFORMATION:
 3830-57 Cover&Details 2023-08-15.dwg
 08/29/23 6:22:45 AM



CITY OF HAILEY

**CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT**

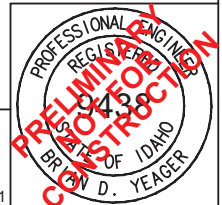
1500 CONVENT STREET, SUITE 100
HAILEY, IDAHO 83401

**GALENA - BENCHMARK
ENGINEERING**



MYRTLE STREET IMPROVEMENTS 2023

TITLE SHEET



GENERAL CONSTRUCTION NOTES

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE OR COORDINATE THE RELOCATION OF ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) AND APPROPRIATE UTILITY OWNERS TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE CITY OF HAILEY MOBILITY DESIGN CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS AND THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND HAILEY STANDARD DRAWINGS AND SPECIFICATIONS ON SITE DURING CONSTRUCTION. WHERE DUPLICATE STANDARDS EXIST THE MORE STRINGENT STANDARDS SHALL TAKE PRECEDENCE.
3. WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH CITY OF HAILEY MOBILITY DESIGN CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS. NO WATER MAIN OR SERVICES SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SHALL CHECK WITH THE CITY OF HAILEY FOR PERMITS THE OWNER MAY ALREADY HAVE OBTAINED.
6. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
7. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201 AND CITY OF HAILEY STANDARD 18.12.010 EXCAVATION AND BACKFILL.
8. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202 AND CITY OF HAILEY STANDARD SPECIFICATION 18.12.010 EXCAVATION AND BACKFILL. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER PER ISPCW SECTION 204. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL 2" MINUS CRUSHED AGGREGATE SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802, COMPACTED PER ISPCW SECTION 202 AND THE CITY OF HAILEY STANDARD SPECIFICATION 18.08.012 TWO INCH SUB-BASE COURSE. 2" MINUS CRUSHED AGGREGATE MATERIAL SHALL CONFORM TO ISPCW SECTION 802 TYPE II AND TO THE CITY OF HAILEY STANDARD SPECIFICATION 18.08.012 TWO INCH SUB-BASE COURSE. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
11. ALL 3/4" MINUS CRUSHED AGGREGATE SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802, COMPACTED PER ISPCW SECTION 202 AND TO THE CITY OF HAILEY STANDARD SPECIFICATION 18.08.014 3/4 INCH CRUSHED AGGREGATE BASE COURSE. 3/4" MINUS CRUSHED AGGREGATE FOR LEVELING COURSE SHALL CONFORM TO ISPCW TABLE 802 TYPE I AND TO THE CITY OF HAILEY STANDARD SPECIFICATION 18.08.014 3/4 INCH CRUSHED AGGREGATE BASE COURSE. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
12. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT AND TO THE CITY OF HAILEY STANDARD SPECIFICATION 18.08.016 PLANT MIX PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805. FOG COAT SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 813.
13. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT A MINIMUM OF 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PAVEMENT SHALL BE CUT PRIOR TO PAVING TO PREVENT DAMAGE TO THE CUT EDGE.
14. ALL PORTLAND CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION 706 AND THE CITY OF HAILEY STANDARDS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL SHALL CONFORM WITH MUTCD, ISPCW, AND CITY OF HAILEY STANDARDS AND SPECIFICATIONS.
16. BOUNDARY INFORMATION IS BASED ON FOUND MONUMENTATION. PLEASE REFER TO THE OFFICIAL RECORDED MAP OF ORIGINAL HAILEY TOWNSITE. GALENA ENGINEERING INC. HAS NOT RECEIVED A TITLE POLICY FROM THE CLIENT AND HAS NOT BEEN REQUESTED TO OBTAIN ONE. RELEVANT INFORMATION THAT MAY BE CONTAINED WITHIN A TITLE POLICY MAY THEREFORE NOT APPEAR ON THIS MAP AND MAY AFFECT ITEMS SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CLIENT TO DETERMINE THE SIGNIFICANCE OF THE TITLE POLICY INFORMATION AND DETERMINE WHETHER IT SHOULD BE INCLUDED. IF THE CLIENT DESIRES FOR THE INFORMATION TO BE INCLUDED THEY MUST FURNISH SAID INFORMATION TO GALENA ENGINEERING, INC. AND REQUEST IT BE ADDED TO THIS MAP.
17. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. TESTING LOCATION AND FREQUENCY SHALL MEET ISPCW AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.

No.	Date	Revisions

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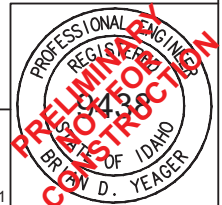


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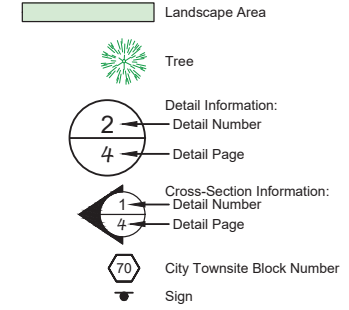
MYRTLE STREET IMPROVEMENTS 2023

GENERAL CONSTRUCTION NOTES



- Existing Items**
- Property Line
 - Centerline
 - Concrete Curb & Gutter
 - Building/Structure Line
 - EOA - Approximate Edge of Asphalt
 - Gravel Drive
 - Fence Line
 - Retaining Wall
 - Sign
 - Mailbox
 - Conifer Tree
 - Deciduous Tree
 - Bush
 - Gas Marker
 - Telephone Riser
 - Storm Drain
 - Catch Basin
 - Drywell
 - Storm Drain Manhole
 - Utility Pole
 - Guy wire
 - Sewer Cleanout
 - Sewer Manhole
 - Water Main
 - Water Valve
 - Water Meter
 - Fire Hydrant
 - Water Main Vault

- Proposed Items**
- Rotomilled Asphalt
 - Clearing and Grubbing
 - Approximate Limits of Disturbance
 - Sawcut Line
 - Shrub / Bush Removed
 - Truncated Dome Removed
 - Sign Removed
 - Catch Basin Removed
 - Drywell Removed
 - Baseline of Alignment
 - 6' Vertical Curb & Gutter
 - Zero Reveal Curb & Gutter
 - Curb Transition
 - Curb Transition
 - Vertical Curb
 - Asphalt
 - Concrete Sidewalk
 - Concrete Traffic Islands
 - Paver Edging
 - 5' Contour Interval
 - 1' Contour Interval
 - Truncated Dome
 - Storm Drain
 - Catch Basin
 - Drywell
 - Borrow Ditch Flow Line
 - Irrigation Line
 - Tapping Saddle
 - Water Valve
 - Irrigation Meter
 - Irrigation Backflow Device
 - Irrigation Control Valve
 - Blow-off Hydrant
 - Bicycle Intersection Crossing / Commercial Driveway Conflict Marking
 - Paint: White 24" Wide Stop Bar
 - Paint: 24" Wide Bars (Continental Striping Crosswalk)
 - Paint: White 4" Wide Parking Striping
 - ADA Parking Space w/ Symbol and Access Aisle
 - Paint: White Right Turn Symbol
 - Paint: White 6" Wide Stripe
 - Paint: White Straight / Left Turn Symbol
 - Paint: Yellow Single 4" Wide Striping
 - Paint: Yellow Double 4" Wide Striping
 - Paint: White Single 4" Wide Striping
 - Paint: White 4" Wide Skip Bikepath Striping
 - Paint: Bikepath Lane Symbol



- ABBREVIATIONS**
- BEG = BEGINNING
 - BFW = BOTTOM FACE OF WALK
 - BOW = BACK OF WALK
 - CB = CATCH BASIN
 - CC = CURB CUT
 - CL = CENTERLINE
 - DWELL = DRYWELL
 - EG = EXISTING GRADE
 - HP = HIGH POINT
 - I.E. = INVERT ELEVATION
 - LIP = LIP OF GUTTER
 - MID = MIDPOINT
 - PC = POINT OF CURVATURE
 - PCC = POINT OF COMPOUND CURVE
 - PI = POINT OF INTERSECTION
 - POC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURVE
 - PT = POINT OF TANGENCY
 - TA = TOP OF ASPHALT
 - TBC = TOP BACK OF CURB
 - TBW = TOP BACK OF WALK
 - TC = TOP OF CONCRETE

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MYRTLE STREET IMPROVEMENTS 2023

LEGEND

PROFESSIONAL ENGINEER
REG. NO. 2453
BRAD D. YEAGER
STATE OF IDAHO
PRELIMINARY
CONSTRUCTION

MATERIAL ITEMS LIST		
ITEM	UNIT	QUANTITY
Contractor mobilization	ls	1
Traffic control and detours	ls	1
Erosion and Sediment Control	ls	1
Construction Survey		
- - DEMOLITION - -		
Sawcut asphalt	lf	1,533
Rotomilled Asphalt	sy	8,618
Site clearing and grubbing	sy	4,153
Remove stop sign and return to City	ea	4
Remove & retain sign. To be re-installed	ea	2
Truncated Dome and Concrete Removal	sf	48
Remove and Dispose of Drywell	ea	1
Remove and Dispose of Catch Basin	ea	1
Remove and Dispose of Storm Drain Line	lf	22
Excavation	cy	97
- - IRRIGATION - -		
Connection at water main. Includes 2" gate valve, 2" meter, 2" high hazard backflow device and housing structure.	ea	1
Irrigation control valve with winterizing blow-out valve	ea	10
2" HDPE Irrigation Line	lf	1,304
Landscape tree with silva cell assembly	ea	16
Landscape grasses and top soil	sy	936
- - STREET IMPROVEMENTS - -		
ITD SP-3 HMA, 1/2" gradation, PG58-28 (3" compacted depth)	cy	738
Concrete curb and gutter (Type I)	lf	268
Concrete curb transition (6" rolled to zero reveal)	lf	135
Concrete zero reveal curb and gutter	lf	60
Concrete curb transition (island noses)	sf	142
Concrete paver boundary (24" wide)	lf	134
Concrete 6" vertical curb (mountable)	lf	409
Construct concrete sidewalk (5' wide): Flat work	sy	77
Construct concrete Island: Flat work	sy	211
2"(-) crushed aggregate subbase (6" compacted depth)	cy	374
3/4"(-) crushed aggregate base (4" compacted depth)	cy	1,046
Cast Iron Truncated Dome Detectable Warning Insert	sf	240
Paver edging	sf	268
Reset utility box lid elevation	ea	16

MATERIAL ITEMS LIST		
ITEM	UNIT	QUANTITY
- - STORM SYSTEM - -		
Catch basin	ea	5
12" storm drain pipe	lf	196
Drywell	ea	4
- - PAVEMENT STRIPING - -		
white continental crosswalk bars	ea	10
Thermoplastic crosswalk/stop bar, 24" wide	lf	45
6" white lane control	lf	100
white-traffic channelization symbol-right turn	ea	2
white-traffic channelization symbol-straight w/ left turn	ea	2
4" yellow - double line	lf	1,426
green continental crosswalk bars w/ black edging	ea	35
4" white - single line	lf	346
4" blue ADA parking - single line	lf	99
Blue ADA parking space symbol	ea	1
4" yellow - single line	lf	652
4" white - single line skip BP lane	lf	253
white-bike path only lane symbol w/ arrow	ea	2
12" white crosswalk striping	lf	46
- - ROAD SIGNAGE - -		
New sign posts	ea	21
Mount previously removed signs. 1ea 15 MPH Speed limit,		
White 15 MPH Sign	ea	1
Stop Sign	ea	1
Mount new signs		
Pedestrian Crossing	ea	6
Down Left Arrow	ea	6
Traffic Circle	ea	4
Yellow 15 MPH Sign	ea	4
Yield Sign	ea	4
Street Name with Direction Arrow	ea	4
Divided Highway Sign	ea	1

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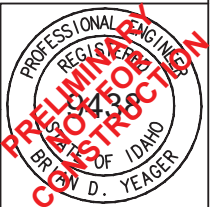
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ENGINEERING

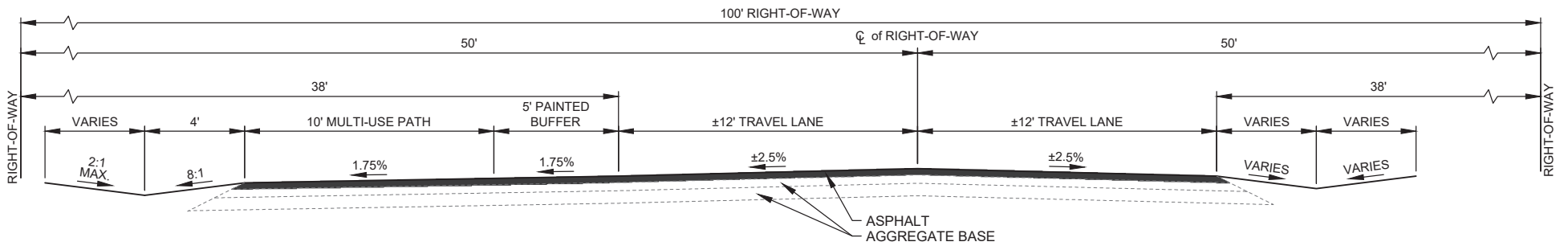


MYRTLE STREET IMPROVEMENTS 2023

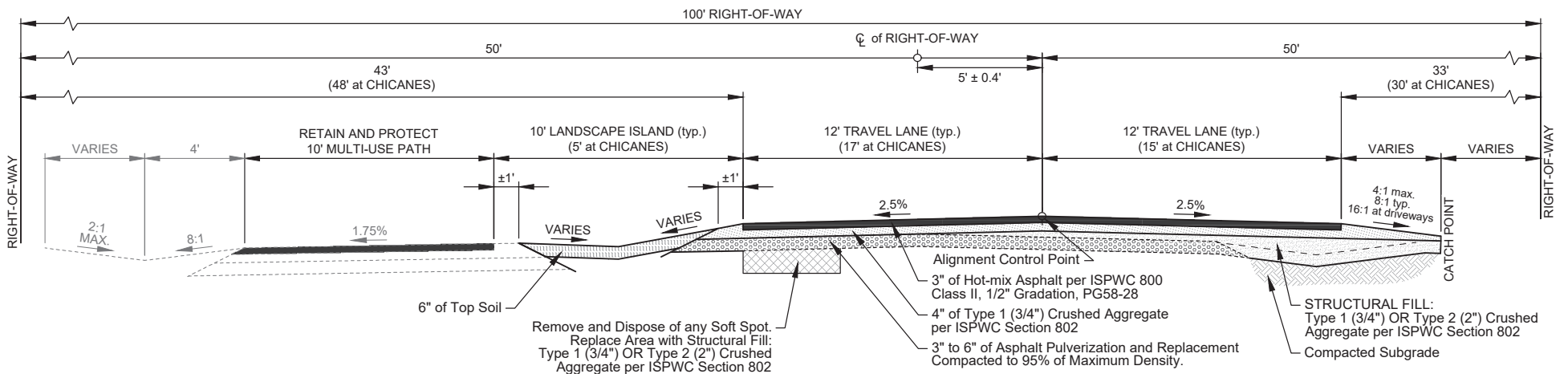
APPROXIMATE MATERIAL QUANTITIES

04 of 31





1
05 **EXISTING MYRTLE STREET TYPICAL SECTION (MAIN ST. TO 4TH ST)**
N.T.S.



2
05 **PROPOSED MYRTLE STREET TYPICAL SECTION (MAIN ST. TO 4TH ST)**
N.T.S.

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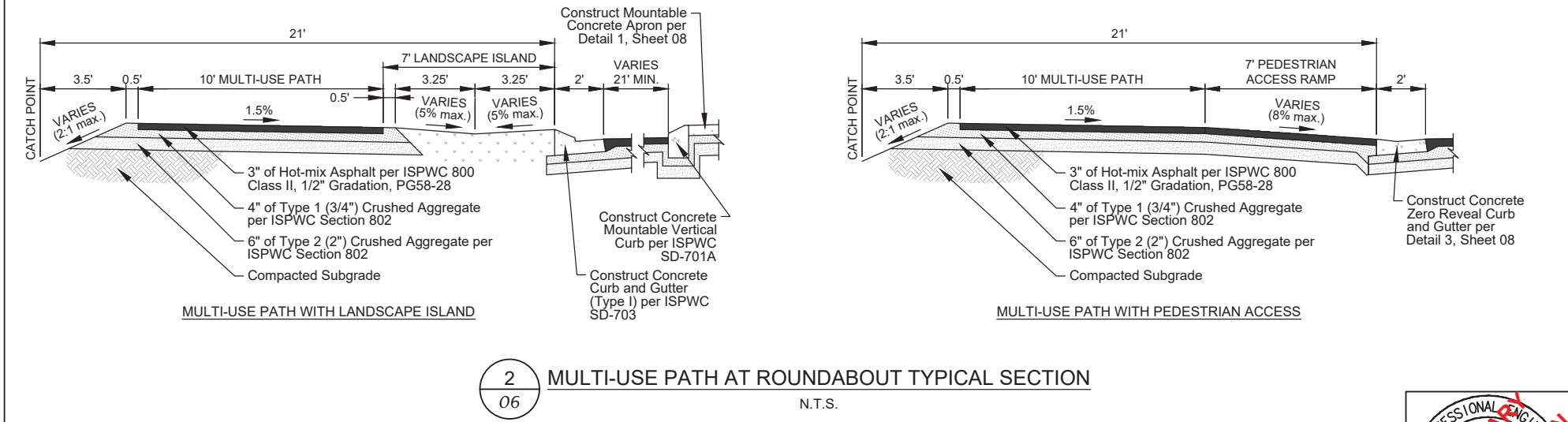
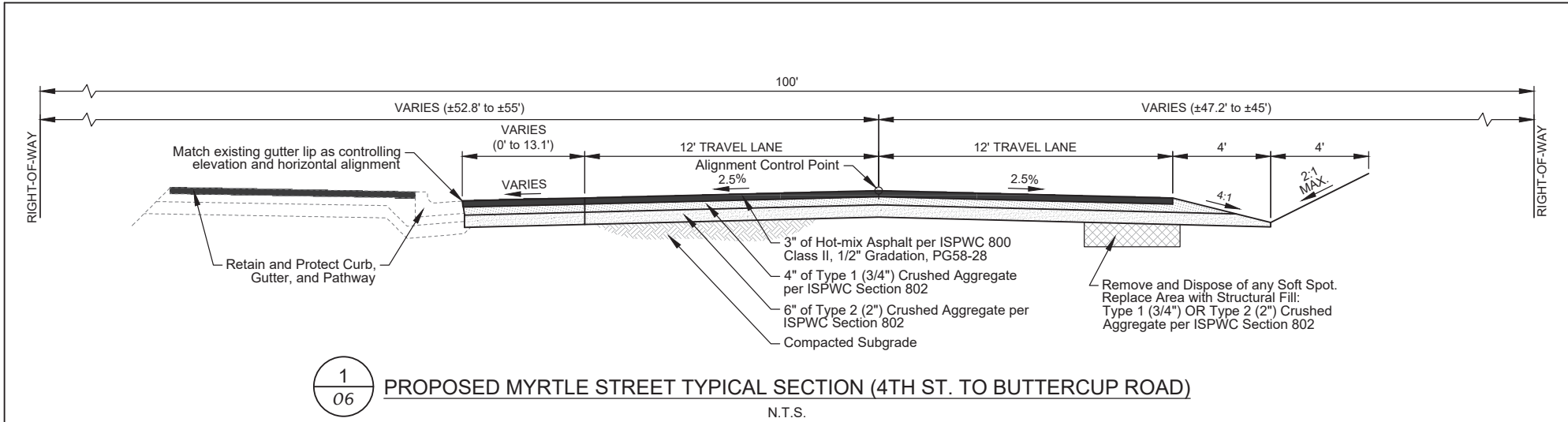
TYPICAL SECTIONS

8453

PROFESSIONAL ENGINEER
REG. NO. 2453
STATE OF IDAHO
DREW D. YEAGER

PRELIMINARY
CONSTRUCTION

05 of 31



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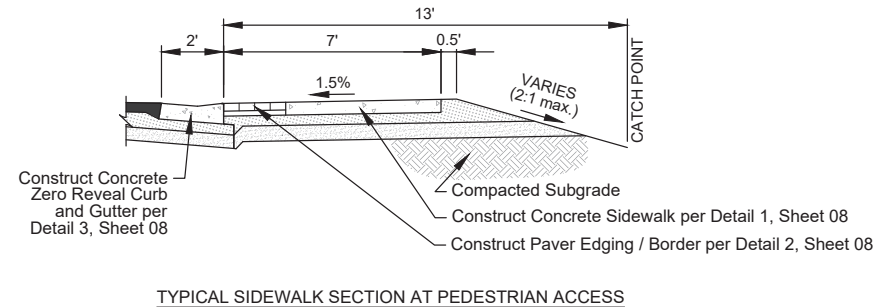
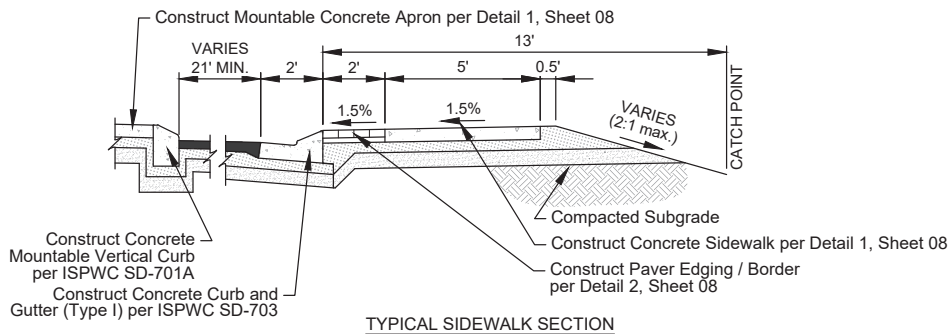
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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
BENCHMARK ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023

TYPICAL SECTION

06 of 31

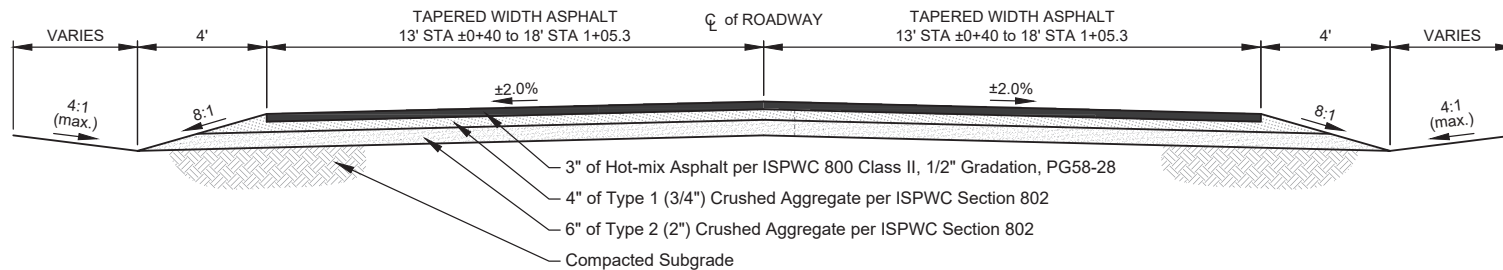




1
07

TYPICAL CONCRETE SIDEWALK SECTION AT ROUNDABOUT

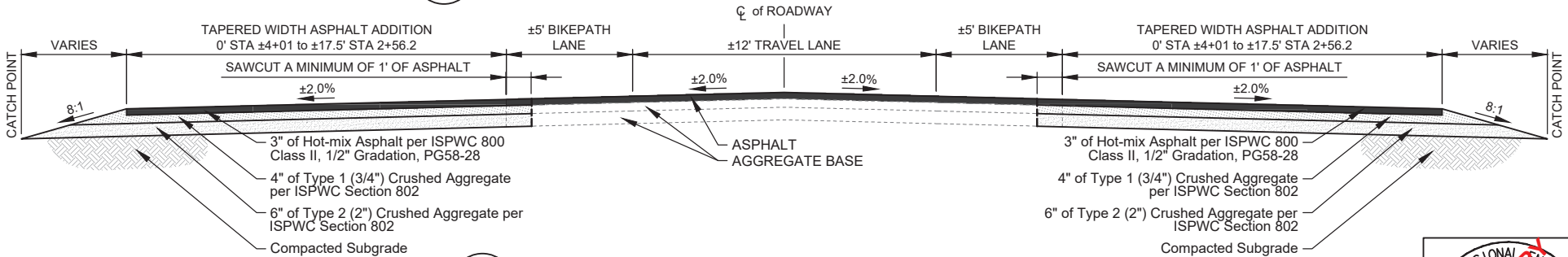
N.T.S.



2
07

2ND AVENUE STREET RECONSTRUCTION SECTION

N.T.S.



3
07

2ND AVENUE STREET WIDENING SECTION

N.T.S.

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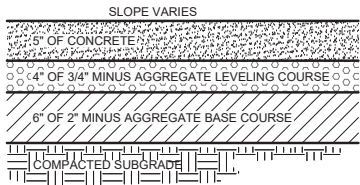
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TYPICAL SECTION

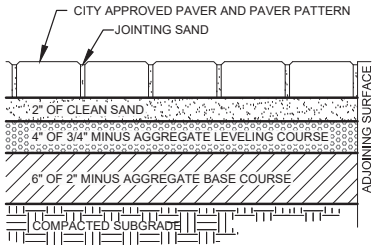
07 of 31



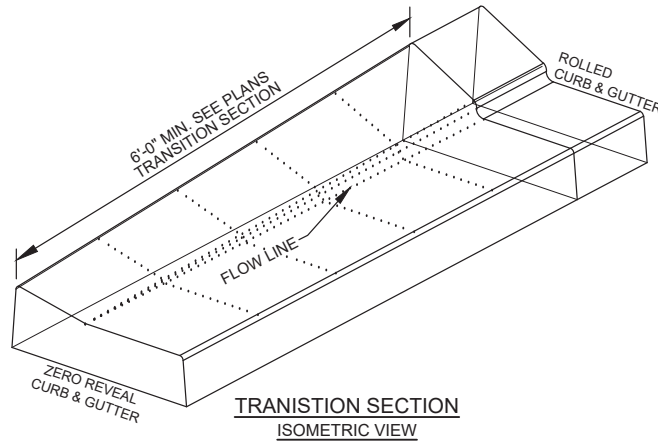
NOTES:

1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
2. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 3/4" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
6. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

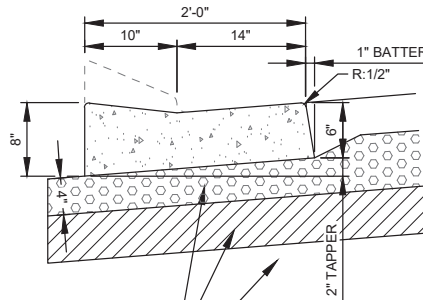
1
08 **TYPICAL CONCRETE SECTION**
N.T.S.



2
08 **PAVER DETAIL**
N.T.S.



TRANSITION SECTION
ISOMETRIC VIEW



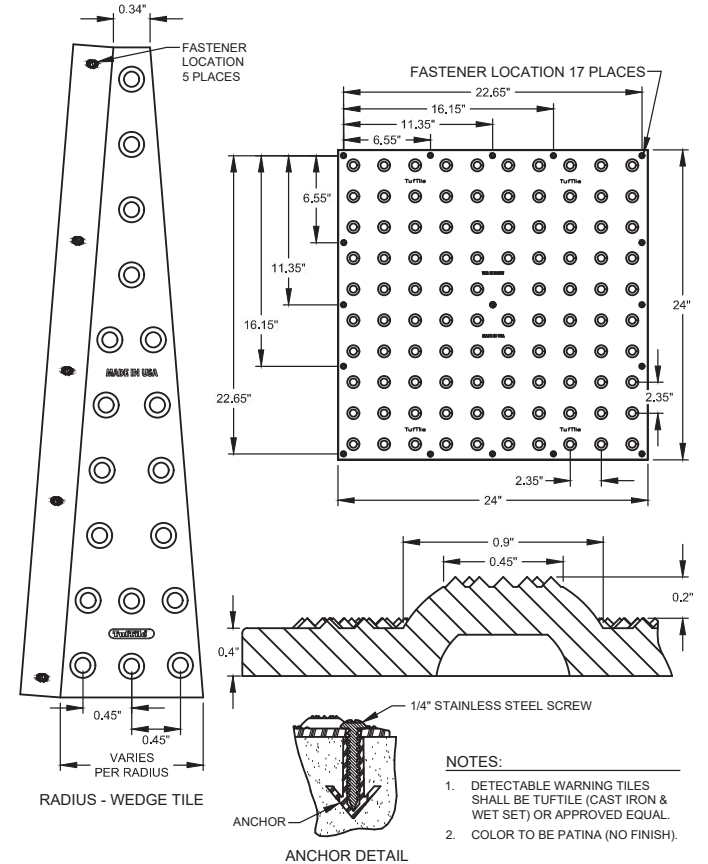
4" OF 3/4" MINUS GRAVEL LEVELING COURSE
6" OF 2" MINUS GRAVEL BASE COURSE
COMPACT SUBGRADE TO 95% STANDARD PROCTOR

ZERO REVEAL CURB & GUTTER

NOTES:

1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
2. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
3. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

3
08 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



NOTES:

1. DETECTABLE WARNING TILES SHALL BE TUF TILE (CAST IRON & WET SET) OR APPROVED EQUAL.
2. COLOR TO BE PATINA (NO FINISH).

4
08 **DETECTABLE WARNING PLATE**
N.T.S.

No.	Date	Revisions

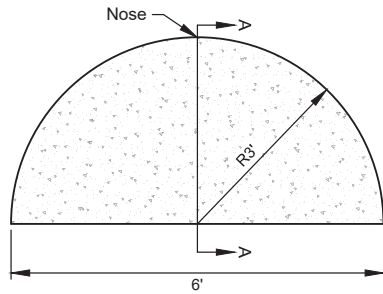
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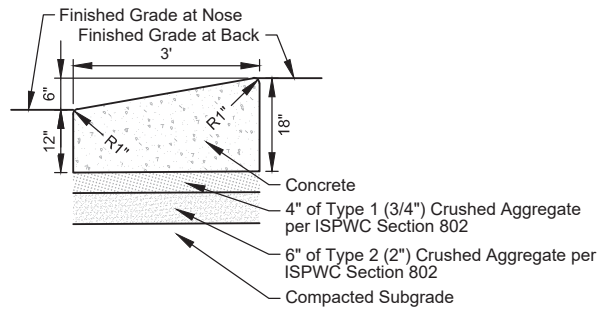
MYRTLE STREET IMPROVEMENTS 2023

DETAIL SHEET

PROFESSIONAL ENGINEER
REG. IN IDAHO
2453
PRELIMINARY CONSTRUCTION
DR. D. YEAGER



PLAN VIEW



CROSS-SECTION A-A

1
09

NOSE SECTION OF TRAFFIC ISLAND

N.T.S.

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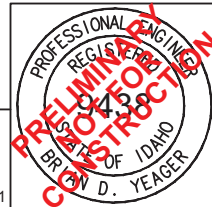
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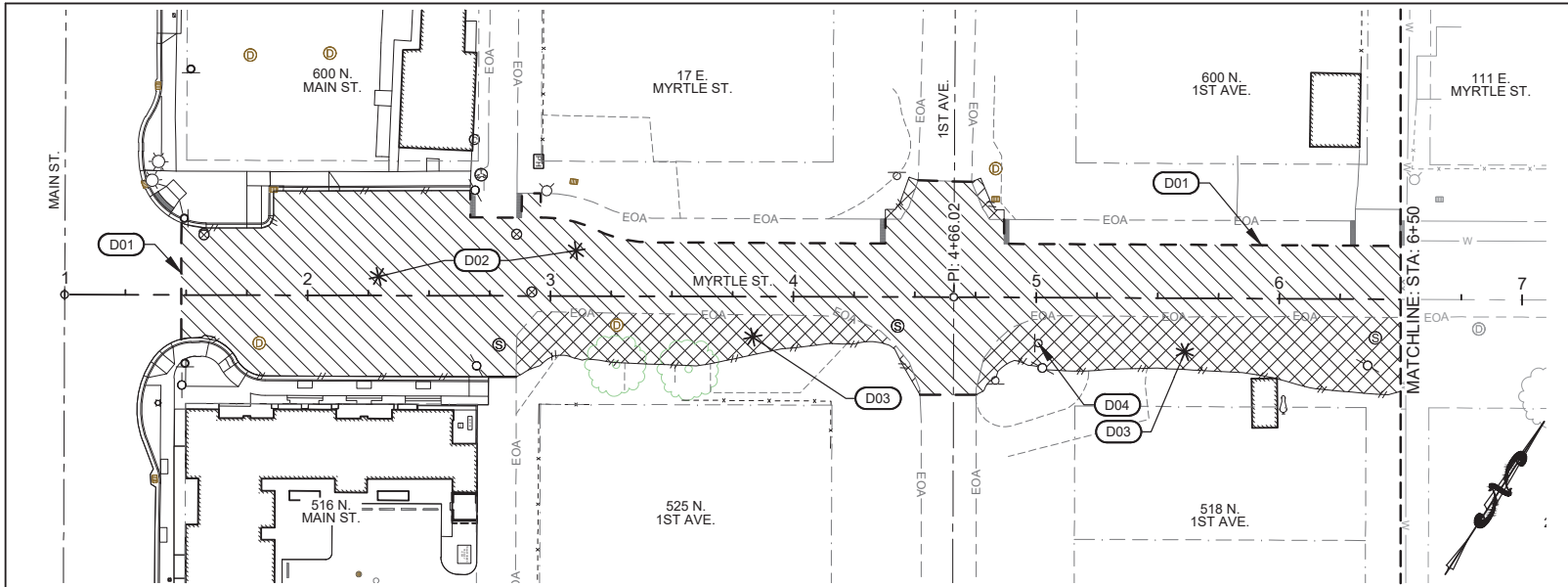


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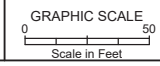
DETAIL SHEET

09 of 31





- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- D02 ROTOMILL ASPHALT IN PLACE (ASPHALT PULVERIZATION). MATERIAL TO BE USED AS BASE FOR ROAD RECONSTRUCTION AND STRUCTURAL FILL.
- D03 SITE CLEARING AND GRUBBING.
- D04 REMOVE AND RETAIN 15 MPH SIGN. SIGN TO BE REUSED.
- A RETAIN AND PROTECT ALL UTILITY LIDS, RISERS, BOXES, VAULTS, POWER POLES, AND SIGNS UNLESS OTHERWISE SPECIFIED. RETAIN AND PROTECT ALL CONCRETE CURB AND GUTTER AND PCC CONCRETE SIDEWALK.



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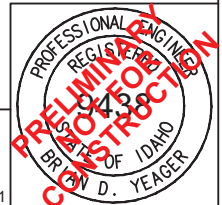
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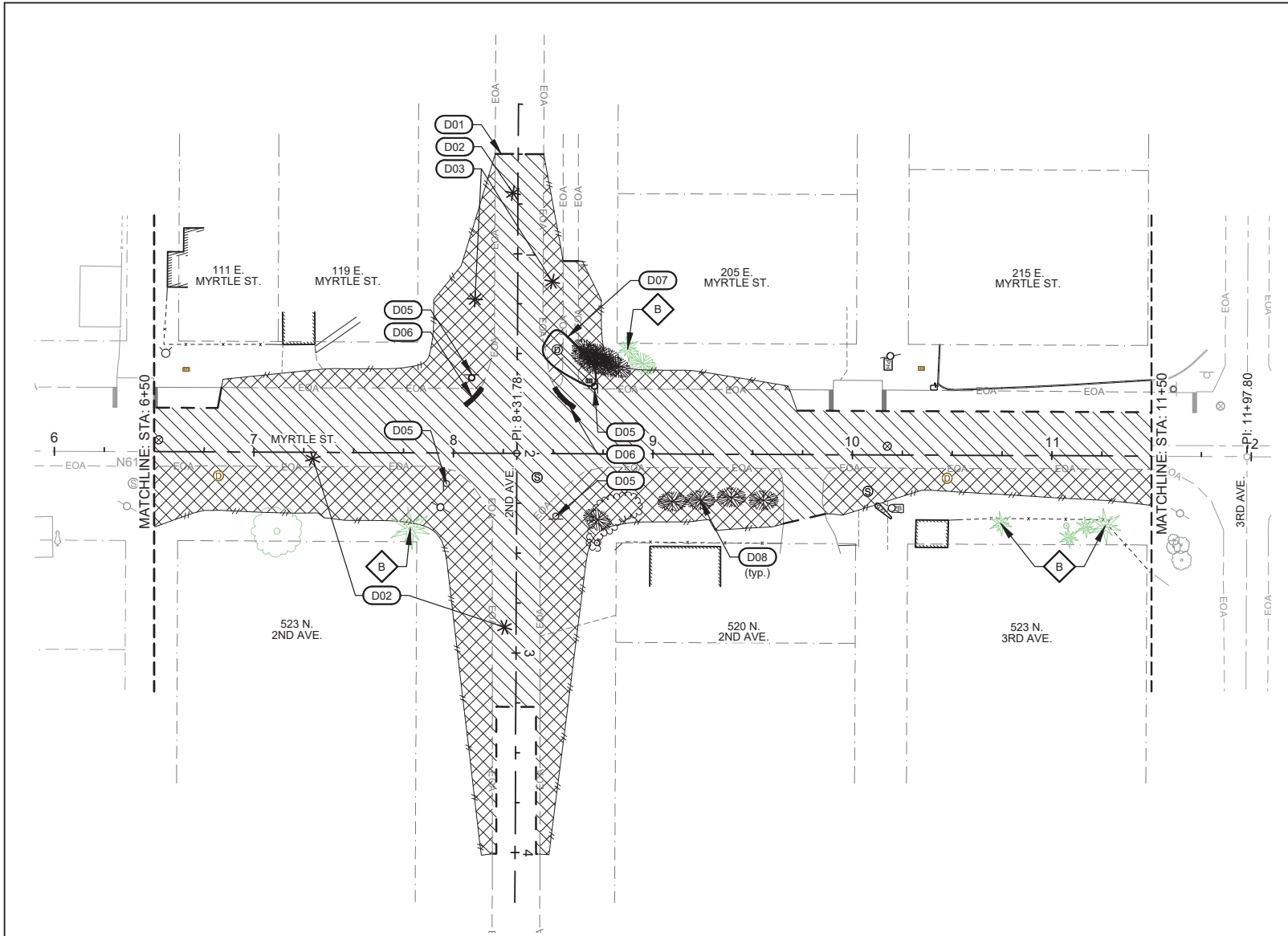


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CITY OF HAILEY PUBLIC WORKS DEPARTMENT
In cooperation with
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MYRTLE STREET IMPROVEMENTS 2023
DEMOLITION PLAN
STA: 1+00 TO STA 6+50





- (D01) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- (D02) ROTOMILL ASPHALT IN PLACE (ASPHALT PULVERIZATION). MATERIAL TO BE USED AS BASE FOR ROAD RECONSTRUCTION AND STRUCTURAL FILL.
- (D03) SITE CLEARING AND GRUBBING.
- (D05) REMOVE STOP SIGN AND RETURN TO CITY
- (D06) REMOVE AND DISPOSE OF TRUNCATED DOMES.
- (D07) REMOVE AND DISPOSE OF STORM SYSTEM. INCLUDES CATCH BASIN, STORM DRAIN, AND DRYWELL.
- (D08) REMOVE AND DISPOSE OF SHRUB, BUSH, OR TREE AND ROOT BALL.
- ◇ A RETAIN AND PROTECT ALL UTILITY LIDS, RISERS, BOXES, VAULTS, POWER POLES, AND SIGNS UNLESS OTHERWISE SPECIFIED. RETAIN AND PROTECT ALL CONCRETE CURB AND GUTTER AND PCC CONCRETE SIDEWALK.
- ◇ B RETAIN AND PROTECT TREE.

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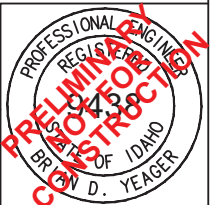
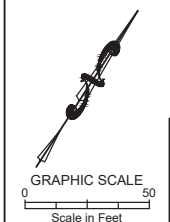


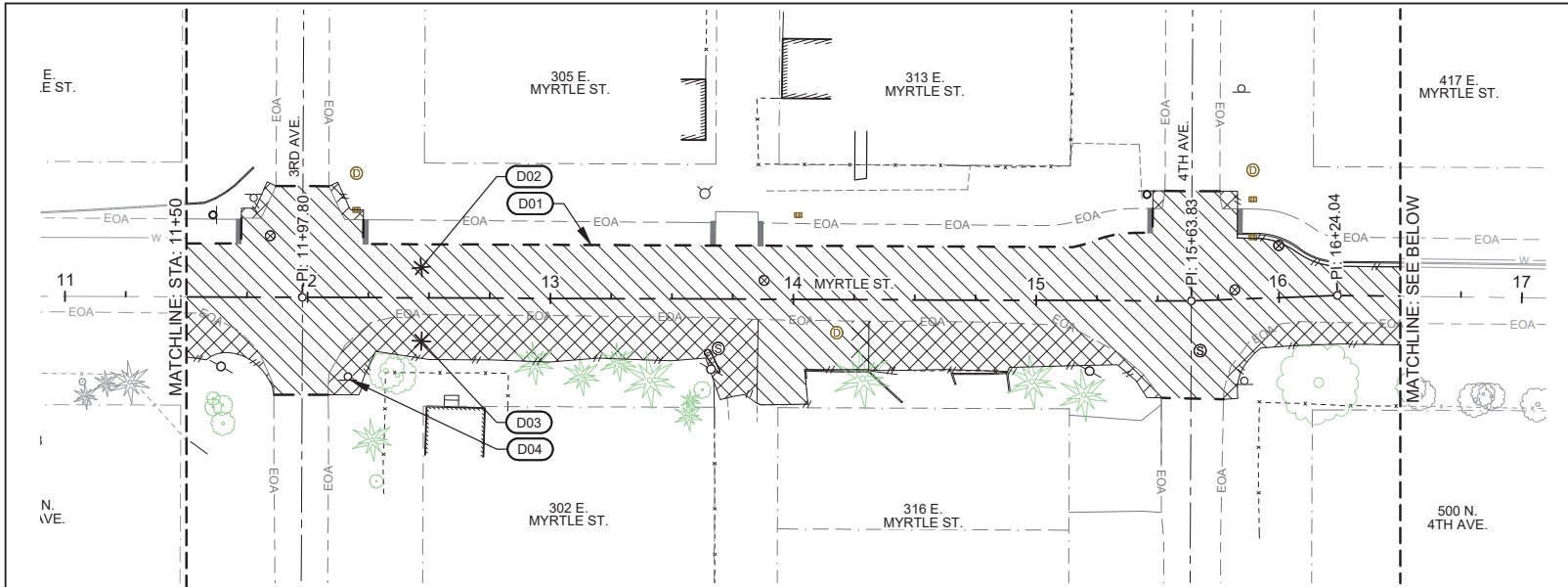
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PUBLIC WORKS DEPARTMENT



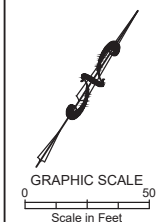
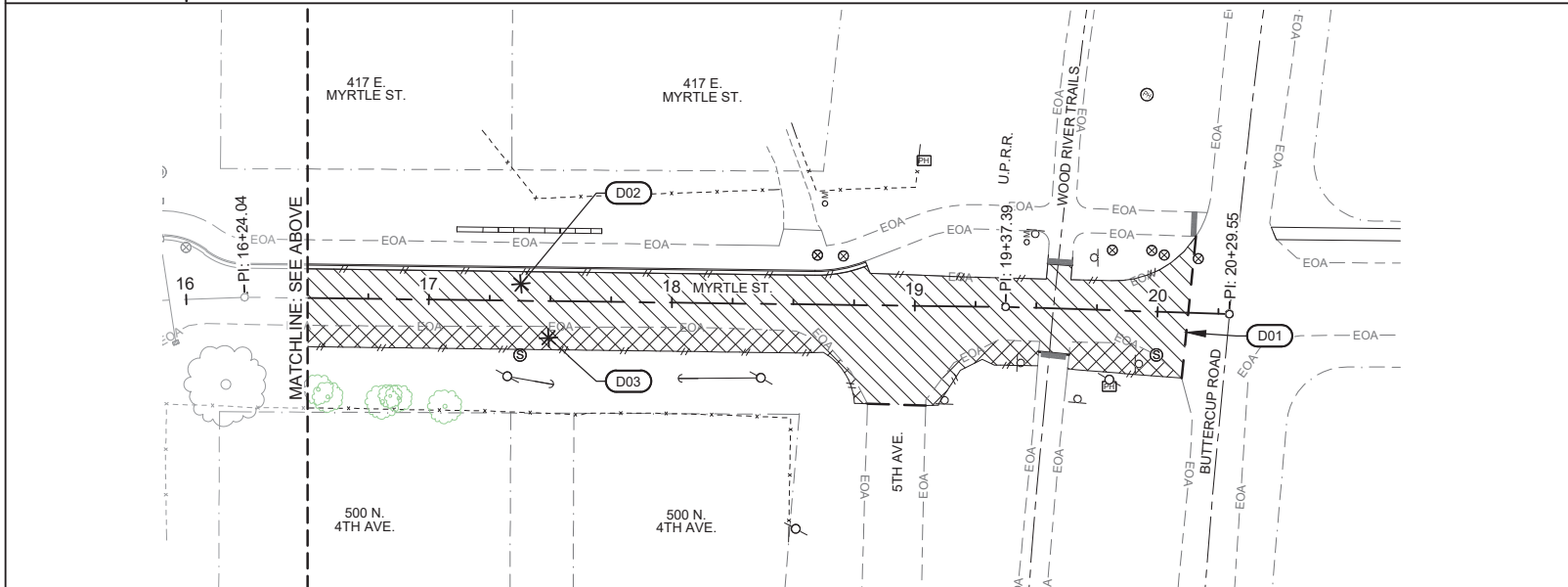
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BENCHMARK ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023 DEMOLITION PLAN STA: 6+50 TO STA 11+50





- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- D02 ROTOMILL ASPHALT IN PLACE (ASPHALT PULVERIZATION). MATERIAL TO BE USED AS BASE FOR ROAD RECONSTRUCTION AND STRUCTURAL FILL.
- D03 SITE CLEARING AND GRUBBING.
- D04 REMOVE AND RETAIN STOP SIGN. SIGN TO BE REUSED.
- A RETAIN AND PROTECT ALL UTILITY LIDS, RISERS, BOXES, VAULTS, POWER POLES, AND SIGNS UNLESS OTHERWISE SPECIFIED. RETAIN AND PROTECT ALL CONCRETE CURB AND GUTTER AND PCC CONCRETE SIDEWALK.



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FOR CONSULTATION ONLY

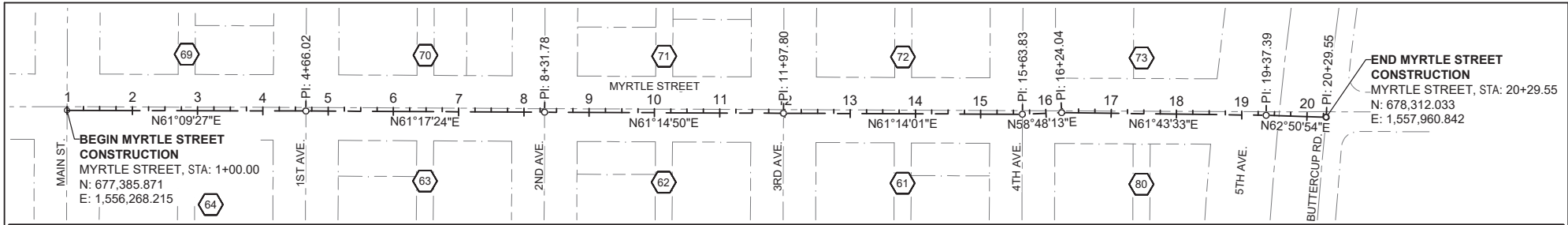
GALENA BENCHMARK ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023

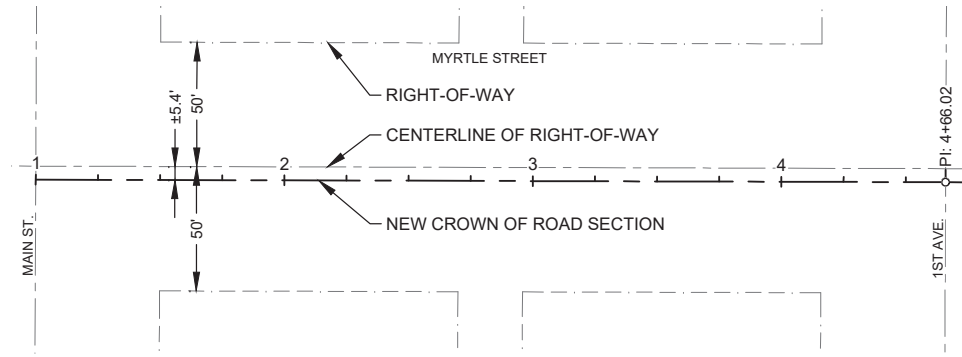
DEMOLITION PLAN

STA: 11+50 TO END

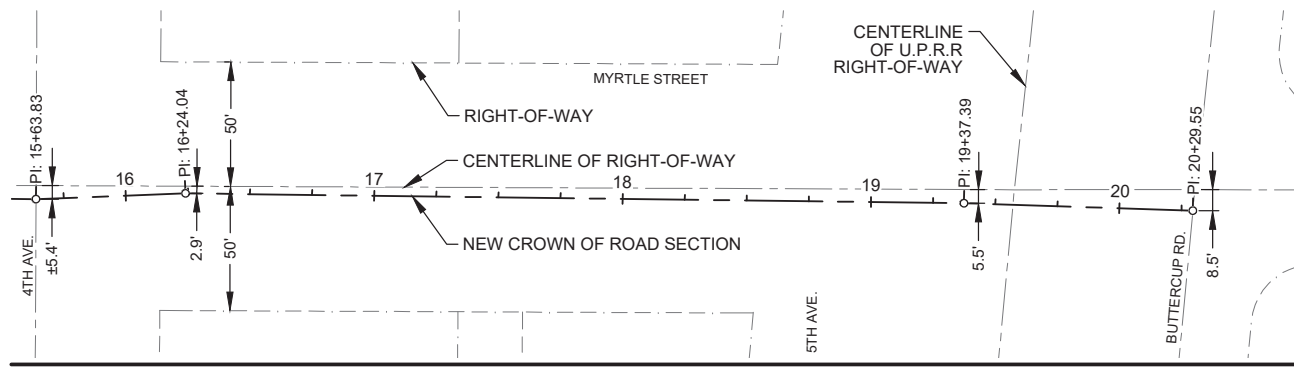
12 of 31



CROWN OF ROAD ALIGNMENT
SCALE: 1" = 150'



CROWN OF ROAD TYPICAL RE-ALIGNMENT (MAIN ST. TO 4TH AVE.)
SCALE: 1" = 50'



CROWN OF ROAD TYPICAL RE-ALIGNMENT (4TH AVE. TO BUTTERCUP RD.)
SCALE: 1" = 50'

No.	Date	Revisions
1		

SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

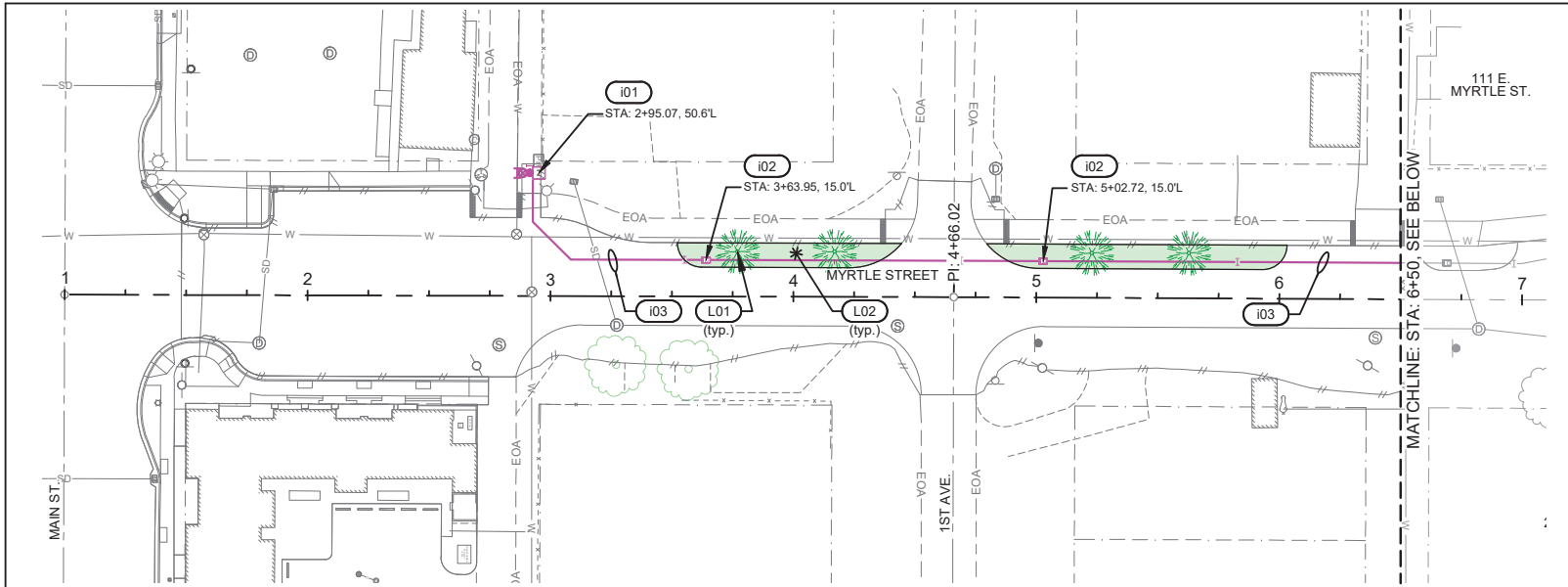
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PUBLIC WORKS DEPARTMENT
IN CONSULTATION WITH
GALENA - BENCHMARK ENGINEERING

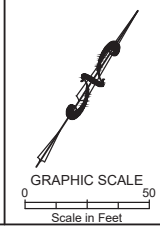
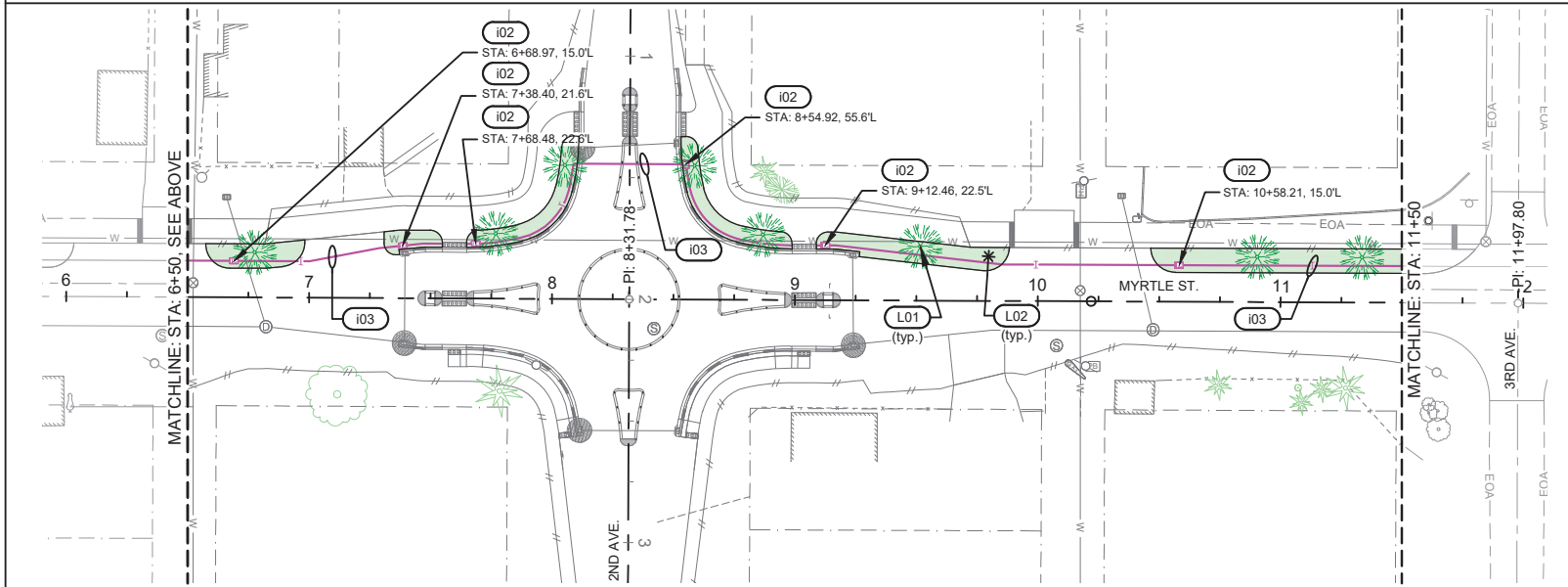
MYRTLE STREET IMPROVEMENTS 2023

ALIGNMENT GEOMETRY - MYRTLE ST.

13 of 31



- i01** POINT OF WATER MAIN CONNECTION. INSTALL 10"x2" STAINLESS STEEL TAPPING SADDLE
- i02** 2" GATE VALVE
- i02** 2" WATER METER
- i02** 2" BACKFLOW PREVENTER DEVICE IN IRRIGATION HOUSING
- i02** INSTALL IRRIGATION CONTROL VALVE WITH WINTERIZING BLOW-OUT VALVE.
- i03** INSTALL 2" HDPE IRRIGATION MAIN.
- L01** INSTALL LANDSCAPE TREE. TYPE AND CALIPER PER CITY OF HAILEY STANDARDS. FINAL LOCATION BY CITY.
- L02** INSTALL LANDSCAPE GRASS. TYPE PER CITY OF HAILEY STANDARDS.



No.	Date	Revisions

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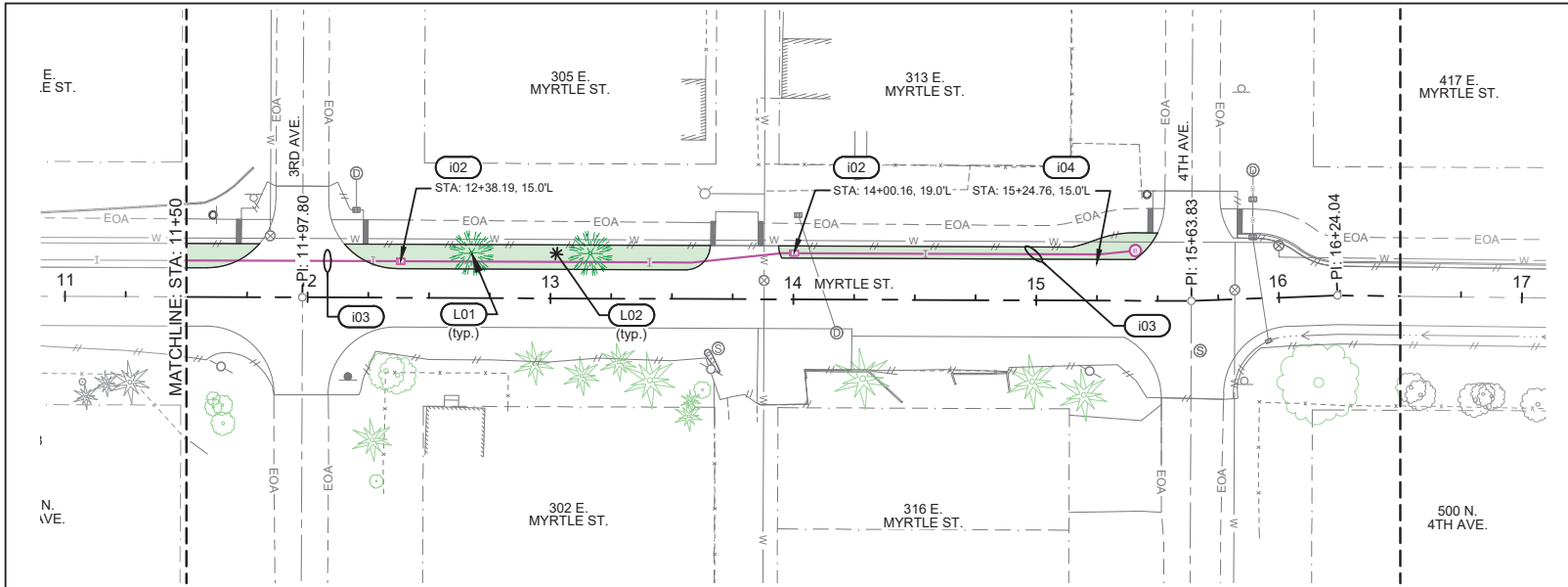
GALENA
ENGINEERING
CONSULTANTS LLC
GALENA-BENCHMARK
ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023

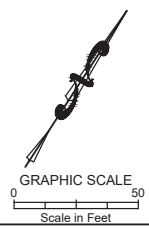
IRRIGATION SUPPLY PLAN

STA: 1+00 TO STA 6+50

14 of 31



- i02 INSTALL IRRIGATION CONTROL VALVE WITH WINTERIZING BLOW-OUT VALVE.
- i03 INSTALL 2" HDPE IRRIGATION MAIN.
- i04 INSTALL 2" BLOW-OFF HYDRANT ASSEMBLY AND VAULT.
- L01 INSTALL LANDSCAPE TREE. TYPE AND CALIPER PER CITY OF HAILEY STANDARDS. FINAL LOCATION BY CITY.
- L02 INSTALL LANDSCAPE GRASS. TYPE PER CITY OF HAILEY STANDARDS.



No.	Date	Revisions

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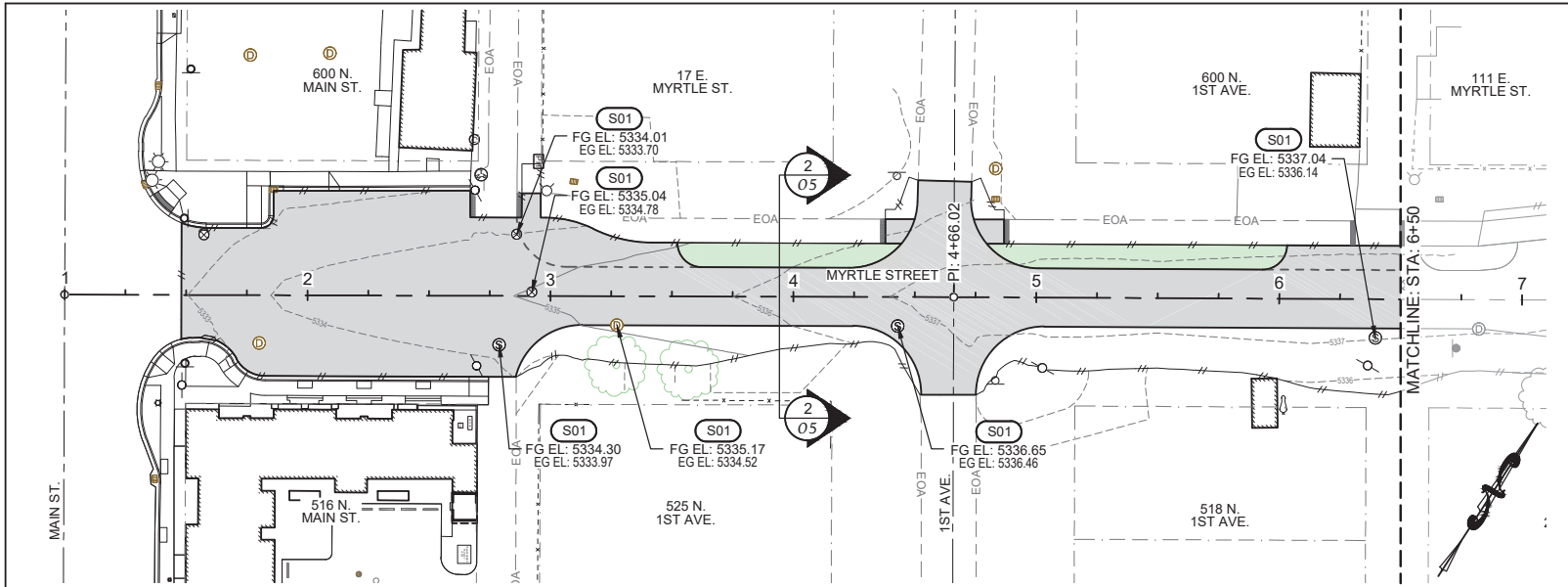
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 CITY OF HAILEY
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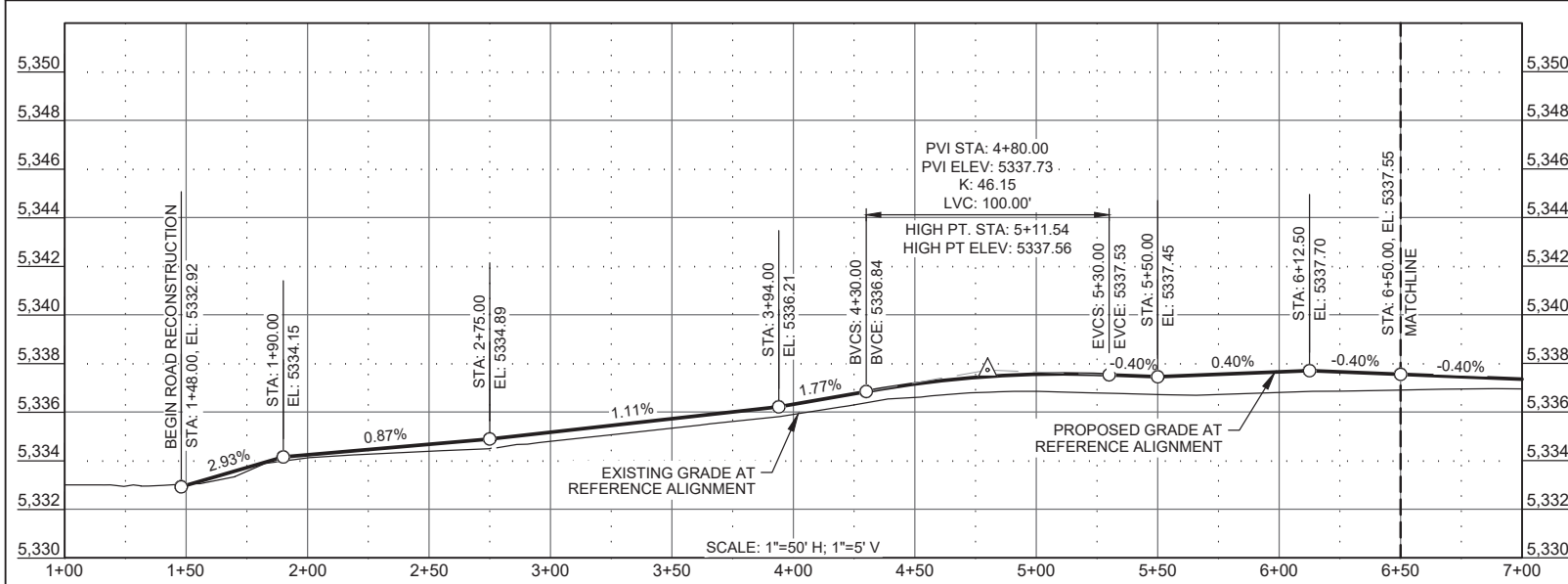
MYRTLE STREET IMPROVEMENTS 2023
IRRIGATION SUPPLY PLAN
 STA: 11+50 TO STA 16+50

PROFESSIONAL ENGINEER
 REG. NO. 2453
 STATE OF IDAHO
 DR. D. YEAGER

PRELIMINARY
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S01 RESET UTILITY BOX LID ELEVATION.



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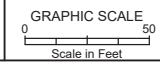
CITY OF HAILEY
CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT

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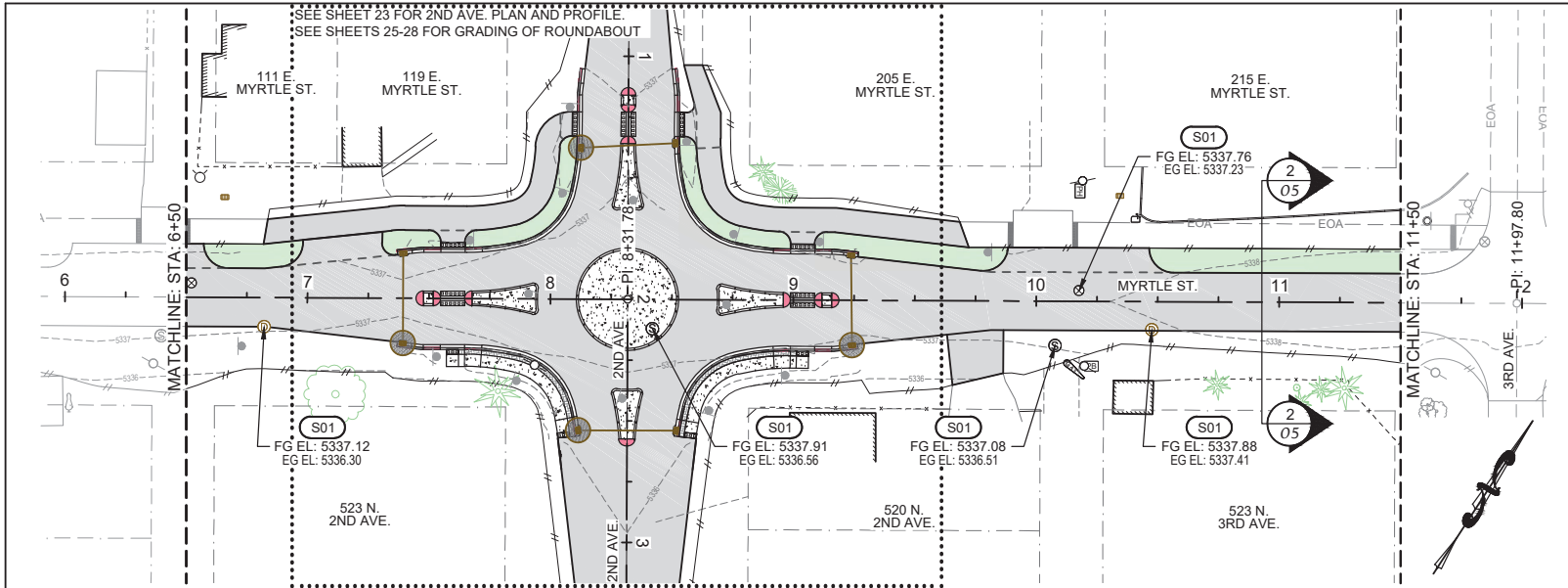
MYRTLE STREET IMPROVEMENTS 2023

ROAD PLAN AND PROFILE

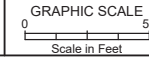
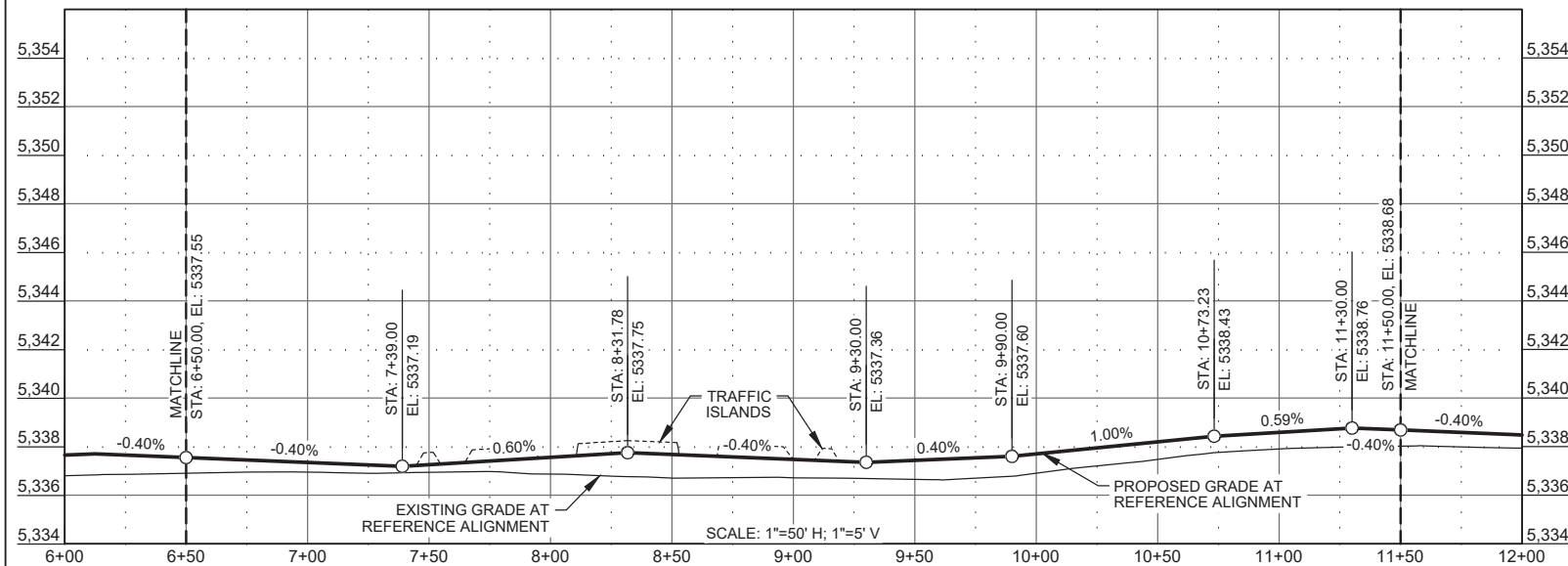
STA: 1+00 TO STA 6+50



PROFESSIONAL ENGINEER
REG. IN IDAHO
2453
DREW D. YEAGER
CONSTRUCTION



S01 RESET UTILITY BOX LID ELEVATION.



No.	Date	Revisions

SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

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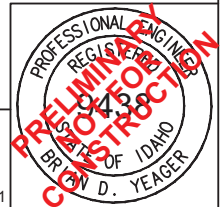


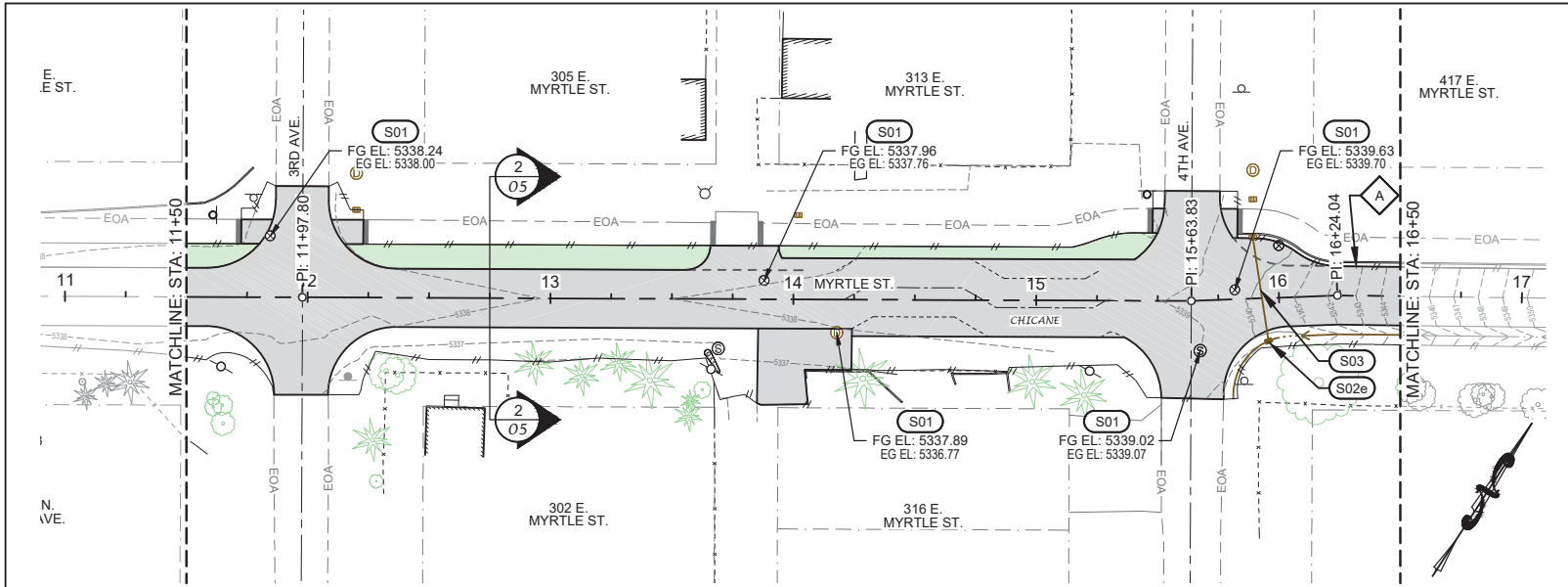
CITY OF HAILEY
PUBLIC WORKS DEPARTMENT

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BENCHMARK ENGINEERING

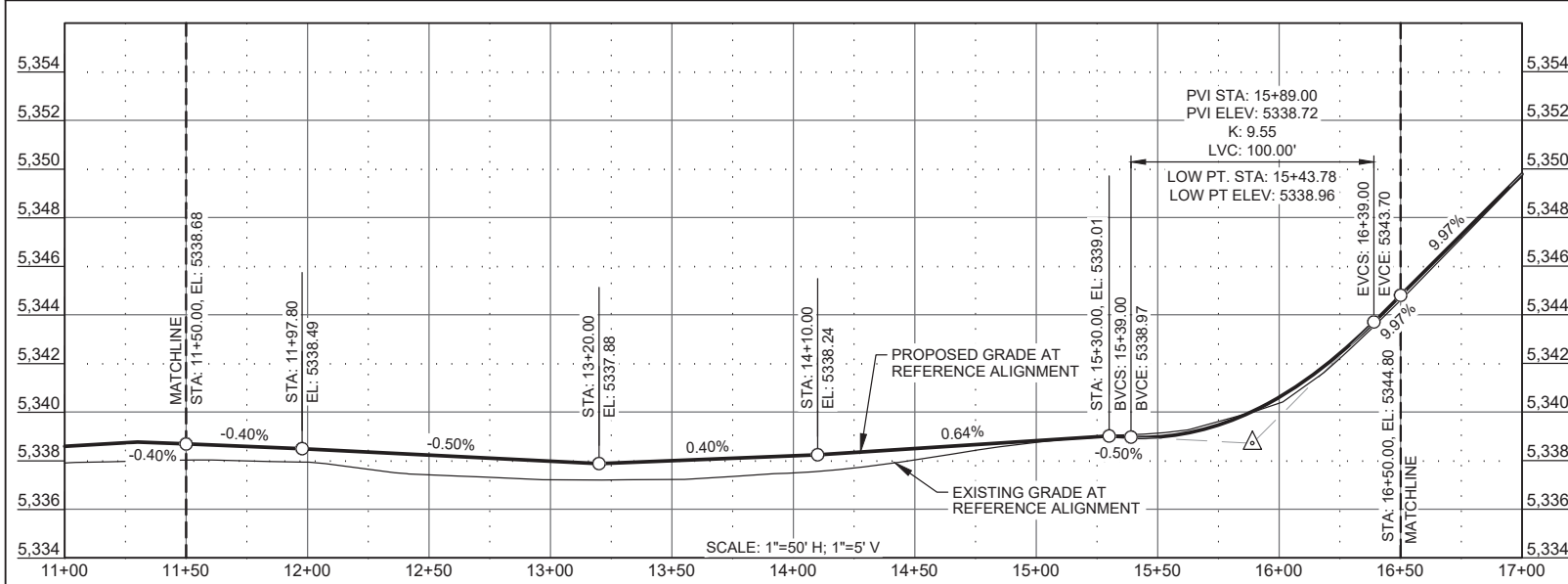


MYRTLE STREET IMPROVEMENTS 2023
ROAD PLAN AND PROFILE
STA: 6+50 TO STA 11+50





- S01** RESET UTILITY BOX LID ELEVATION.
- S02** INSTALL CATCH BASIN WITH RECTANGULAR GRATE. REFER TO HAILEY STANDARD DRAWING 18.14.010.D.1.
e. RIM = 5339.21
I.E.(out) = 5337.17
CONNECT TO EXISTING CATCH BASIN.
I.E.(in) = 5337.31
- S03** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO ISPWC SD-407 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION. REFER TO HAILEY STANDARD DRAWING 18.14.010.A.1 FOR TRENCHING.
- A** MATCH EXISTING LIP OF GUTTER FOR ALIGNMENT AND GRADE



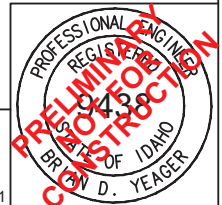
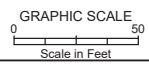
No.	Date	Revisions

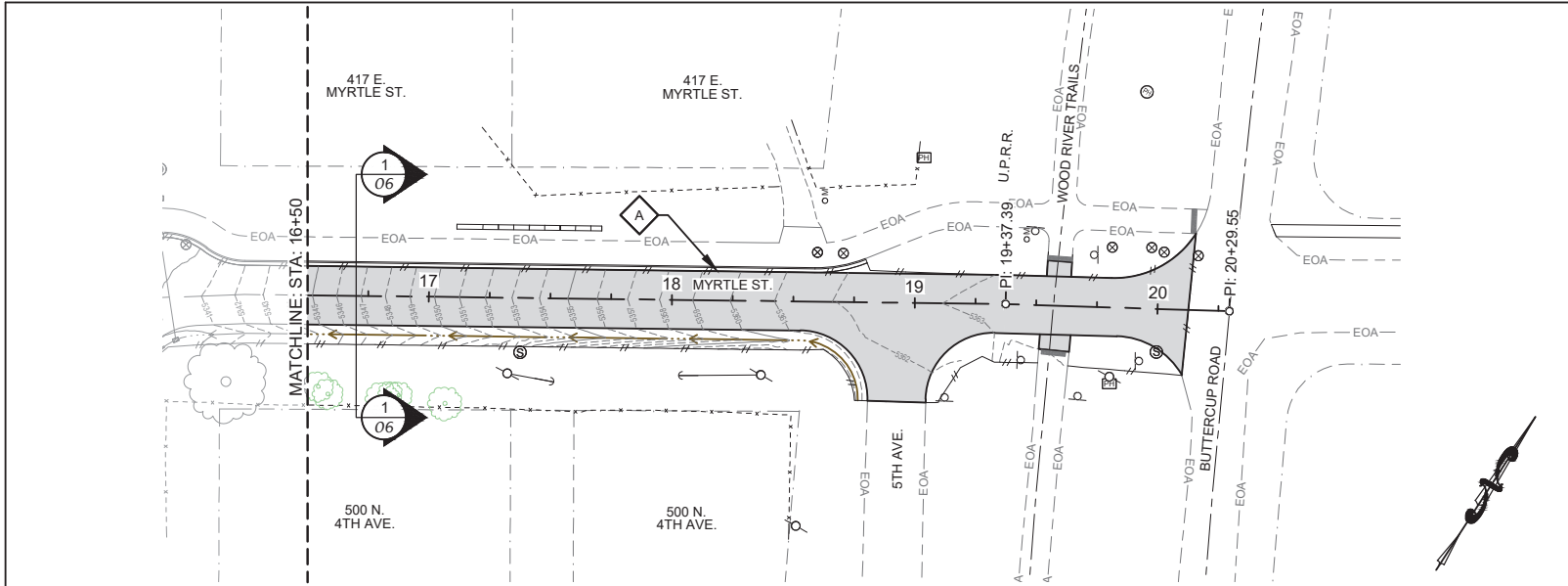
SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

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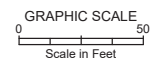
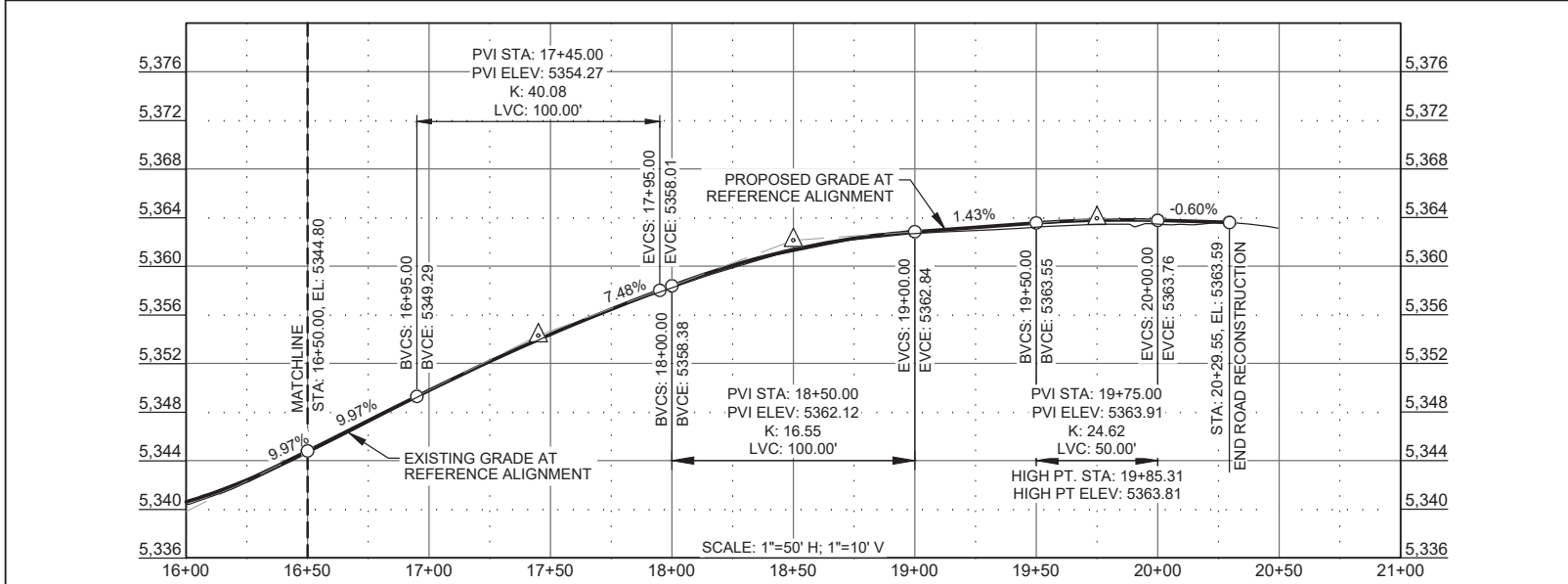
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CITY OF HAILEY PUBLIC WORKS DEPARTMENT
GALENA - BENCHMARK ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023 ROAD PLAN AND PROFILE STA: 11+50 TO STA 16+50





A MATCH EXISTING LIP OF GUTTER FOR ALIGNMENT AND GRADE



No.	Date	Revisions

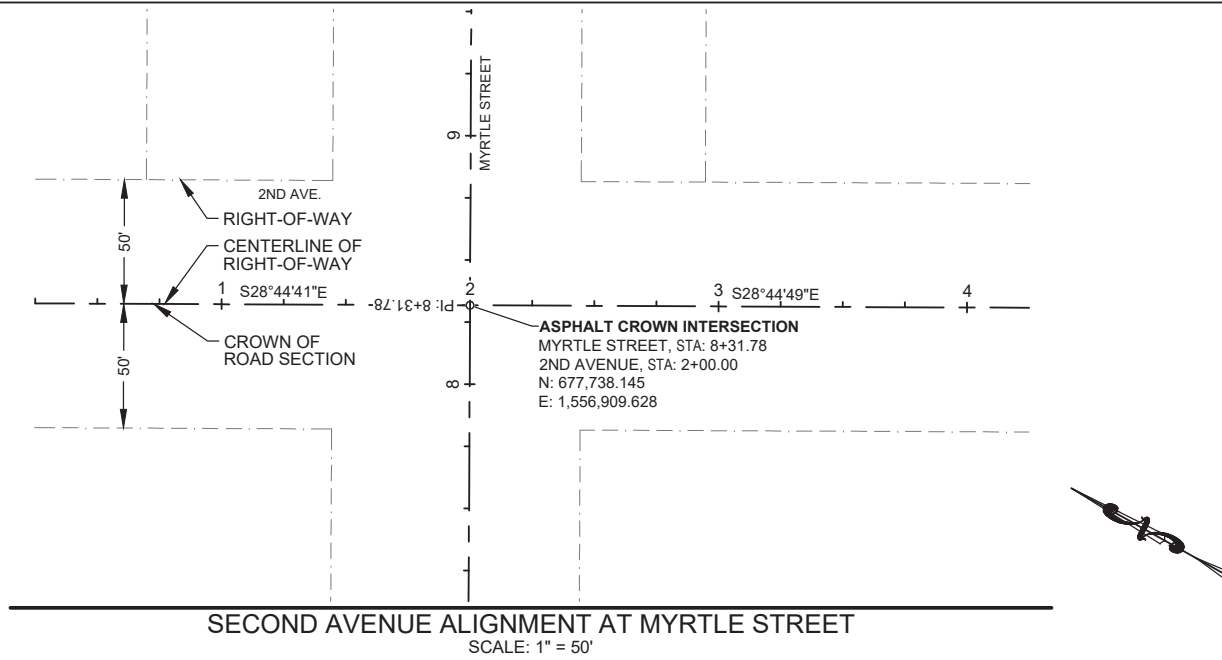
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 CITY OF HAILEY PUBLIC WORKS DEPARTMENT
 GALENA - BENCHMARK ENGINEERING

MYRTLE STREET IMPROVEMENTS 2023
ROAD PLAN AND PROFILE
 STA: 16+50 TO STA 20+29.55

PROFESSIONAL ENGINEER
 REG. NO. 24533
 STATE OF IDAHO
 PRELIMINARY
 D. YEAGER



SECOND AVENUE ALIGNMENT AT MYRTLE STREET
SCALE: 1" = 50'

No.	Date	Revisions
1		

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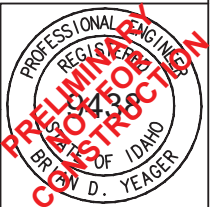
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DEPARTMENT

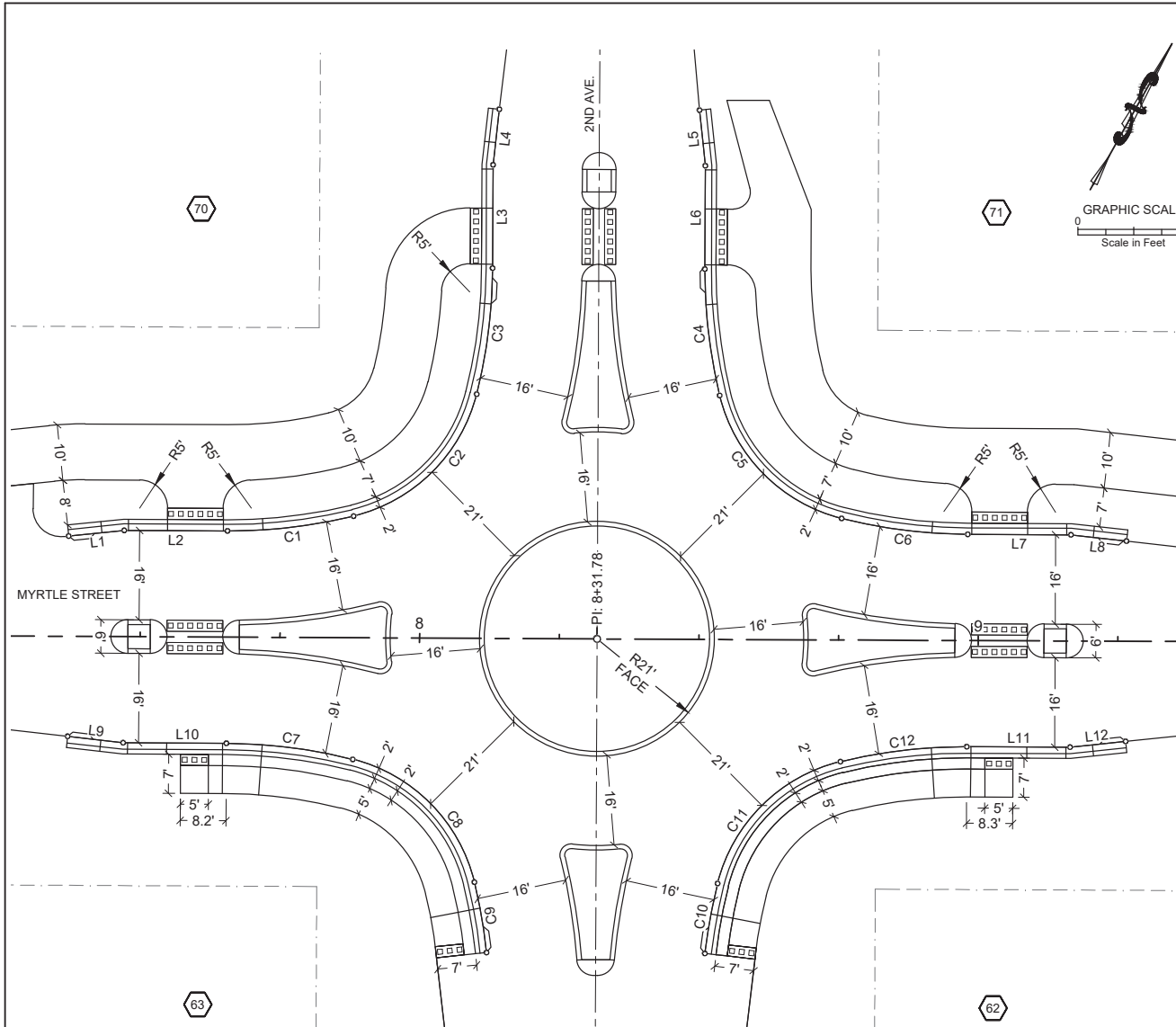
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ENGINEERING



MYRTLE STREET IMPROVEMENTS 2023

ALIGNMENT GEOMETRY - 2ND AVE.





Lip of Gutter Line Table				
Line #	Length	Direction	Start Northing	Start Easting
L1	10.00'	N55° 07' 01"E	677,708.376	1,556,817.963
L2	18.48'	N61° 17' 24"E	677,714.095	1,556,826.166
L3	18.49'	N28° 44' 41"W	677,787.113	1,556,861.099
L4	10.00'	N22° 31' 58"W	677,803.322	1,556,852.208
L5	10.00'	S34° 55' 04"E	677,829.792	1,556,879.804
L6	18.48'	S28° 44' 41"E	677,821.593	1,556,885.528
L7	18.49'	N61° 14' 50"E	677,786.681	1,556,958.590
L8	10.00'	N67° 27' 32"E	677,795.574	1,556,974.798
L9	10.00'	N67° 30' 06"E	677,676.938	1,556,835.177
L10	18.49'	N61° 17' 24"E	677,680.764	1,556,844.416
L11	18.48'	N61° 14' 50"E	677,753.367	1,556,976.869
L12	10.00'	N55° 04' 26"E	677,762.257	1,556,993.073

Lip of Gutter Curve Table					
Curve #	Radius	Length	Start Northing	Start Easting	Chord Length
C1	94.00'	22.80'	677,722.973	1,556,842.376	22.74
C2	30.00'	32.59'	677,736.229	1,556,860.853	31.01
C3	94.00'	22.80'	677,765.999	1,556,869.543	22.74
C4	94.00'	22.82'	677,805.388	1,556,894.416	22.77
C5	30.00'	32.56'	677,786.898	1,556,907.703	30.98
C6	94.00'	22.82'	677,778.227	1,556,937.449	22.77
C7	94.00'	22.87'	677,689.645	1,556,860.630	22.82
C8	30.00'	32.50'	677,698.096	1,556,881.824	30.94
C9	94.00'	12.78'	677,689.427	1,556,911.523	12.77
C10	94.00'	12.74'	677,698.276	1,556,953.787	12.73
C11	30.00'	32.54'	677,710.334	1,556,949.704	30.97
C12	94.00'	22.84'	677,740.067	1,556,958.370	22.78

No.	Date	Revisions

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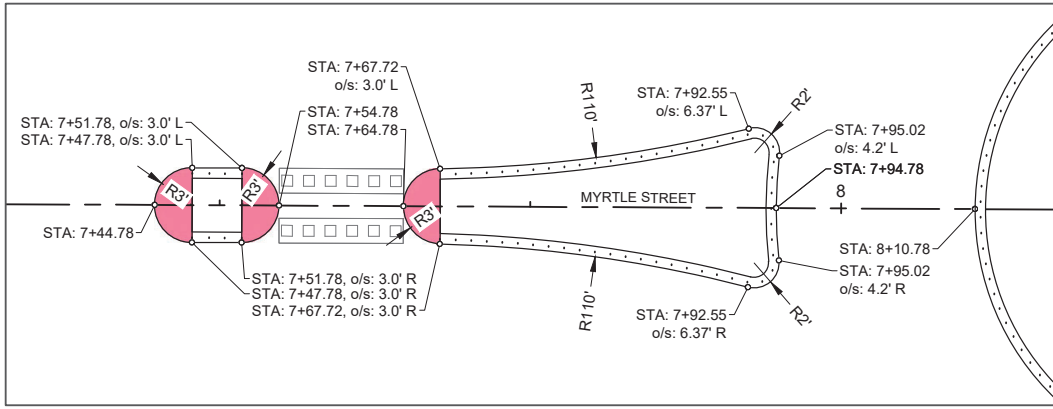
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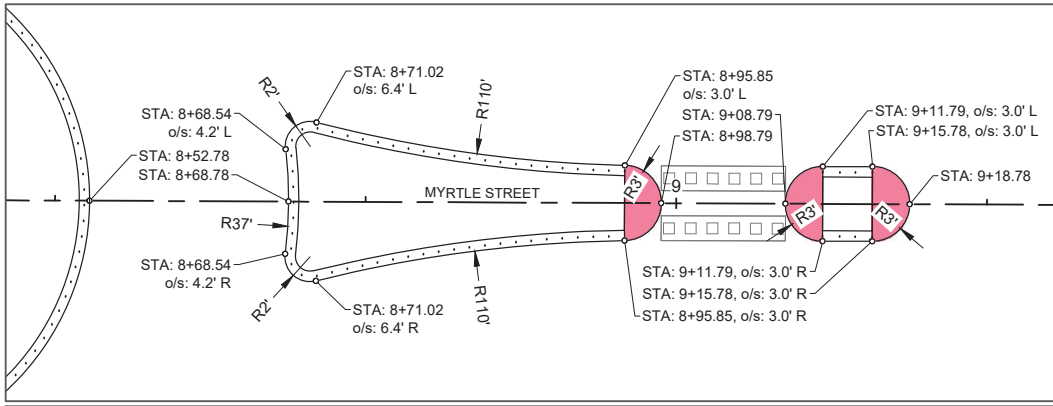
MYRTLE STREET IMPROVEMENTS 2023

ROUNDBOUT GEOMETRY

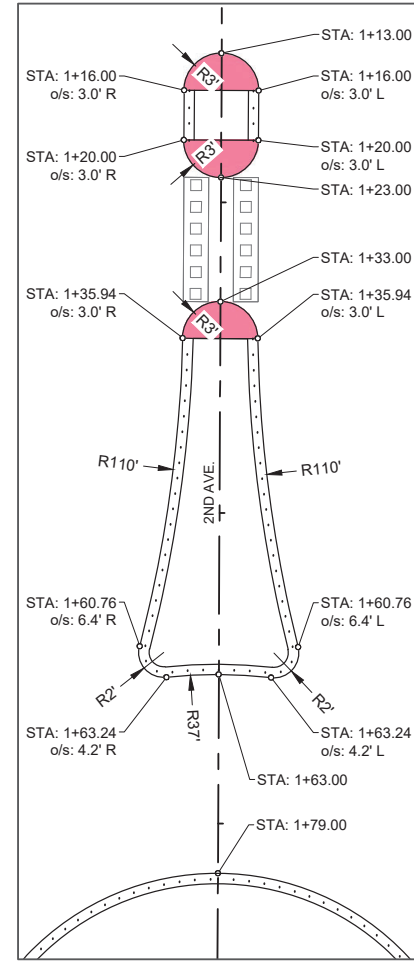
21 of 31



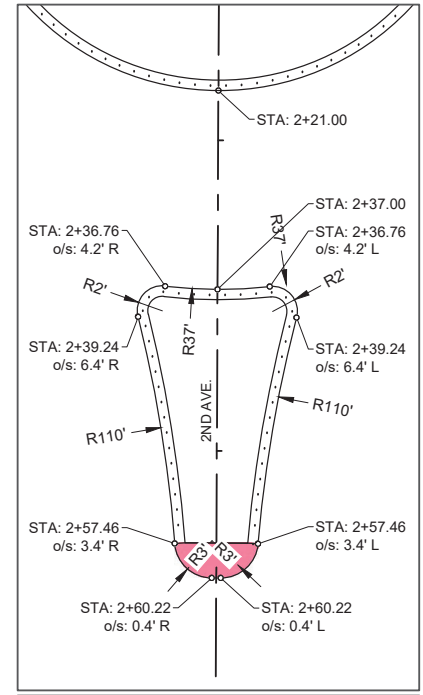
WESTERLY TRAFFIC ISLAND LAYOUT
SCALE: 1" = 10'



EASTERLY TRAFFIC ISLAND LAYOUT
SCALE: 1" = 10'



NORTHERLY TRAFFIC ISLAND LAYOUT
SCALE: 1" = 10'



SOUTHERLY TRAFFIC ISLAND LAYOUT
SCALE: 1" = 10'



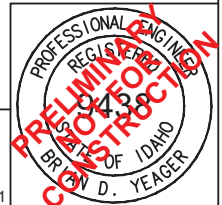
No.	Date	Revisions

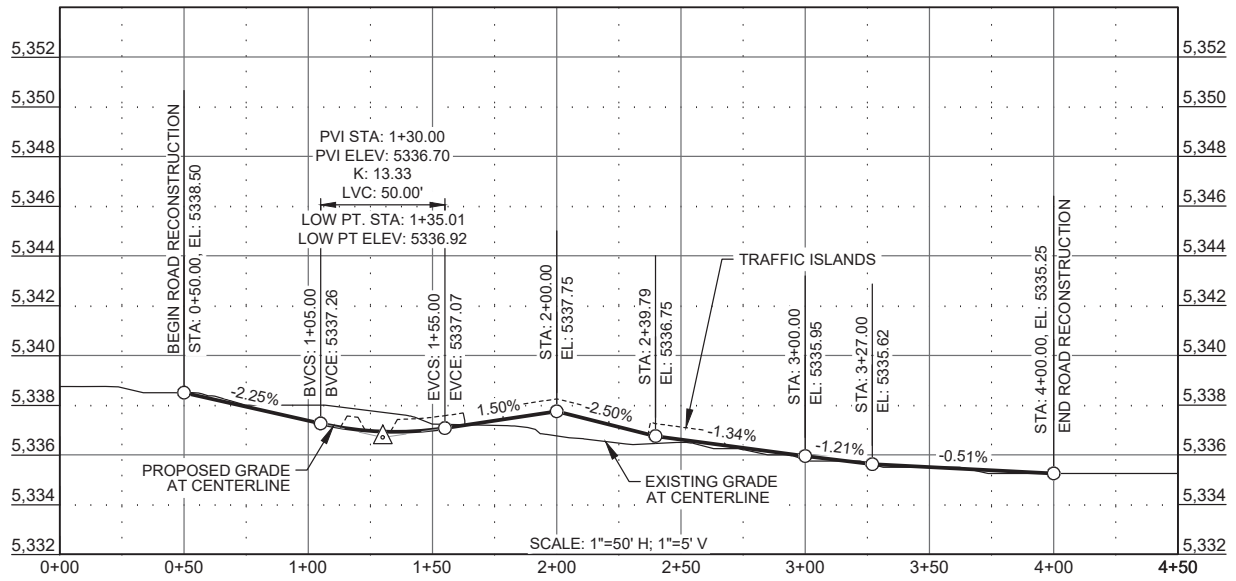
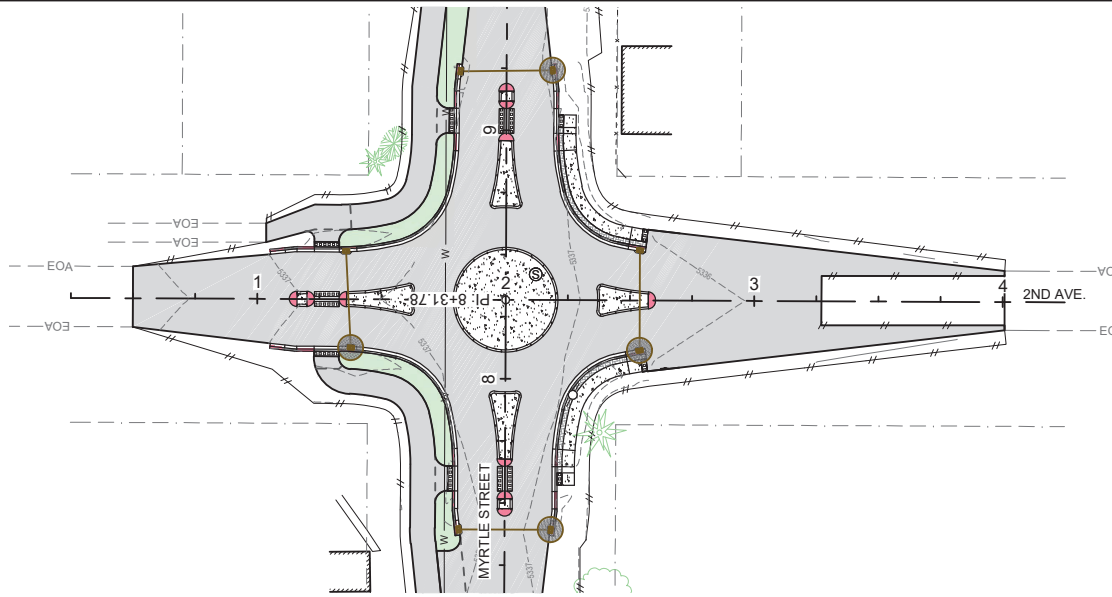
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MYRTLE STREET IMPROVEMENTS 2023
ROUNDABOUT GEOMETRY
TRAFFIC ISLANDS





No.	Date	Revisions

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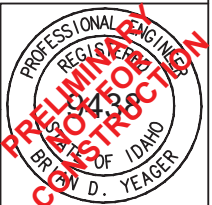
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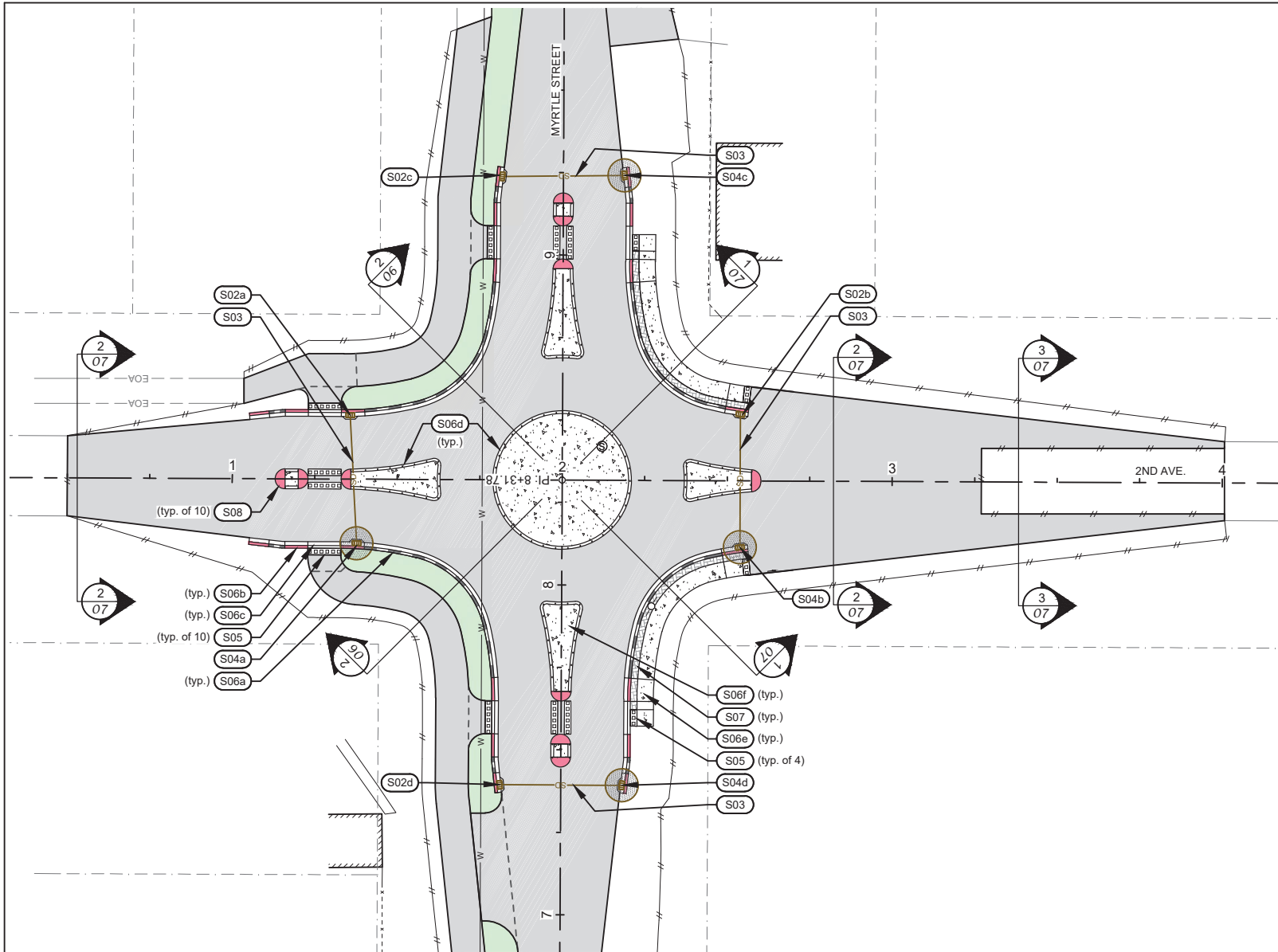
MYRTLE STREET IMPROVEMENTS 2023
ROAD PLAN AND PROFILE
2ND AVE.

SCALE: 1"=50' H, 1"=5' V

GRAPHIC SCALE
Scale in Feet

23 of 31





- S02** INSTALL CATCH BASIN WITH RECTANGULAR GRATE. REFER TO HAILEY STANDARD DRAWING 18.14.010.D.1.
 - a. RIM = 5336.37
I.E.(out) = 5333.37
 - b. RIM = 5336.08
I.E.(out) = 5333.08
 - c. RIM = 5336.73
I.E.(out) = 5333.73
 - d. RIM = 5336.55
I.E.(out) = 5332.70
- S03** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO ISPWC SD-407 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION. REFER TO HAILEY STANDARD DRAWING 18.14.010.A.1 FOR TRENCHING.
- S04** INSTALL DIRECT ENTRY DRYWELL WITH RECTANGULAR GRATE. REFER TO HAILEY STANDARD DRAWING 18.14.010.D.4b.
 - a. RIM = 5336.34
I.E.(in) = 5332.50
 - b. RIM = 5336.07
I.E.(in) = 5332.20
 - c. RIM = 5336.72
I.E.(in) = 5332.90
 - d. RIM = 5336.55
I.E.(in) = 5332.70
- S05** INSTALL CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 4, SHEET 08
- S06** CONSTRUCT CONCRETE SECTION / ITEM.
 - a. CURB & GUTTER (TYPE I) PER ISPWC DETAIL SD-703.
 - b. CURB TRANSITION PER DETAIL 3, SHEET 08.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3, SHEET 08.
 - d. 6" MOUNTABLE VERTICAL CURB (NO GUTTER) PER ISPWC DETAIL SD-701A.
 - e. 5' WIDE CONCRETE SIDEWALK PER DETAIL 1, SHEET 08.
 - f. VARIABLE WIDTH CONCRETE ISLAND PER DETAIL 1, SHEET 08.
- S07** CONSTRUCT PAVER EDGING / BORDER. REFER TO DETAIL 2, SHEET 08.
- S08** CONSTRUCT CONCRETE NOSE SECTION. REFER TO DETAIL 1, SHEET 09.

GRAPHIC SCALE
0 30
Scale in Feet

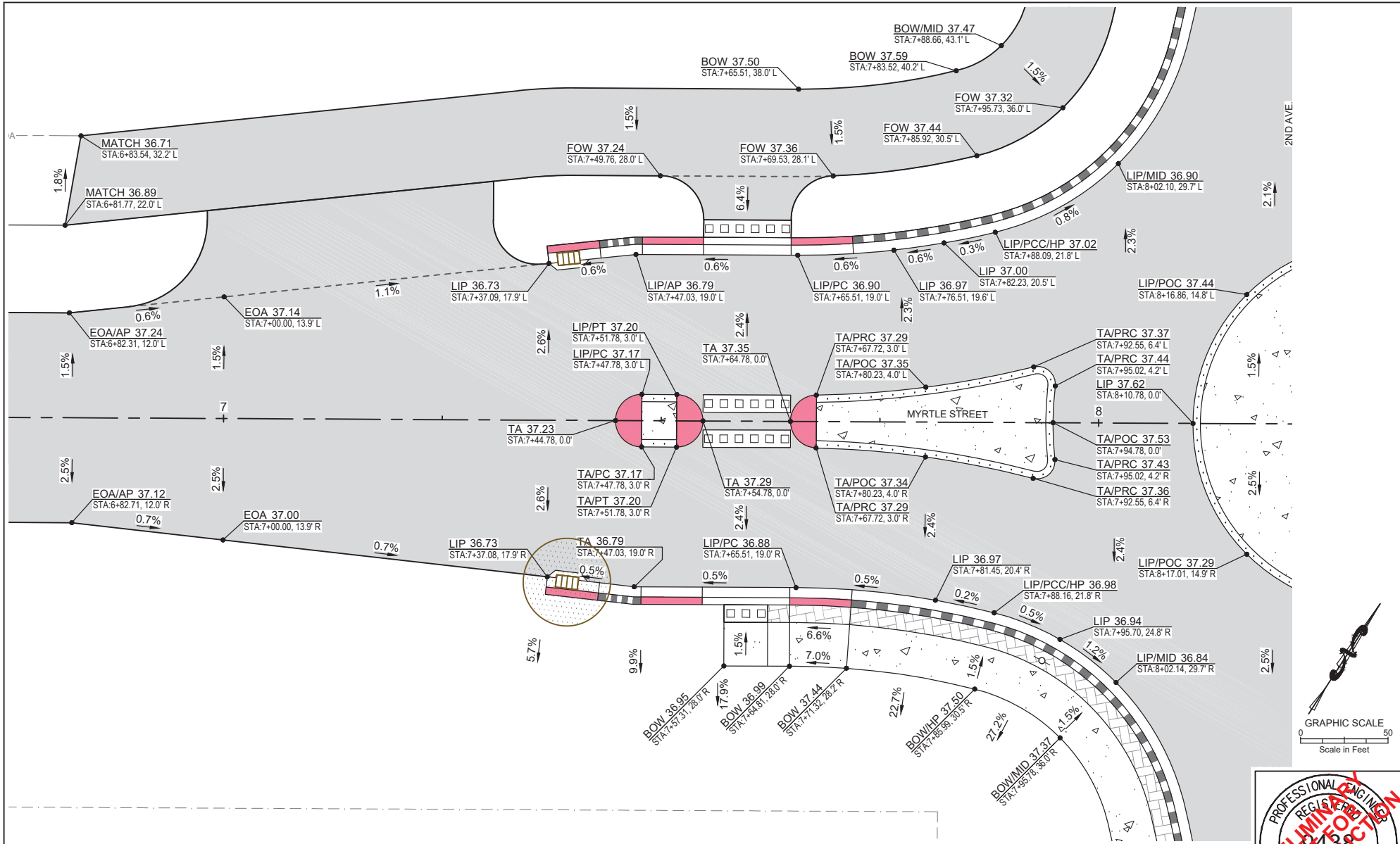
No.	Date	Revisions

SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

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MYRTLE STREET IMPROVEMENTS 2023
ROUNDAABOUT DESIGN
2ND AVE.




No.	Date	Revisions
1		

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CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT

PREPARED BY:
GALENA - BENCHMARK
ENGINEERING

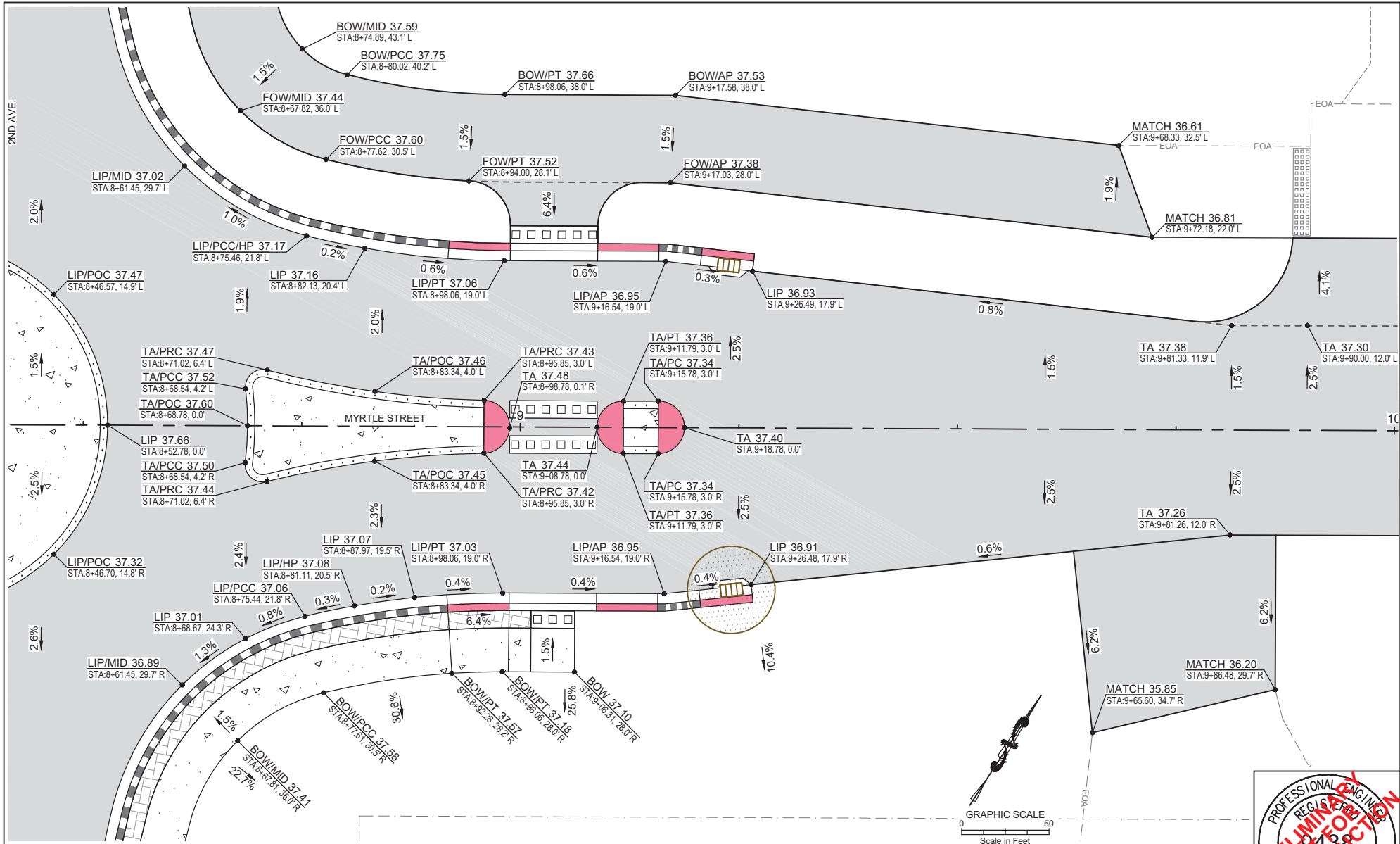



MYRTLE STREET IMPROVEMENTS 2023

ROUNDABOUT DETAILED GRADING PLAN WEST SIDE

25 of 31





No.	Date	Revisions

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PREPARED BY: GALENA
ENGINEERING

FOR CONSTRUCTION WITH:
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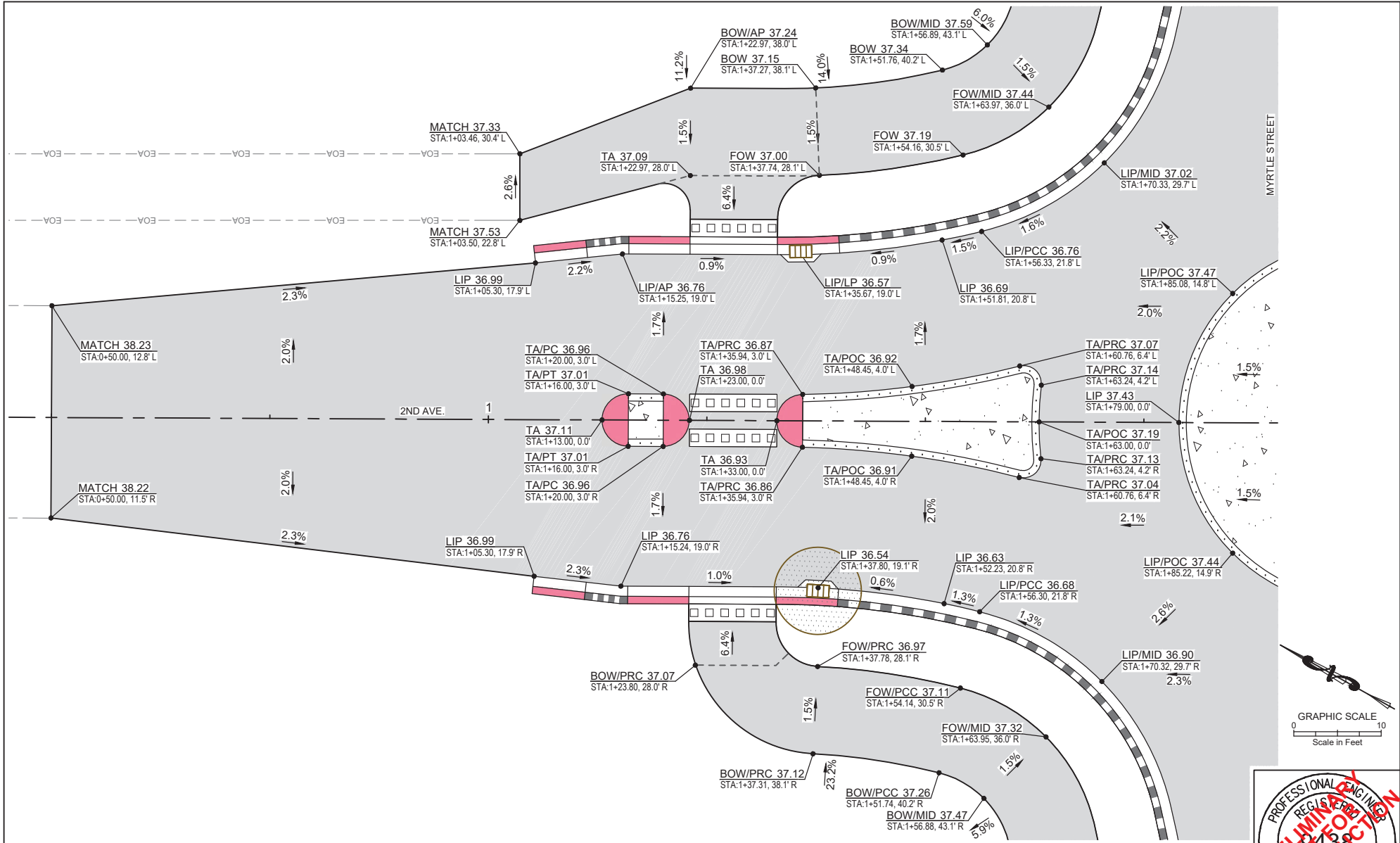

MYRTLE STREET IMPROVEMENTS 2023

ROUNDABOUT DETAILED GRADING PLAN

EAST SIDE

26 of 31







No.	Date	Revisions
1		

SCALES SHOWN ARE FOR
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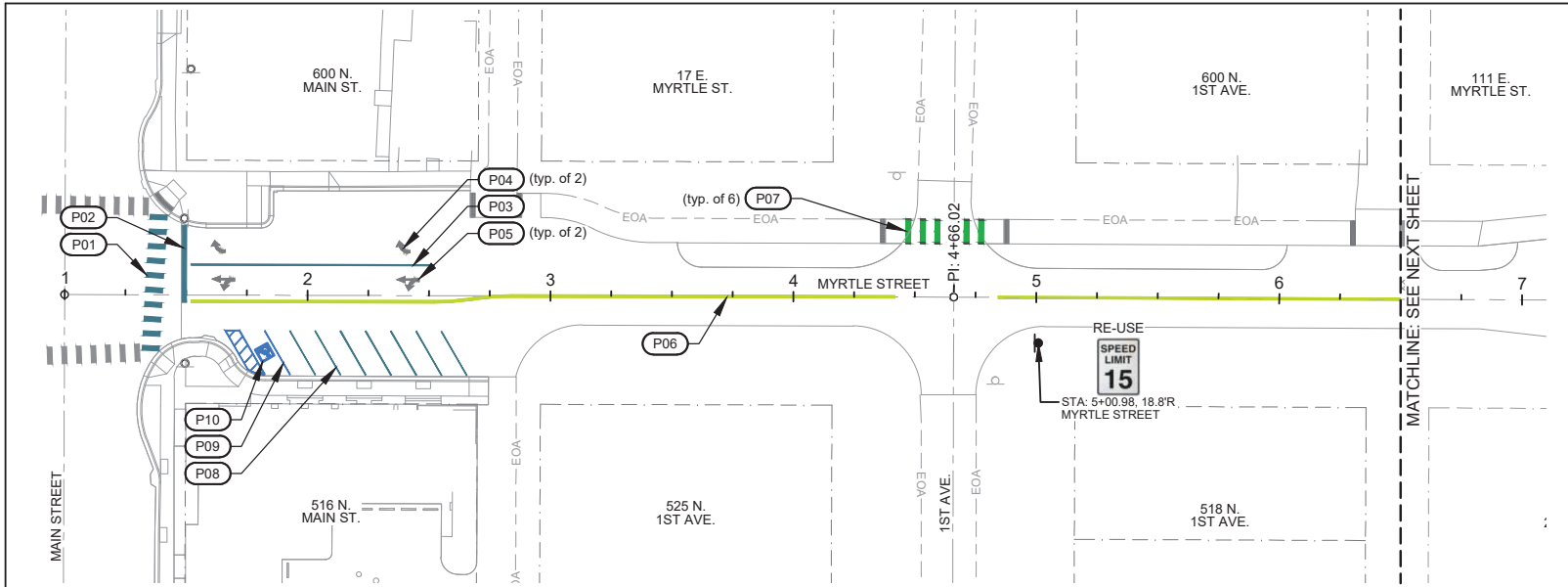
CITY OF HAILEY
CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT
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GALENA - BENCHMARK
ENGINEERING

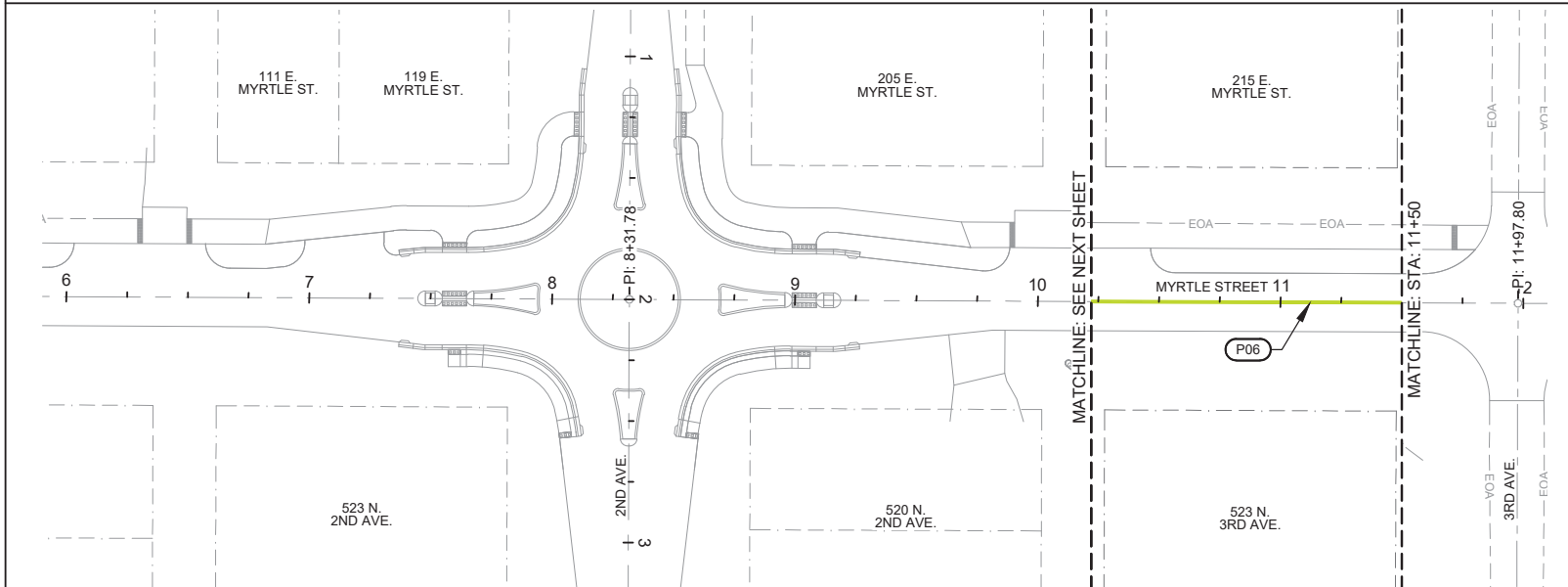
MYRTLE STREET IMPROVEMENTS 2023
**ROUNDBOUT DETAILED GRADING PLAN
NORTH SIDE**

27 of 31





- (P01) Pavement Striping:
white continental crosswalk bars.
- (P02) Pavement Striping:
Thermoplastic crosswalk/stop bar, 24" wide.
- (P03) Pavement Striping:
6" white lane control.
- (P04) Pavement Striping:
white-traffic channelization symbol-right turn.
- (P05) Pavement Striping:
white-traffic channelization symbol-straight
w/ left turn.
- (P06) Pavement Striping:
4" yellow - double line.
- (P07) Pavement Striping:
green continental crosswalk bars w/ black edging
- (P08) Pavement Striping:
4" white - single line.
- (P09) Pavement Striping:
4" blue ADA parking- single line.
- (P10) Pavement Striping:
Blue ADA parking symbol.



No.	Date	Revisions

SCALES SHOWN ARE FOR
11"x17" SHEETS ONLY

DRAWING INFORMATION:
3830-57 ENG 2023-08-17.dwg
08/29/23 6:22:41 AM



CITY OF HAILEY

**CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT**

FOR CONSULTATION USE ONLY

**GALENA - BENCHMARK
ENGINEERING**




MYRTLE STREET IMPROVEMENTS 2023


ROAD STRIPING & SIGN INSTALLATION PLAN

STA 1+00 to 6+50 & STA 10+22 to STA 11+50

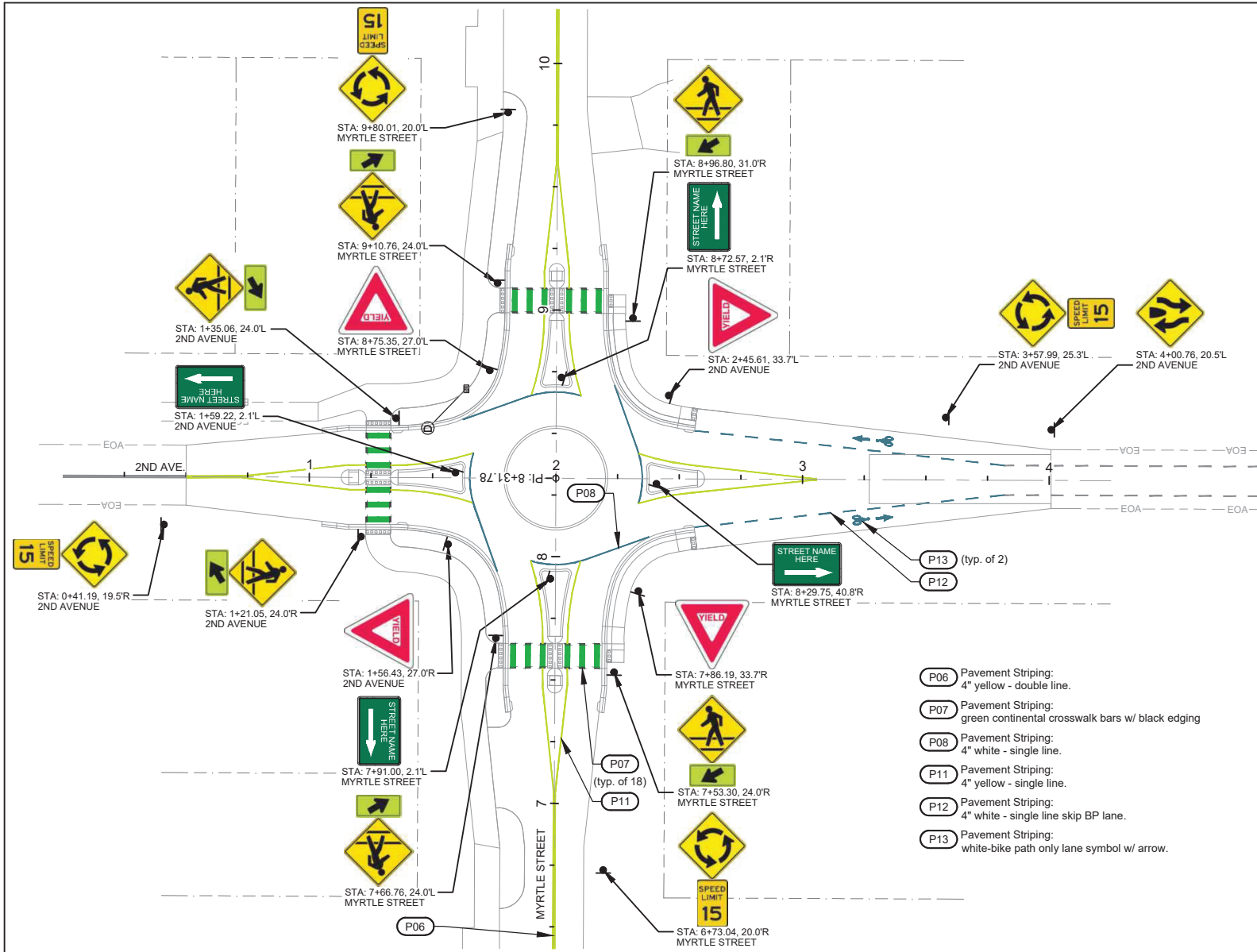
29 of 31



GRAPHIC SCALE
Scale in Feet
0 50



**PRELIMINARY
CONSTRUCTION**



INSTALL TRAFFIC CONTROL DEVICES. REFER TO DETAIL 1, SHEET 9.



Reflective Pedestrian Crossing Sign (30"W x 30"H (diamond))



Reflective Yield Sign (18" H x 18" W)



Fluorescent Pedestrian Sign Down Left Arrow (24"W x 12"H)



Reflective Warning Sign Divided Highway (30"W x 30"H (diamond))



Reflective Warning Sign Traffic Circle (30" H x 30" W (diamond))

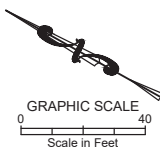


Street name Sign with Direction Arrow (size to be determined by Street Department)



15 MPH Speed Limit Sign (18" H x 12" W)

- P06 Pavement Striping: 4" yellow - double line.
- P07 Pavement Striping: green continental crosswalk bars w/ black edging
- P08 Pavement Striping: 4" white - single line.
- P11 Pavement Striping: 4" yellow - single line.
- P12 Pavement Striping: 4" white - single line skip BP lane.
- P13 Pavement Striping: white-bike path only lane symbol w/ arrow.



No.	Date	Revisions

SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

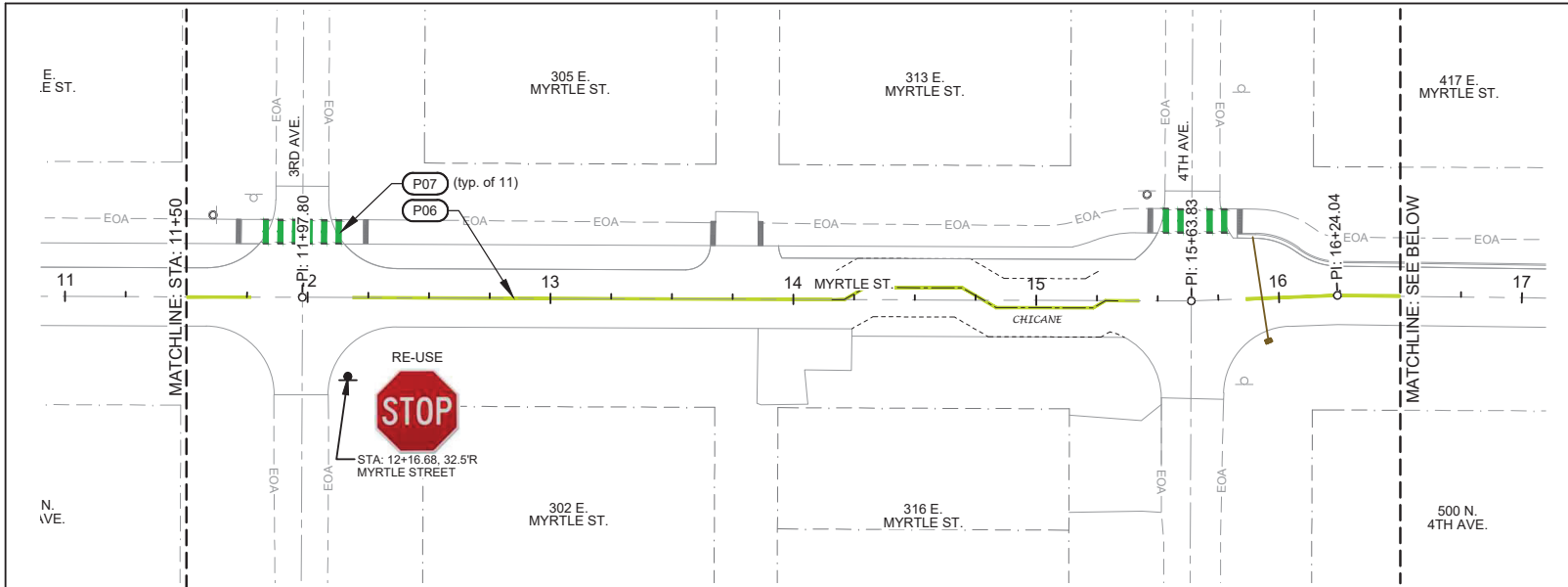
DRAWING INFORMATION:
3830-57 ENG 2023-08-17.dwg
08/29/23 6:22:41 AM

CITY OF HAILEY
CITY OF HAILEY PUBLIC WORKS DEPARTMENT
GALENA - BENCHMARK ENGINEERING

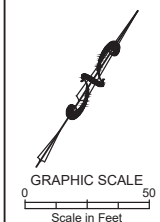
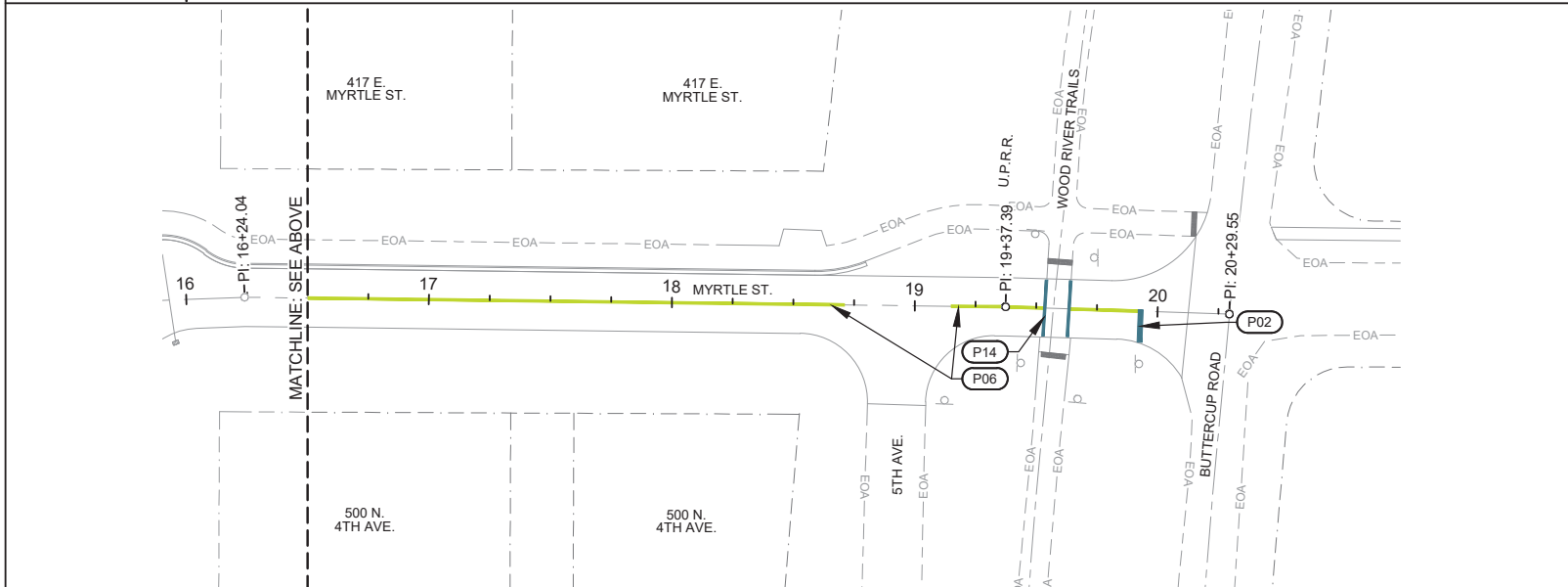
MYRTLE STREET IMPROVEMENTS 2023

ROUNDABOUT STRIPING AND SIGN INSTALLATION

30 of 31



- (P02) Pavement Striping:
Thermoplastic crosswalk/stop bar, 24" wide.
- (P06) Pavement Striping:
4" yellow - double line.
- (P07) Pavement Striping:
green continental crosswalk bars w/ black edging
- (P14) Pavement Striping:
12" white crosswalk striping.



No.	Date	Revisions
1		

SCALES SHOWN ARE FOR 11"x17" SHEETS ONLY

DRAWING INFORMATION:
3830-57 ENG 2023-08-17.dwg
08/29/23 6:22:41 AM



CITY OF HAILEY
EST. 1884

**CITY OF HAILEY
PUBLIC WORKS
DEPARTMENT**
(see construction notes)



**GALENA BENCHMARK
ENGINEERING**

MYRTLE STREET IMPROVEMENTS 2023

ROAD STRIPING & SIGN INSTALLATION PLAN

STA: 11+50 TO END

PROFESSIONAL ENGINEER
REG. NO. 24533
STATE OF IDAHO
D. YEAGER

PRELIMINARY
CONSTRUCTION

Nancy Arellano

From: Lisa Horowitz
Sent: Tuesday, September 19, 2023 10:57 AM
To: Brian Yeager; Nancy Arellano
Subject: FW: Comments on the Myrtle Street Project

Please include this public comment in the CC packet, as well as the two letters received last week (Rick Kapala and Walter).

Lisa

Lisa Horowitz
CITY ADMINISTRATOR
CITY OF HAILEY
115 S. MAIN ST. HAILEY, ID 83333
208-788-4221
CELL: 208-727-7097

From: Robyn Davis <robyn.davis@haileycityhall.org>
Sent: Tuesday, September 19, 2023 10:24 AM
To: Lisa Horowitz <lisa.horowitz@haileycityhall.org>
Subject: FW: Comments on the Myrtle Street Project

From: Kathryn Tongg <kathryntongg@gmail.com>
Sent: Tuesday, September 19, 2023 10:11 AM
To: planning <planning@haileycityhall.org>
Subject: Comments on the Myrtle Street Project

Hello Hailey City Council,

My name is Kathryn Tongg. My husband, Rory, myself, our 3 boys, dog & cat live at 600 N 1st Ave on the corner of 1st & Myrtle.

I attended the neighborhood meeting on September 14th and wanted to share my comments with you as well.

First, we absolutely LOVE the idea of widening the area between the roadway and existing multiuse pathway. We watch every day (no exaggeration) as people drive into the multiuse pathway and use it like it's a second west bound lane, sometimes even crossing the intersection at N 1st Ave & Myrtle, driving through the clearly marked parking spots and turning in to the Base Camp gas station parking lot (this happened just last week). All that to say, we believe that widening the separation and planting trees and other landscaping will provide a clearer separation from the roadway and make it safer for everyone who uses the pathway. We are also supportive of the project for the other goals listed by the city.

Second, I did have one clarifying question. After looking more closely at the drawings provided at last week's neighborhood meeting, it appears that as the drawings currently show, there will be a small separation and landscaping planted directly in front of our garage on Myrtle street between our driveway area and the alley way. I know these are not the final drawings, but wanted to clarify and make sure there will be some space for us to leave our driveway and

turn east without having to go west to make a U-turn? While our address is a N 1st Ave address, our garage and primary parking area are located off Myrtle street (per the city). I've attached a photo for reference below.

Again, thank you for all that you are doing for our City. We are excited for this new project!

Sincerley,
Kathryn Tongg

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a 10'
rrent
out is
n.





From: [Lisa Horowitz](#)
To: [Nancy Arellano](#); [Jessica Parker](#)
Subject: FW: Proposed East Myrtle Project
Date: Wednesday, September 20, 2023 4:48:36 PM

Public comment

From: Rick Kapala <kapala.rick@gmail.com>
Sent: Thursday, September 14, 2023 3:24:21 PM
To: Lisa Horowitz <lisa.horowitz@haileycityhall.org>; Brian Yeager <brian.yeager@haileycityhall.org>; Sam Linnet <sam.linnet@haileycityhall.org>; Martha Burke <martha.burke@haileycityhall.org>; juan.martinez@haileycityhall.org <juan.martinez@haileycityhall.org>; Kaz Thea <kaz.thea@haileycityhall.org>; Annie <mambuk11@gmail.com>
Cc: duftan.sandoz@gmail.com <duftan.sandoz@gmail.com>; michellesandoz@cox.net <michellesandoz@cox.net>; Ken Lagergren <Lagergren@cs.com>; wmjarman@yahoo.com <wmjarman@yahoo.com>; justinpetty1@yahoo.com <justinpetty1@yahoo.com>; cjaydorr@gmail.com <cjaydorr@gmail.com>; macleodsv@msn.com <macleodsv@msn.com>; twhowland@gmail.com <twhowland@gmail.com>; erinebostrom@gmail.com <erinebostrom@gmail.com>; albert.norris@mac.com <albert.norris@mac.com>; hope.page@gmail.com <hope.page@gmail.com>; elizabeth.e.cashin@gmail.com <elizabeth.e.cashin@gmail.com>
Subject: Proposed East Myrtle Project

Hello All,

I am writing to provide comment regarding the proposed East Myrtle Project. I am unable to attend the Thursday Sept 14 workshop due to a prior obligation with my work with the Sun Valley Ski Education Foundation. But, I have strong feelings about the potential modifications to the roadway as well as the process by which this project is being discussed. I hesitated taking the time to write another letter as I have become somewhat cynical as a result of watching this process unfold. I will speak to why I feel this way after I provide comment regarding the problems I have with the design elements of the proposal.

The expansion of the roadway footprint is in no way in keeping with the neighborhood aesthetic of Old Hailey. To ignore this impact is in direct conflict with what we are striving for regarding preservation of the small town character we all value.

The insertion of a 10 foot median buffer between the existing bike path and the north lane of travel is a mis-application of the functional use of this traffic device. Yes, separated pathways do provide enhanced safety when the speed differential is significant such as along major city arterials where traffic is both heavy and moving significantly faster than the bike traffic. That is decidedly not the situation on Myrtle now nor will it ever be to the extent that it would justify this proposed plan. To begin with, the majority of East Myrtle is posted as 15 mph. The real risk on the bike path is not the vehicle traffic but the uncontrolled E-bikes and E-scooters that are travelling at speeds well in excess of 30mph alongside mothers pushing strollers. Your proposal will result in these high speed users

being trapped within the bike path by the median. Deaths are occurring from collisions between E-bikes and pedestrians and this plan will increase, not decrease risk to pedestrians.

Regarding traffic volume on Myrtle, I ask you to think about this for a minute. For all of the northbound residents of East Hailey from Cutters, Sun Beam, Deerfield and Quigley, their preferred route north out of Hailey will be Buttercup. We are all driving that way now. The only reason to come down East Myrtle to the proposed future location of a traffic light on main will be to turn left (south) onto Highway 75. However, other than Cutters (which is mostly built out) the residents of the aforementioned neighborhoods will actually choose to head to the main street light at Croy because it is closer. But all that said, even if we do experience some noticeable increase of traffic it will only be for very limited windows of time at 8am and 5pm, which I am sure we can all live with as opposed to the proposal as currently designed.

My position is that we must abandon the insertion of any sort of separation of the bike path along Myrtle. Regardless of Mr. Yeager's assertions, plowing of separated bike paths will not be sustainable by the City. This separated design element has arisen as a strategy in heavily traveled urban landscapes without our level of winter. And even if the city can manage some occasional winter plowing, this not the best use of our tax dollars when our current pathway design allows for co-plowing of roadways and paths. Please recall that this past winter we were informed by the street department that they would not be plowing for snow events less than 3". That is very problematic when it comes to maintaining the pathways through the winter. Once a base layer of ice is formed from pedestrians walking on an unplowed path, it will be very difficult to remove with the lightweight plowing equipment that would be used on a separated path. Lastly, the un-landscaped strip that will be the result of separated path will become an eyesore. In the recent edition of Our Town, the city has asked residents to maintain planters along other bike paths. This is an admission that it will not be possible to manage the landscape maintenance of this buffer in a way that again is in keeping with the aesthetic values of Old Hailey.

Regarding the installation of the mini-roundabout at 3rd, I am indifferent except that if it results in a need to push the roadway significantly (more than 3 feet) into the south side of the Myrtle right of way, than I am opposed. I highly value the natural small town feel of the lawns, flowers and trees along Myrtle and to remove any of them to allow for this project is exactly the wrong approach.

While our own property is relatively unimpacted by a proposed roadway expansion, I am strongly opposed for the above reasons but also because I believe the creation of this proposal is a wrong headed understanding of appropriate strategies to manage traffic. But even more importantly it is a callous approach resulting in unnecessary impacts on people who are our neighbors.

I am cynical about this process for several reasons. It was apparent to me that at both the neighborhood meeting at the corner of Myrtle as well as at the subsequent Monday Council meeting, that Mr. Yeager is so heavily invested in this projected as he conceived it that he will be unable to consider input in an unbiased manner, regardless of his protestations otherwise. His comments at the neighborhood meeting where he essentially lectured us about how change is hard were borderline insulting. At the Monday City meeting where he presented the project to the City Council, the delivery of his comments were such that he was eliciting sympathy with regards to how

hard he had to work to develop the project. It was then that I realized that it would be very hard to have a fair public process. I did, however appreciate both Council Members' Sam Linnet's and Juan Martinez's readiness to discuss minimizing impacts. However, it must be pointed out that Mr. Yeager repeatedly said that significant change to the project, if it were to be approved by the State, would be very limited. This was glossed over as Council discussed whether or not to proceed with the grant application. With regards to Mayor Burke's suggestion that we could possibly return the grant if we found that we could not adhere to design requirements, I saw that as a way to mollify the resident's who were voicing their concerns. Government rarely ever gives money back. I recommend that the City develop grant proposals for projects that we have identified in advance as priorities and have vetted for likely approval by city residents, for submission to agencies offering last minute grant dollars. By getting ahead of these occasional opportunities, we are much more likely to avoid the situation we find ourselves in now.

I apologize for the length of this letter. I understand that while debating this project should be an intellectual process it also becomes emotional process because people have significant concerns and they are not being acknowledged as legitimate. While I feel that City Staff are well intended in their work on behalf of the citizens, they are not infallible. The reason we hold ourselves to a comprehensive public process is because we understand it is the very nature of this public process being slow that is what leads to the best outcomes. The unfortunate time frame of the grant application and limited opportunity to truly adhere to a fair public process, is in fact the very problem.

Sincerely,

Rick Kapala
205 East Myrtle
Hailey, ID 83333

From: [Lisa Horowitz](#)
To: [Jessica Parker](#); [Nancy Arellano](#)
Subject: FW: Proposed East Myrtle Project
Date: Wednesday, September 20, 2023 4:48:15 PM

Public Comment

Lisa

Lisa Horowitz
CITY ADMINISTRATOR
CITY OF HAILEY
115 S. MAIN ST. HAILEY, ID 83333
208-788-4221
CELL: 208-727-7097

-----Original Message-----

From: Walter Jarman <wmjarman@yahoo.com>
Sent: Friday, September 15, 2023 8:08 AM
To: Rick Kapala <kapala.rick@gmail.com>
Cc: Lisa Horowitz <lisa.horowitz@haileycityhall.org>; Brian Yeager <brian.yeager@haileycityhall.org>; Sam Linnet <sam.linnet@haileycityhall.org>; Martha Burke <martha.burke@haileycityhall.org>; juan.martinez@haileycityhall.org; Kaz Thea <kaz.thea@haileycityhall.org>; Annie <mambuk11@gmail.com>; duftan.sandoz@gmail.com; michellesandoz@cox.net; Ken Lagergren <Lagergren@cs.com>; Justin Petty <justinpetty1@yahoo.com>; cjaydorr@gmail.com; macleodsv@msn.com; Tom Howland <twhowland@gmail.com>; Erin <erinebostrom@gmail.com>; Al Norris <albert.norris@mac.com>; Page Hope <hope.page@gmail.com>; elizabeth.e.cashin@gmail.com
Subject: Re: Proposed East Myrtle Project

Rick,

Thanks for your thoughtful letter.

I cannot speak to the specifics of road design because I am not a traffic engineer.

But I think your basic assumptions are flawed.

We all want “old Hailey” to stay the way it is; or better yet go backward in time to the way it was.

But its not.

Cutters still has many vacant lots; and construction on Sunbeam has barely started.

Northbound residents are not the only residents of Hailey, Cutters and Sunbeam. In addition, Myrtle to Buttercup has become a go to route for people headed north on Hwy 75.

Santa Cruz CA experimented with a do-nothing approach to traffic design hoping that it would just make it so difficult to get around that people would “give up”. It was an unmitigated disaster.

The bike route is not safe now; as we had the meeting last night a child wandered into the traffic lane providing an almost real-time experiment in disaster.

The impact on are neighbors are happening now. Even though the speed limit is 20mph and 15 mph essentially no one goes that speed (the real time flashing speed sign has helped).

Citizens working with the city has greatly improved this design.

The fact is that the grant has been submitted. If awarded the city will probably move ahead. We need to be involved in this process for the best possible outcome.

Sincerely

Wally

> On Sep 14, 2023, at 3:24 PM, Rick Kapala <kapala.rick@gmail.com> wrote:

>

> Hello All,

>

> I am writing to provide comment regarding the proposed East Myrtle Project. I am unable to attend the Thursday Sept 14 workshop due to a prior obligation with my work with the Sun Valley Ski Education Foundation. But, I have strong feelings about the potential modifications to the roadway as well as the process by which this project is being discussed. I hesitated taking the time to write another letter as I have become somewhat cynical as a result of watching this process unfold. I will speak to why I feel this way after I provide comment regarding the problems I have with the design elements of the proposal.

>

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>

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>

> Sincerely,

>

> Rick Kapala

> 205 East Myrtle

> Hailey, ID 83333

>

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 09/25/23

DEPARTMENT: PW

DEPT. HEAD SIGNATURE: BY

SUBJECT: Discussion of the proposed Quigley Road Bike Pathway Project and directing staff for final design. **ACTION ITEM**

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

Council has previously reviewed and discussed this project. Staff held a public workshop on September 14th and gathered feedback. Staff is asking council for direction to construct the pathway in one of the following locations:

- a) A pathway that is detached from the roadway as shown on the current plan set, or
- b) A 14' wide pathway that is attached to the roadway.

Final design drawings are attached.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS: Caselle # _____
 Budget Line Item # _____ YTD Line-Item Balance \$ _____
 Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
 Staff Contact: _____ Phone # _____
 Comments: _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

- | | | |
|---|--|---|
| <input type="checkbox"/> City Administrator | <input type="checkbox"/> Library | <input type="checkbox"/> Benefits Committee |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Mayor | <input type="checkbox"/> Streets |
| <input type="checkbox"/> City Clerk | <input type="checkbox"/> Planning | <input type="checkbox"/> Treasurer |
| <input type="checkbox"/> Building | <input type="checkbox"/> Police | <input type="checkbox"/> Wastewater |
| <input type="checkbox"/> Engineer | <input checked="" type="checkbox"/> Public Works | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Fire Dept. | <input type="checkbox"/> P & Z Commission | <input type="checkbox"/> _____ |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Discussion of the proposed Quigley Road Bike Pathway Project and directing staff for final design.
ACTION ITEM

ACTION OF THE CITY COUNCIL:

Date : _____

City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record *Additional/Exceptional Originals to: _____
 Copies (all info.): _____ Copies (AIS only) _____
 Instrument # _____

Quigley Road Pathway

Project Goals:

Improve Safety: Create a larger barrier between vehicles and pedestrians for safety on a long, straight roadway

Continue established design pattern: Sunbeam Subdivision has implemented a separated pathway; this will continue that pattern

Connect Neighborhood Pathways: Advance the pathway system that connects our neighborhoods- connects significant pathway segments

Design Cost-Effective Solution: Specify a design that takes a responsible approach to the construction and maintenance costs of the roadway

Project choices: attach or detach pathway	Pros	Cons	Notes
Separate Pathway by 10'	<p>Proven to be a safer bike/pedestrian user experience.</p> <p>Creates an area large enough to be used for snow storage</p> <p>Allows for drainage so water will not pond on the pathway</p> <p>Better visual solution</p>	<p>Quigley Road has only 60' of right of way (as opposed to Old Hailey/Myrtle Street with 100') leaving very little space between the pathway and private property to put snow</p>	<p>Separated area could be weedy/unsightly</p>
Attach Pathway to roadway	<p>Easier to maintain</p> <p>Leaves more area north of the pathway for snow storage</p>	<p>Will visually create a "runway" effect: adding 14' of asphalt to the existing roadway</p> <p>Requires 4' of additional asphalt</p>	<p>Citizens at workshop prefer attached pathway</p>

		<p>Does not align with Sunbeam Pathway</p> <p>Not aligned with the City's long-term pathway goals of separation and safety</p>	
--	--	--	--

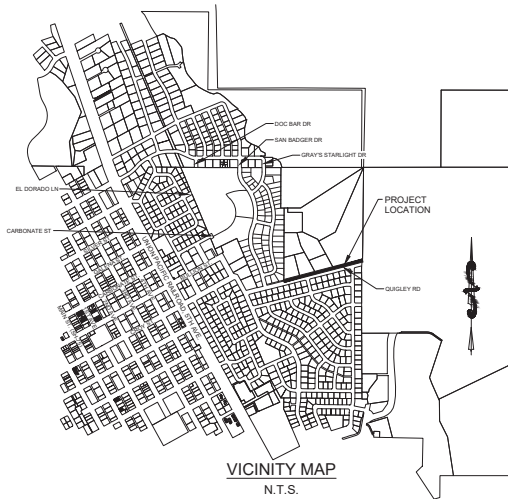
QUIGLEY ROAD BIKE PATH PROJECT 2023

HAILEY, IDAHO

SEPTEMBER 2023

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL. LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" 8) SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. TESTING LOCATION AND FREQUENCY SHALL MEET ISPCW AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.



LEGEND	
	Right-of-way
	Property Line
	City Limits
	5' Contour Interval
	1' Contour Interval
	Flow Line of Creek/Ditch
	Fence Line
	Asphalt
	Concrete
	Gravel Drive
	Edge of Gravel
	Buried Power
	Power Box
	Sewer Main
	Sewer Service
	Sewer Manhole
	12" Water Main
	8" Water Main
	6" Water Main
	Water Service
	Water Meter
	Fire Hydrant
	Water Valve
	Sign
	TV Vault
	Gas Meter
	Cable TV Riser
	Telephone Pole
	MB = Mailbox
	Conifer Tree
	Deciduous Tree

SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C0.30	DEMOLITION PLAN
C1.00	DETAIL SHEET
C1.10	SURVEY MONUMENT SHEET AND SITE GEOMETRY PLAN
C1.20-C1.40	PLAN AND PROFILE SHEETS

QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS
COVER SHEET

LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR CITY OF HAILEY



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS
SURVEY DATE: 05/24/23

GALENA-BENCHMARK ENGINEERING
100 Bell Drive, Ketchum, Idaho 83340
(208) 726-9112
www.galenabenchmark.com



CIVIL ENGINEER

MATT SMITHMAN, PE
GALENA-BENCHMARK ENGINEERING
PO BOX 733
100 BELL DRIVE
KETCHUM, IDAHO 83340

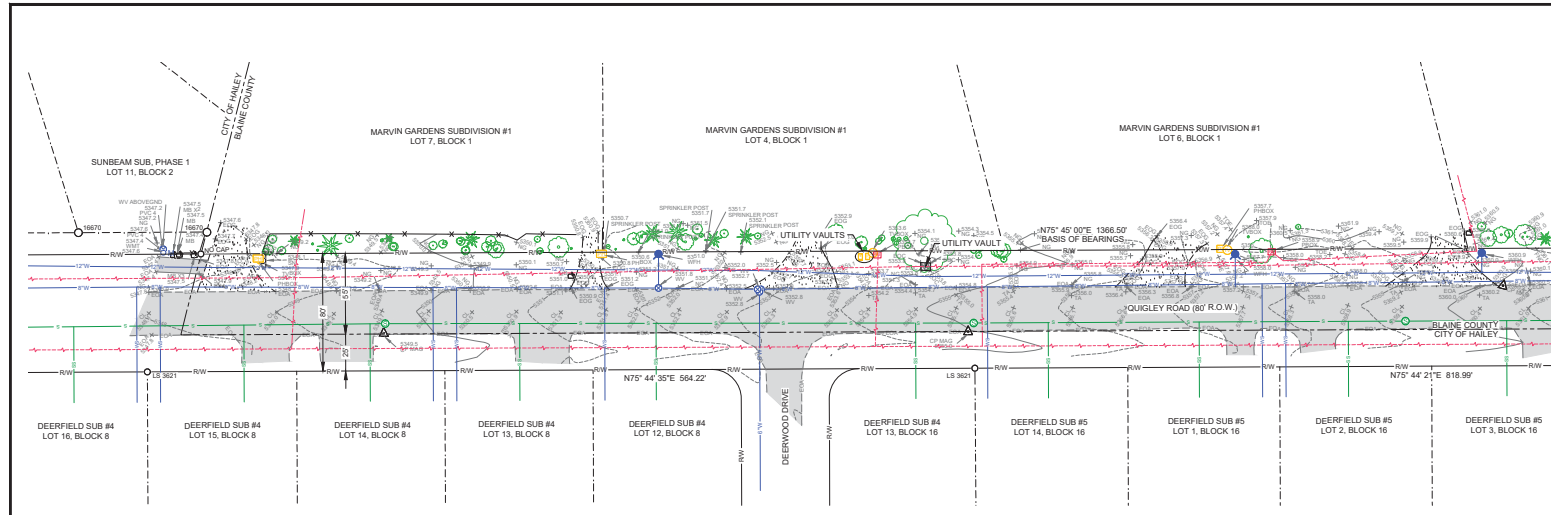
LAND SURVEYOR

ROBERT BREIER, PLS
GALENA-BENCHMARK ENGINEERING
100 BELL DRIVE
KETCHUM, IDAHO 83340

PURPOSE: ISSUE FOR CONSTRUCTION
REVISEMENTS

C0.10

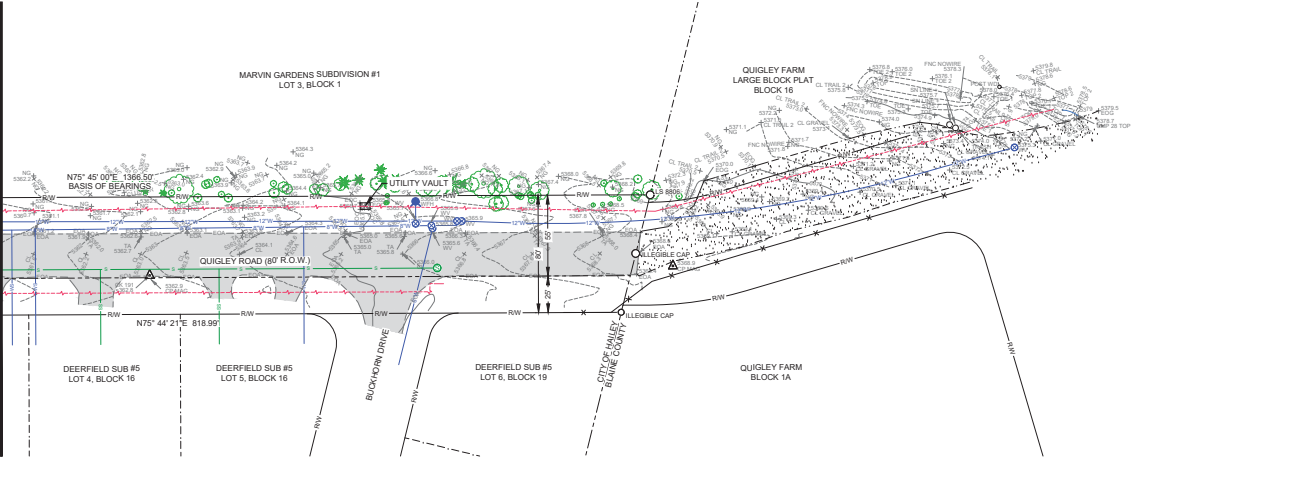
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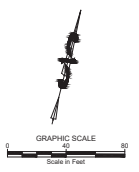
- NOTES**
SURVEY NOTES & NARRATIVE
 1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO THE QUIGLEY ROAD RIGHT-OF-WAY. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. THE RIGHT-OF-WAY IS BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS.
 2. REFERENCED SURVEYS: DEERFIELD SUBD. NO. 4, INSTRUMENT NO. 371157; DEERFIELD SUBD. NO. 5, INSTRUMENT NO. 375885; MARVIN GARDENS NO. 1, SUBD., INSTRUMENT NO. 209085; MARVIN GARDENS NO. 1 SUBD., LOTS 4, 5 & 6 AMENDED, INSTRUMENT NO. 217201; SUNBEAM SUBD. PHASE 1, INSTRUMENT NO. 692201; QUIGLEY FARM LARGE BLOCK PLAT, INSTRUMENT NO. 633625.
 3. VERTICAL DATUM: NAVD 88.
 4. ALL DISTANCES SHOWN ARE MEASURED GROUND DISTANCES IN FEET. REFER TO THE ABOVE REFERENCED DOCUMENTS FOR PREVIOUS RECORD DATA.
 5. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & COAR'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
 6. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 7. CONTOUR INTERVAL: 1'.
 8. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.

MATCHLINE (SEE BELOW)

MATCHLINE (SEE ABOVE)



- LEGEND**
- RW- Right-of-way
 - - - Approximate lot line (not surveyed)
 - - - City Limits
 - FD12 = Found 1/2" Rebar
 - FD58 = Found 5/8" Rebar
 - CNTRL = Survey Control
 - ~ 1' Contour Interval
 - FL = Flow Line of Creek/Ditch
 - FNC = Fence Line
 - Asphalt
 - Concrete
 - Gravel Drive
 - EDG = Edge Of Gravel
 - Bundled Power
 - PBOX = Power Box
 - Sewer Main
 - Sewer Service
 - Sewer Manhole
 - 12" Water Main
 - 8" Water Main
 - 4" Water Main
 - Water Service
 - WMTR = Water Meter
 - FH = Fire Hydrant
 - WW = Water Valve
 - SGN = Sign
 - TV Vault
 - GMTR = Gas Meter
 - TVBOX = Cable TV Riser
 - PHBOX = Telephone Riser
 - MB = Mailbox
 - CT = Conifer Tree
 - DT = Deciduous Tree
 - AP = Angle Point
 - BEG = Beginning
 - CLUST = Cluster
 - CMP = Corrugated Metal Pipe
 - EOA = Edge of Asphalt
 - EOC = Edge of Concrete
 - FL = Flow Line
 - IC = Inlet Cap
 - MH = Manhole
 - NC = No Cap
 - NG = Natural Ground
 - PVC = Polyvinyl Chloride Pipe
 - TA = Top of Asphalt
 - TOE = Toe of Slope
 - TOP = Top of Slope



QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS
EXISTING SITE CONDITIONS
 LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M., CITY OF HALEY, BLAINE COUNTY, IDAHO
 PREPARED FOR: CITY OF HALEY



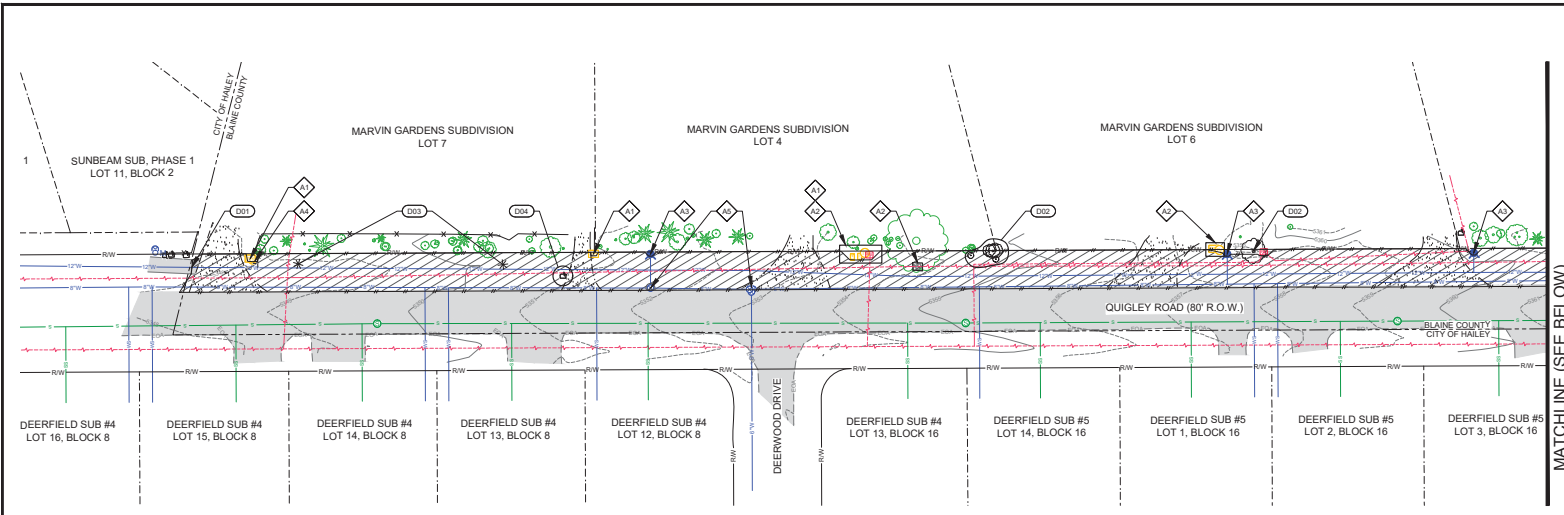
DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: RCB
 SURVEY DATE: 05/24/23

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 www.benchmark-engineering.com

NO.	DATE	BY	REVISIONS

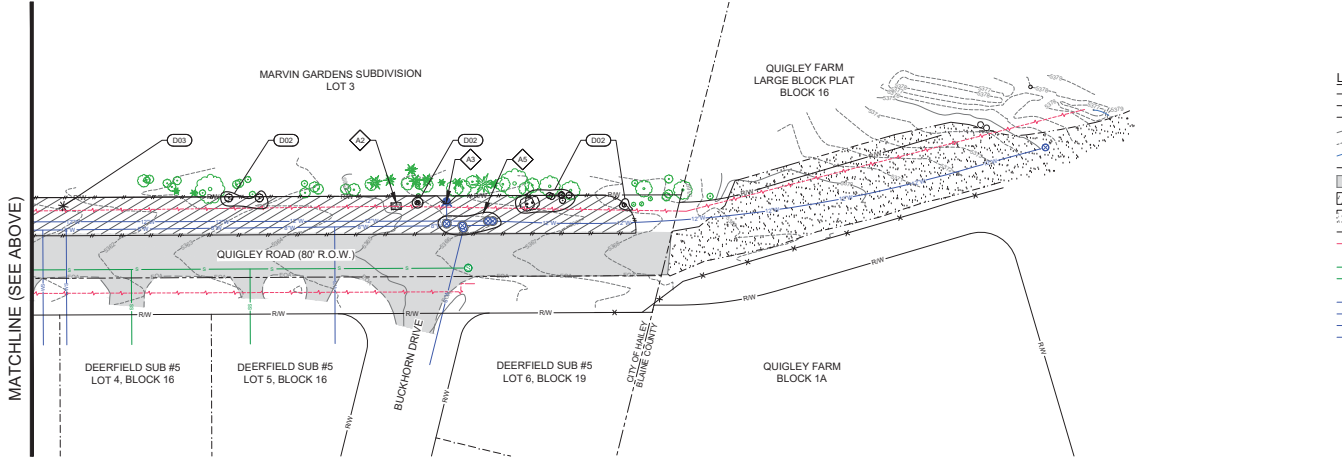
PURPOSE: TOPOGRAPHIC MAP
 C0.20

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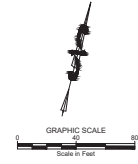
- SITE DEMOLITION KEY NOTES**
- SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - ⊗ REMOVE AND DISPOSE OF TREES AND ROOT BALLS.
 - ⊘ GENERAL SITE CLEARING AND GRUBBING.
 - ⊠ REMOVE AND RETAIN MAILBOX FOR FUTURE REUSE. CONTRACTOR TO COORDINATE ACTIVITY WITH OWNER. REFER TO SHEET C1.20, KEY NOTE S06 FOR RE-INSTALLATION NOTES.
 - ⬠ RETAIN AND PROTECT
 1. UTILITY RISERS - BOXES
 2. UTILITY VAULT
 3. FIRE HYDRANT
 4. SIGN
 5. WATER VALVE

MATCHLINE (SEE BELOW)



- LEGEND**
- Right-of-way
 - Approximate lot line (not surveyed)
 - City Limits Line
 - 5' Contour Interval
 - 1' Contour Interval
 - Flow Line of Creek/Ditch
 - Fence Line
 - Asphalt
 - Concrete
 - Gravel Drive
 - Edge of Gravel
 - Buried Power
 - Power Box
 - Sewer Main
 - Sewer Service
 - Sewer Manhole
 - 12" Water Main
 - 8" Water Main
 - 6" Water Main
 - Water Service
 - Water Meter
 - Fire Hydrant
 - Water Valve
 - ⊠ Sign
 - ⊗ TV Vault
 - ⊘ Gas Meter
 - ⊠ Cable TV Riser
 - ⊠ Telephone Riser
 - ⊠ MB = Mailbox
 - ⊠ Conifer Tree
 - ⊠ Deciduous Tree

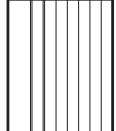
MATCHLINE (SEE ABOVE)



QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS
SITE DEMOLITION PLAN
 LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M., CITY OF HALEY, BLAINE COUNTY, IDAHO
 PREPARED FOR: CITY OF HALEY
 PROJECT INFORMATION
 DRAWN BY: MS
 CHECKED BY: MS
 SURVEY DATE: 05/24/23

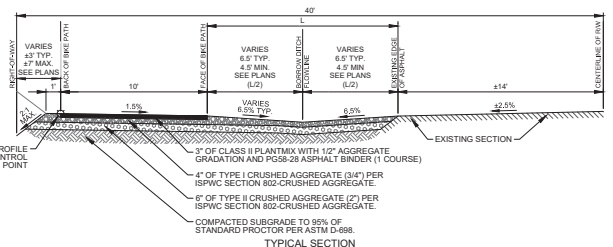


DESIGNED BY: CT
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 CHECKED BY: MS
 SURVEY DATE: 05/24/23
GALENA-BENCHMARK ENGINEERING
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 (307) 739-9313
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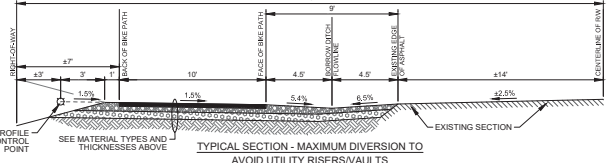


PURPOSE/ISSUE FOR CONSTRUCTION	NO.	DATE	BY	REVISIONS

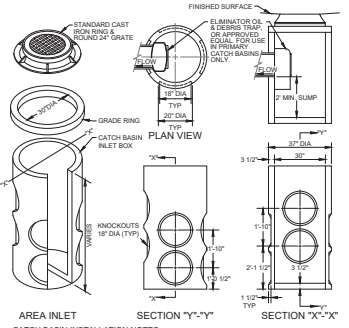
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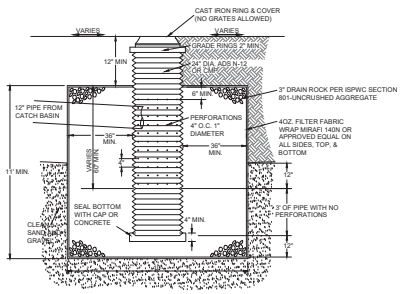
1 TYPICAL BIKE PATH SECTION
N.T.S.



2 TYPICAL SECTION - MAXIMUM DIVERSION TO AVOID UTILITY RISERS/VOLTS
N.T.S.



3 30" DIAMETER PRIMARY CATCH BASIN
N.T.S.

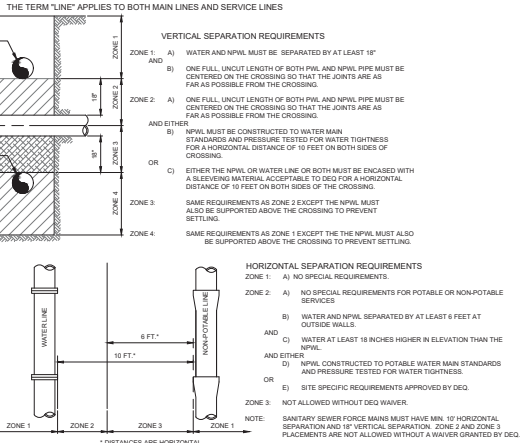


4 CITY OF HAILEY DRYWELL DETAIL
N.T.S.

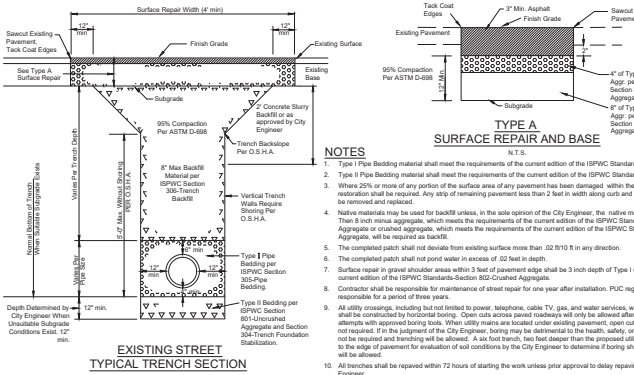
CATCH BASIN INSTALLATION NOTES:

1. PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWIC SECTION 305 - PIPE BEDDING. EXTENDED BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

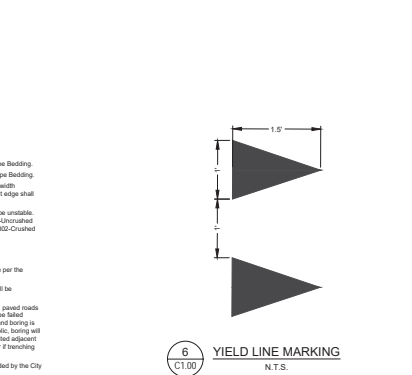
5 30" DIAMETER PRIMARY CATCH BASIN
N.T.S.



6 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



7 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)
N.T.S.



8 YIELD LINE MARKING
N.T.S.

NOTES:

1. Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWIC Standards-Section 305-Pipe Bedding.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWIC Standards-Section 305-Pipe Bedding.
3. When 20% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width reconstruction shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
4. Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the ISPWIC Standards-Section 801-Uncrushed Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISPWIC Standards-Section 802-Crushed Aggregate, will be required as backfill.
5. The completed patch shall not deviate from existing surface more than .02 8/10 in. in any direction.
6. The completed patch shall not pond water in excess of .02 feet in depth.
7. Surface repair in gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISPWIC Standards-Section 802-Crushed Aggregate.
8. Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be allowed.
9. All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. When utility marks are located under existing pavement, open cuts will be allowed and boring is not required. If in the judgment of the City Engineer, boring may be detrimental to the health, safety, or welfare of the public, boring will not be required and trenching will be allowed. A six foot trench, two feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if trenching will be allowed.
10. All trenches shall be repaired within 72 hours of starting the work unless prior approval to delay repairing has been provided by the City Engineer.
11. Concrete Slurry Mix Design:
Coarse Aggregate (3/8" minus) 2,000 lbs
Sand 800 lbs
Cement 94 lbs (max)
Water 11 gals (max)

9 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)
N.T.S.

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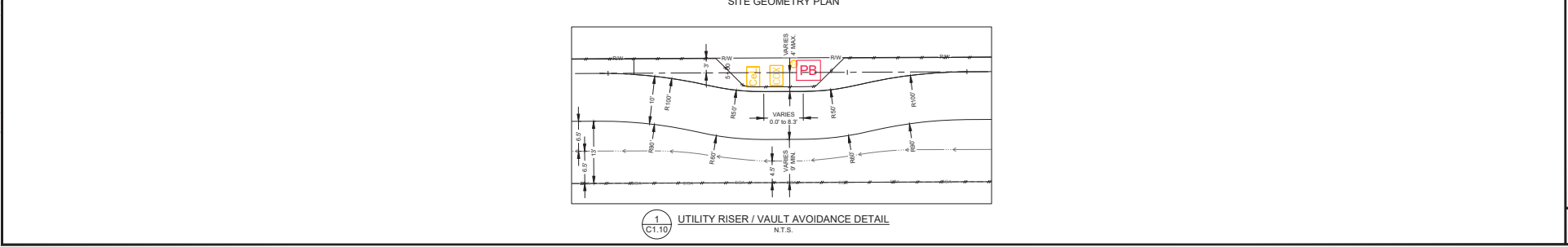
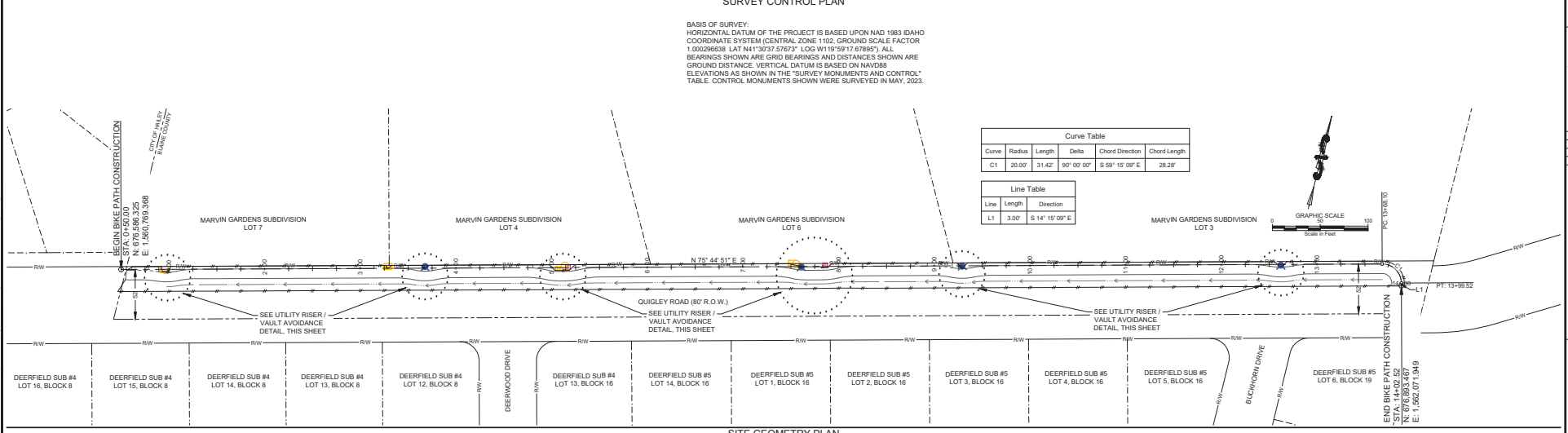
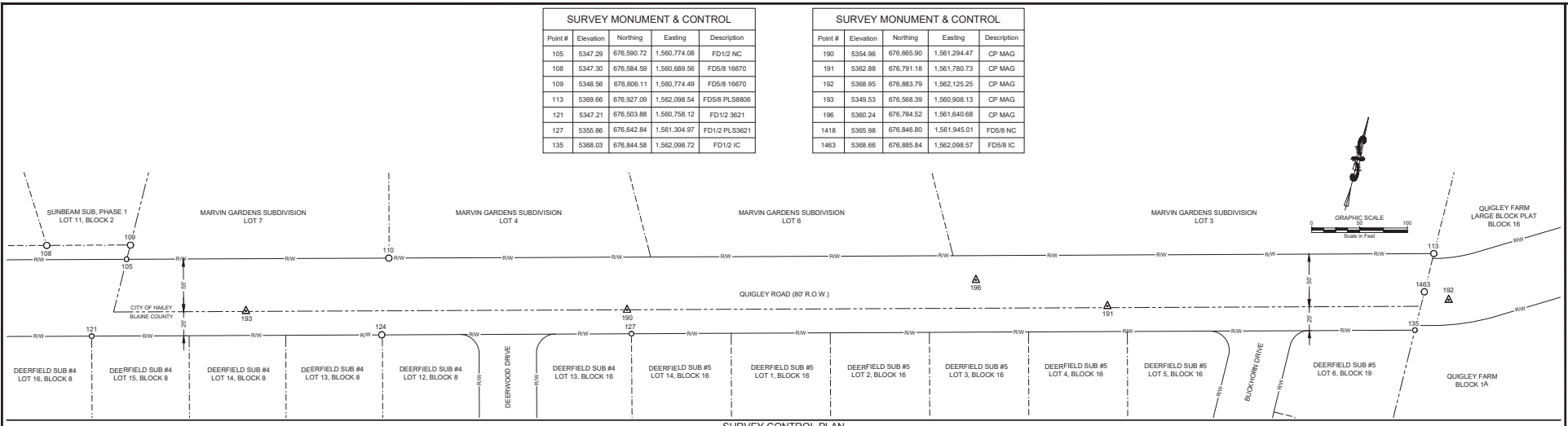
QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS
DETAIL SHEET
CITY OF HAILEY DRYWELL DETAIL
LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M. CITY OF HAILEY, BEAUNE COUNTY, IOWA
PREPARED FOR CITY OF HAILEY

DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS
SURVEY DATE: 05/24/23

GALENA-BENCHMARK ENGINEERING
1001 Main Street
Galena, MO 64530
(208) 720-9112
www.galenabenchmark.com

PURPOSE: ISSUE FOR CONSTRUCTION
NO. DATE BY REVISIONS

C1.00



QUIGLEY ROAD
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS
SURVEY CONTROL PLAN AND SITE GEOMETRY PLAN
 LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M., CITY OF HALEY, BLAINE COUNTY, IDAHO
 PREPARED FOR CITY OF HALEY

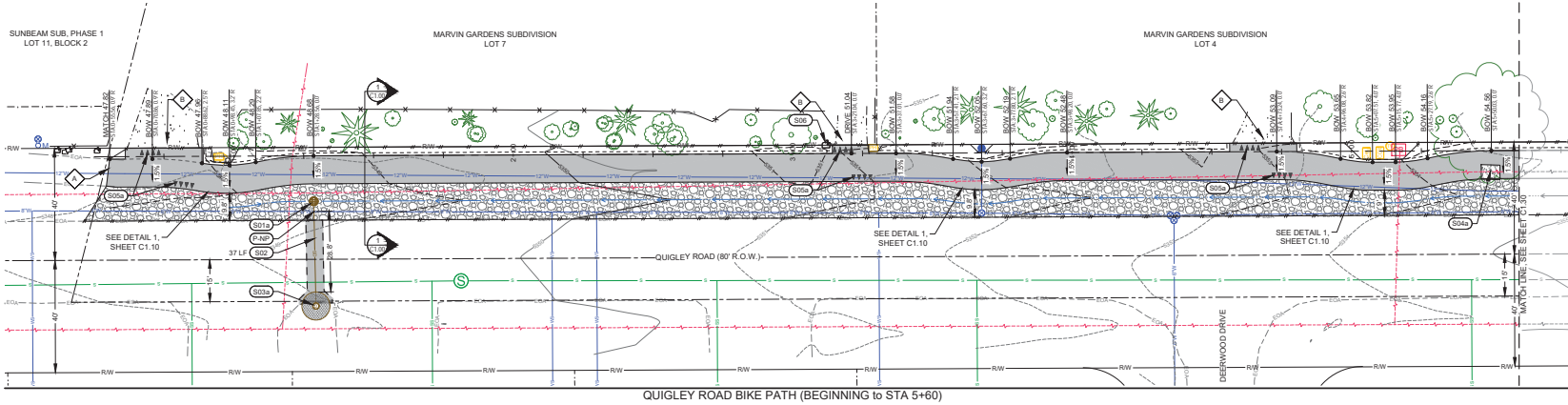
PROJECT INFORMATION
 DRAWN BY: CT
 CHECKED BY: RB
 SURVEY DATE: 05/24/23

DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: RB
 SURVEY DATE: 05/24/23

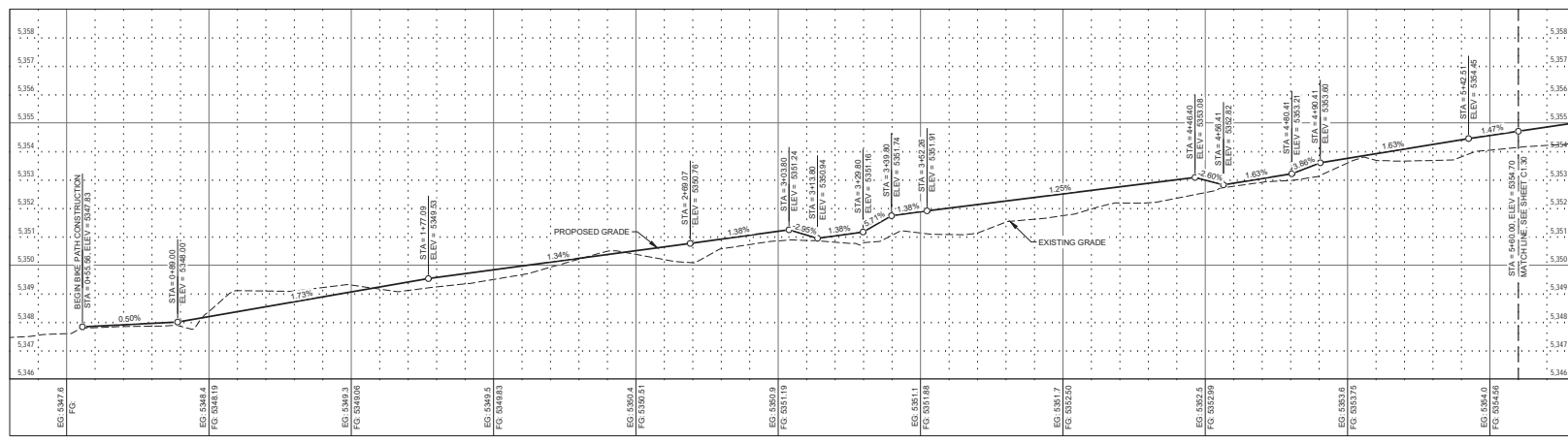
GALENA - BENCHMARK ENGINEERING
 1000 1/2 N. 1st Street, Suite 100
 Boise, Idaho 83702
 (208) 726-8512
 www.galenabenchmark.com

PURPOSE: ISSUE FOR CONSTRUCTION
 NO. DATE BY REVISIONS

C1.10



- SITE IMPROVEMENT KEY NOTES**
- S21** INSTALL CATCH BASIN, SEE DETAIL 2 / C1.20.
 - a. STA = 5348.36, 5348.16, 5348.12 R.
 - RM = 5348.36
 - I.E. (CUT) = 5343.35
 - S22** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 5 / C1.10 FOR TRENCHING AND SURFACE REPAIR.
 - S23** INSTALL DRYWELL. REFER TO DETAIL 3 / C1.00.
 - a. STA = 5348.19, 5348.17 R
 - RM = 5348.19
 - I.E. (IN) = 5344.62
 - NEW RM = 5344.44
 - S24** RESET UTILITY BOX/ VAULT LID ELEVATION.
 - a. POWER VAULT
 - ORIGINAL RM = 5333.76
 - NEW RM = 5344.44
 - S25** CONTRACTOR TO COORDINATE WITH UTILITY FRANCHISE TO PROVIDE FOR A TRAFFIC RATED PEDESTRIAN FRIENDLY LID / COVER.
 - S26** INSTALL ROAD PAINT / SYMBOL.
 - a. WHITE FIELD LINE. SEE DETAIL 8 / C2
 - S27** RE-INSTALL MAIL BOX FROM DEMOLITION ITEM. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH THE OWNER, CITY OF HALEY, AND THE LOCAL POST MASTER.
 - P-WP** POTABLE / NON-POTABLE WATER LINE CROSSING. SEE DETAIL 4 / C1.00 FOR SEPARATION REQUIREMENTS.
- LEGEND (Proposed Items)**
- Alignment Control
 - Assumed Centerline of Right-of-way
 - Spot Elevation w/ Station & Offset
 - Grade
 - Edge of Gravel at Back of Path
 - 5' Contour Interval
 - 1' Contour Interval
 - Flow Line of Creek/Ditch
 - Asphalt
 - Gravel
 - Expected Limits of Disturbance
 - MB = Mailbox



BACK OF BIKE PATH PROFILE (BEGINNING TO STA 5+60)
SCALE: 1"=20' H; 1"=2' V

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QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS BIKE PATH PLAN & PROFILE (BEGINNING TO STA 5+60)
LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M. CITY OF HALEY, BEANE COUNTY, IOWA
PROJECT INFORMATION: PROJECT NO. 2023-001, DRAWING NO. C1.20, DATE: 05/24/23, PREPARED FOR: CITY OF HALEY

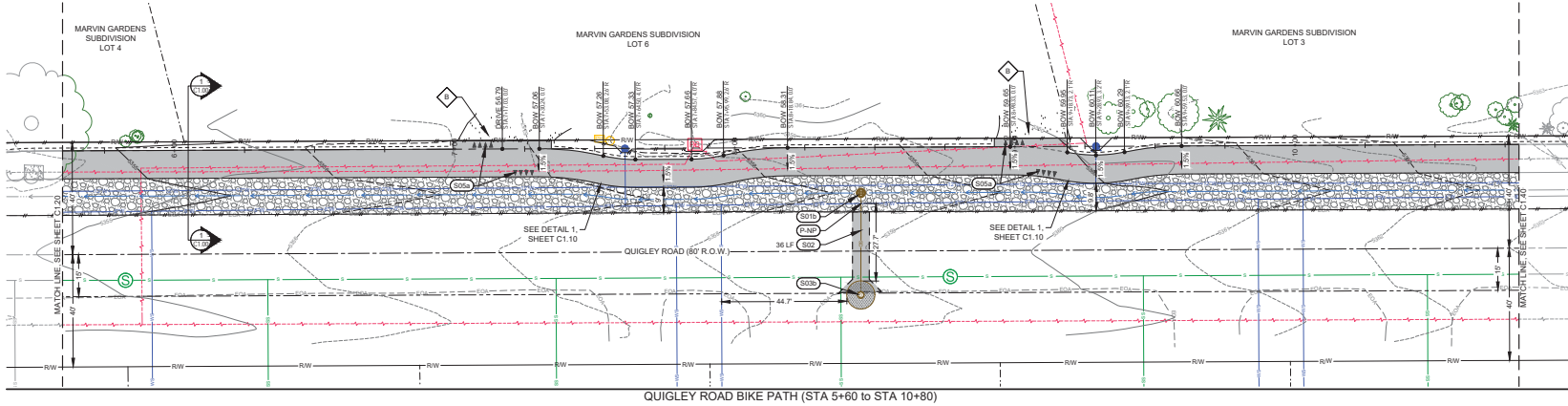


DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS
SURVEY DATE: 05/24/23

GALENA-BENCHMARK ENGINEERING
1000 Oak Drive, Land Shaver
PO Box 100, Galena, Iowa 52630
(319) 726-9812
www.galenabenchmark.com

PURPOSE, ISSUE FOR CONSTRUCTION	NOTED BY	REVISIONS

C1.20

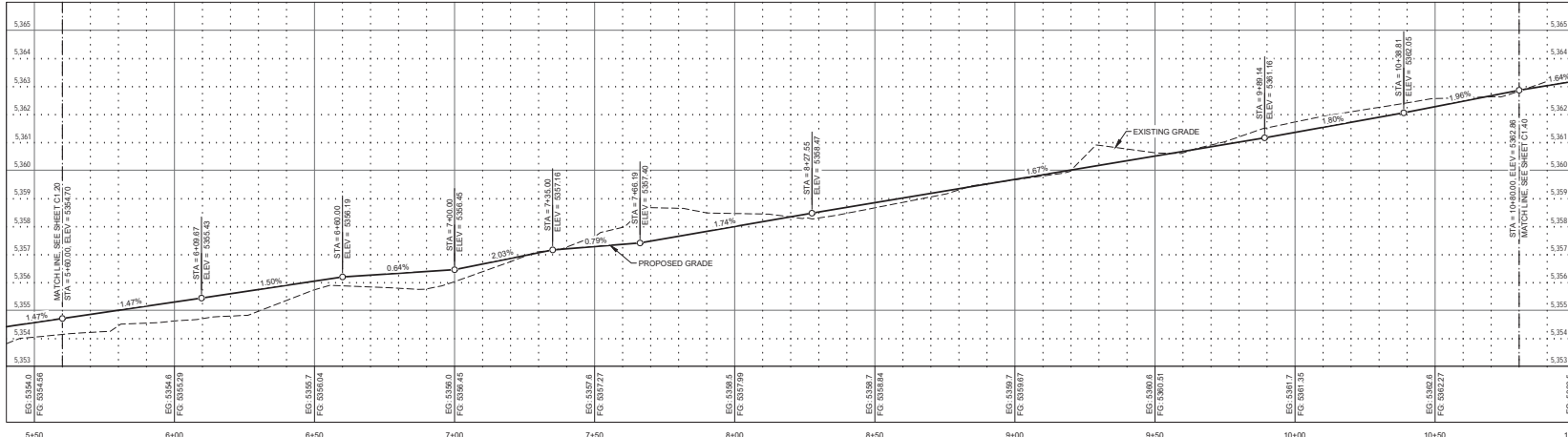


SITE IMPROVEMENT KEY NOTES

- S21** INSTALL CATCH BASIN. SEE DETAIL 2 / C1.20.
a. STA: 8+60.00, 0x 16.3' R.
RM = 5358.07
I.E. (D/I) = 5355.07
- S20** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 5 / C1.10 FOR TRENCHING AND SURFACE REPAIR.
I.E. (D/I) = 5355.07
- S33** INSTALL DRYWELL. REFER TO DETAIL 3 / C1.00.
a. STA: 8+44.79, 0x 52.7' R.
RM = 5358.41
I.E. (IN) = 5354.35
- S32** INSTALL ROAD PAINT / SYMBOL
a. WHITE FIELD LINE. SEE DETAIL 8 / C2
- PWP** POTABLE / NON-POTABLE WATER LINE CROSSING. SEE DETAIL 4 / C1.00 FOR SEPARATION REQUIREMENTS.
- REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.**

LEGEND (Proposed Items)

- Alignment Control
- Assumed Centerline of Right-of-way
- Spot Elevation w/ Station & Offset
- Grade
- 1.5% Edge of Gravel at Back of Path
- 9' Contour Interval
- 1' Contour Interval
- Flow Line of Creek/Ditch
- Asphalt
- Gravel
- Expected Limits of Disturbance
- MB = Mailbox



BACK OF BIKE PATH PROFILE (STA 5+60 to STA 10+80)
SCALE: 1"=20' H; 1"=2' V

REUSE OF DRAWINGS: These drawings are not to be used for any project or application of this nature without the express written consent of the engineer. Galena-Benchmark Engineering, Inc.

QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS BIKE PATH PLAN & PROFILE (STA 5+60 to STA 10+80)
 LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M. CITY OF HALEY, BAILEY COUNTY, DAKOTA
 PREPARED FOR CITY OF HALEY

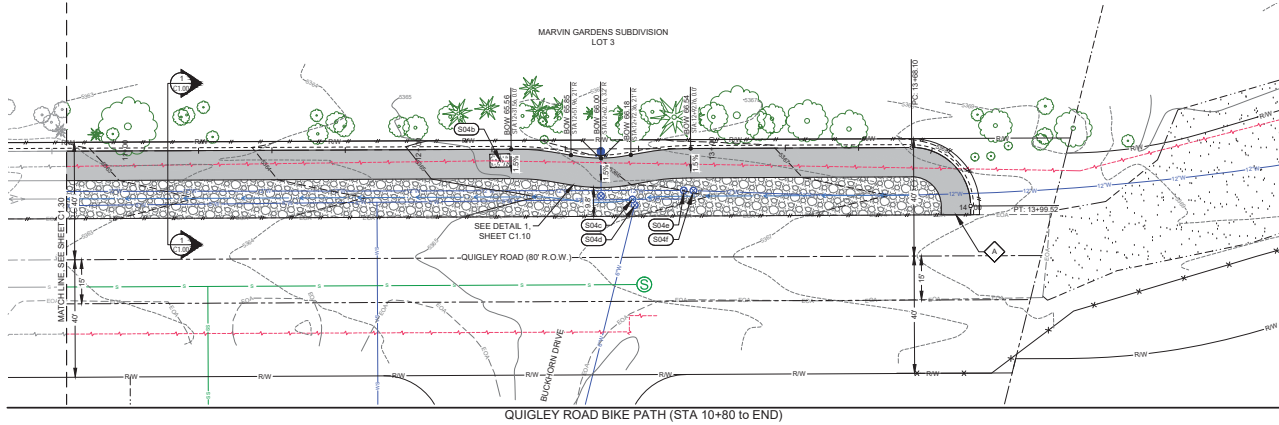


DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS
 SURVEY DATE: 05/24/23

GALENA-BENCHMARK ENGINEERING
 1000 14th Street, Suite 200
 Grand Forks, ND 58201
 (701) 775-9612
 www.galenabenchmark.com

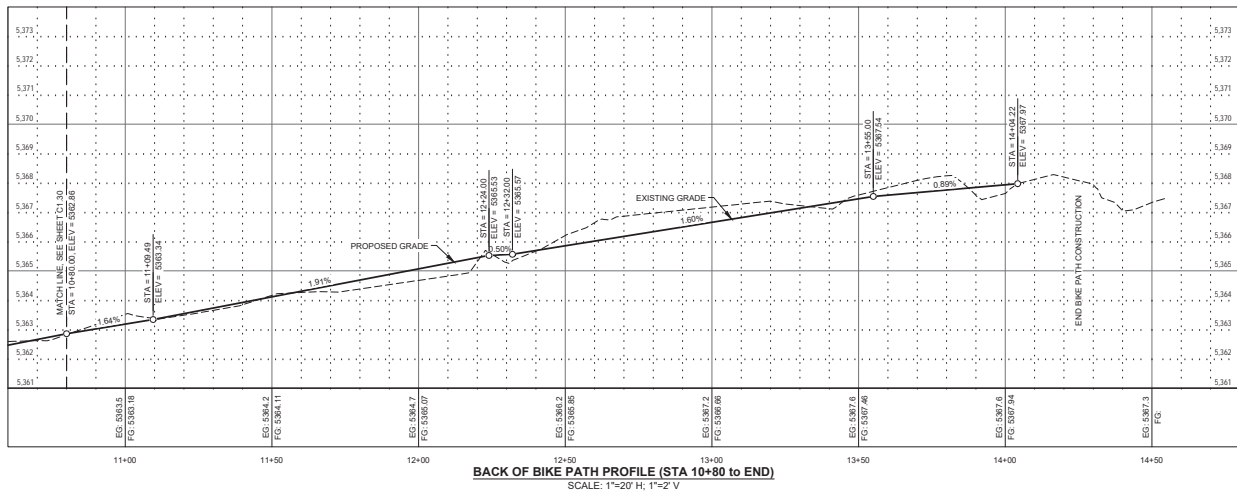
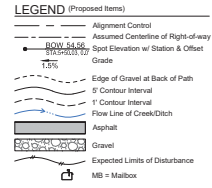
PURPOSE / ISSUE FOR CONSTRUCTION	NOT DATE	BY	REVISIONS

C1.30



SITE IMPROVEMENT KEY NOTES

- a. RESET UTILITY BOX (VAULT) TO ELEVATION
- b. POWER VAULT
ORIGINAL RIM = 5365.22
NEW RIM = 5365.49
- c. CONTRACTOR TO COORDINATE WITH UTILITY FRANCHISE TO PROVIDE FOR A TRAFFIC-RATED PEDESTRIAN FRIENDLY LID / COVER.
- d. WATER VALVE BOX
ORIGINAL RIM = 5365.53
NEW RIM = 5365.63
- e. WATER VALVE BOX
ORIGINAL RIM = 5365.61
NEW RIM = 5365.76
- f. WATER VALVE BOX
ORIGINAL RIM = 5365.76
NEW RIM = 5366.01
- g. WATER VALVE BOX
ORIGINAL RIM = 5365.86
NEW RIM = 5366.06



BACK OF BIKE PATH PROFILE (STA 10+80 to END)
SCALE: 1"=20' H; 1"=2' V

QUIGLEY ROAD BIKE PATH PROJECT 2023
AT DEERFIELD SUBD. NO. 3 & 4, AND MARVIN GARDENS BIKE PATH PLAN & PROFILE (STA 10+80 to END)
LOCATED WITHIN SECTION 10, T.2 N., R.18 E., S.M., CITY OF HALEY, BANE COUNTY, IOWA
PREPARED FOR CITY OF HALEY



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS
SURVEY DATE: 05/24/23

GALENA - BENCHMARK ENGINEERING
1000 Oak Drive & Land Services
GALENA, IOWA 52601
(319) 726-8512
www.benchmark-engineering.com

PURPOSE / ISSUE FOR CONSTRUCTION	DATE	BY	REVISIONS

C1.40

REUSE OF DRAWINGS: These drawings are not to be used for any project or extension of this project unless specifically written and signed by the Engineer.

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 9/25/23

DEPARTMENT: PW

DEPT. HEAD SIGNATURE: BY

SUBJECT: Motion to adopt Resolution 2023-____, ratifying the Mayor’s signature on an IDWR diversion application, and update on Water Right 37-22019. **ACTION ITEM**

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

On 06/12/23, Council approved the water right transfer submittal to IDWR for water right 37-22019. Said transfer is now proceeding through the approval process, but in order to compete the process IDWR requested the City submit a new application to combine all “points of diversion” for our municipal wells into a single description, which is the “municipal service area” (city boundary). In order to continue prompt processing of right 37-22019 staff secured the mayor’s signature for the diversion application which is now attached hereto for ratification of her signature. In addition, staff would like to elaborate on the reason for the original application to transfer water right 37-22019.

Water Right 37-22019 was originally applicable to the Woodside Subdivision(s) from Fox Acres Road south to the southern end of the City and was transferred to the City. Since that time, the City has commonly deposited the right into the water bank. With the creation of the Big Wood River Ground Water Management Area we are being assessed increased annual fees against this right (which primarily resides within the water bank with minimal revenue), and in FY 2023 we were assessed \$39,510 by the Galena Ground Water District. The right is currently in the water bank with the lease expiring on 12/31/2025.

The water right is significant in both diversion and volume. The diversion rate is 8.78 cfs. By comparison, the effective diversion rate for Indian Creek Springs is 2.62 cfs plus all of our Municipal ground water well diversion rates of 14.23 cfs resulting in a total of 16.85 cfs. Conversion of the 37-22019 right from ground water/irrigation to municipal increases our available municipal pumping right by 52% while eliminating the annual BWRGWMA assessment. While the diversion rate of the water right will stay the same, the volume of the right will be reduced from approximately 1593.5 acre-feet to approximately 842 acre-feet in the transfer process.

IDWR has advertised this right for transfer, no objections have been filed, and that timeline to oppose the transfer has now expired. With the diversion application we are therefore ready to await IDWR final approval and authorization. However, since the right is currently in the water bank the transfer may not be complete until that lease has expired unless we can find a way to prematurely revoke the lease. If we cannot revoke, we will continue to pay the BWRGWMA assessment until conversion.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS: Caselle # _____
Budget Line Item # _____ YTD Line-Item Balance \$ _____
Estimated Hours Spent to Date: _____ Estimated Completion Date: _____
Staff Contact: _____ Phone # _____
Comments: _____

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

- | | | |
|---|--|---|
| <input type="checkbox"/> City Administrator | <input type="checkbox"/> Library | <input type="checkbox"/> Benefits Committee |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Mayor | <input type="checkbox"/> Streets |
| <input type="checkbox"/> City Clerk | <input type="checkbox"/> Planning | <input type="checkbox"/> Treasurer |
| <input type="checkbox"/> Building | <input type="checkbox"/> Police | <input type="checkbox"/> Wastewater |
| <input type="checkbox"/> Engineer | <input checked="" type="checkbox"/> Public Works | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Fire Dept. | <input type="checkbox"/> P & Z Commission | <input type="checkbox"/> _____ |

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Motion to adopt Resolution 2023-____, ratifying the Mayor’s signature on an IDWR diversion application, and update on Water Right 37-22019. **ACTION ITEM**

ADMINISTRATIVE COMMENTS/APPROVAL:

City Administrator _____ Dept. Head Attend Meeting (circle one) Yes No

ACTION OF THE CITY COUNCIL:

Date _____

City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record

Copies (all info.):

Instrument # _____

*Additional/Exceptional Originals to: _____

Copies (AIS only)

**CITY OF HAILEY
RESOLUTION NO. 2023-___**

**RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF HAILEY TO RATIFY
THE AUTHORIZATION OF AN IDWR DIVERSION APPLICATION OF WATER
RIGHT 37-22019.**

WHEREAS, the City of Hailey ratifies an IDWR diversion application for Water Right No. 37-22019,

WHEREAS, the City of Hailey agrees to the terms and conditions of the application, copy of which is attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, that the City of Hailey ratifies the IDWR diversion application and that the Mayor's signature on the attached application is hereby authorized.

Passed this 25th day of September, 2023.

City of Hailey

Martha Burke, Mayor

ATTEST:

Mary Cone, City Clerk



September 15, 2023

Corey Skinner
IDWR Southern Region Office
650 Addison Ave W, Ste 500
Twin Falls, ID 83301-5858

Subject: *Application for Transfer – City of Hailey*

Dear Corey,

Per your request, enclosed on behalf of City of Hailey, is an *Application for Transfer* proposing an integrated ground water system for the City's municipal ground water rights. The \$1,620 filing fee is being paid with a credit card upon submittal.

Thank you very much for your consideration and assistance in this matter. Please call me if you have any questions.

Sincerely,

HDR Engineering, Inc.

Lori Graves

Lori Graves
Sr. Water Rights Specialist

Cc: Brian Yeager, Mike Lawrence

Enclosures: transfer application

STATE OF IDAHO DEPARTMENT OF WATER RESOURCES

APPLICATION FOR TRANSFER OF WATER RIGHT – POINT(S) OF DIVERSION

This form may be used to apply to change and/or add points of diversion for existing water rights and to report an ownership change for a water right(s) in connection with the proposed point of diversion change(s). Do not use this form to apply for changes to other elements of a water right. See the Application for Transfer Instructions for help completing this form and for mailing addresses of Department offices where your application can be submitted.

Check all that apply:

- Change diversion point(s) Add diversion point(s) Ownership change Ownership split Transfer is for changes pursuant to Idaho Code § 42-221.O.8. Attach an explanation and any supporting documentation.

1. APPLICANT(S) City of Hailey Phone 208-788-4221

2. MAILING ADDRESS 115 S Main St City Hailey

State ID Zip 83333 Email Brian.yeager@haileycityhall.org

- If the applicant is not an individual and not registered to do business in the State of Idaho, attach documentation identifying officers authorized to sign for the applicant. If the applicant is not the current water right(s) owner, attach documentation of authority to file the application. If the application includes a change in ownership of water right(s), attach a copy of the conveyance document, such as a warranty deed, court decree, contract of sale, etc. The conveyance document must include a legal description of the property conveyed or description of the water right if no land is conveyed. Additional fee(s) are required for water right ownership changes; see Item 9 for the fee schedule.

If the ownership change resulted in the water right(s) being split, how did the division occur? Mark one:

- The water rights or claims were divided as specifically identified in a deed, contract, or other conveyance document. The water rights or claims were divided proportionately based on the portion of their place(s) of use acquired by the new owner.

- If the application is not signed by the applicant, attach a Power of Attorney or other documentation providing authority to sign for the applicant.

3. LIST WATER RIGHT NUMBER(S) 37-2698, 37-2699, 37-7305, 37-8837, 37-22670, 37-22671

- Attach a copy of the water right(s) as recorded, available at idwr.idaho.gov, Water Right Transfers, Step 1, or by contacting any Department office.

4. TOTAL AMOUNT OF WATER transferred is 14.23 cubic feet per second and/or (diversion rate) acre-feet per annum. (storage volume)

5. POINT OF DIVERSION – Describe all the point(s) of diversion to be included on the water right(s) after the proposed change.

- Attach Eastern Snake Plain Aquifer (ESPA) analysis if this transfer proposes to change a point of diversion affecting the ESPA. ESPA analysis information is available at idwr.idaho.gov, Water Rights, Water Right Transfers, Modeling Resources.

Table with 11 columns: New?, Lot, 1/4, 1/4, 1/4, Sec, Twp, Rge, County, Source, Local name or tag #. Contains 7 rows of data for water rights in Blaine, ID.

6. GENERAL INFORMATION

a. Describe the complete diversion system, including how you will accommodate a measuring device and lockable controlling works should they be required now or in the future:

All existing wells divert into an integrated municipal water distribution system and are equipped with totalizing flow meters. The proposed well will be equipped accordingly.

b. Who owns the property at the point(s) of diversion? City of Hailey
 If other than the applicant, describe the arrangement enabling the applicant to access the property for the diversion system:

c. To your knowledge, has/is any portion of the water right(s) proposed to be changed:

Yes No

- undergone a period of five or more consecutive years of non-use,
- currently used in a mitigation plan limiting the use of water under the right(s), or
- currently enrolled in a Federal set-aside program limiting the use of water under the right(s)?

If yes, describe:

d. Is any portion of the water right(s) proposed to be changed currently leased to the Water Supply Bank? Yes No

- If yes and there are multiple owners, attach a Lessor Designation form.
- If yes, the individual owner or designated lessor must complete, sign and attach an IRS Form W-9.
 (Disregard if these items are on file and ownership has not changed.)

7. MAP – Attach a map of the diversion, measurement, control and distribution system. Include the place of use if a split of the water right occurred. Clearly label the map with township, range, section and ¼ ¼ of section information. You may create a map at idwr.idaho.gov, Water Rights, Water Right Transfers, File a Transfer Application, Step 2C.

8. SIGNATURE – The information in this application is true to the best of my knowledge. I understand any willful misrepresentations in this application may result in rejection of the application or cancellation of an approval.

Martha Burke MARTHA BURKE, Mayor 9/15/23
 Signature of applicant or authorized agent First name and title if applicable Date

[Signature] [Signature] [Signature]
 Signature of applicant or authorized agent First name and title if applicable Date



9. FEE – The application filing fee provided in Idaho Code § 42-221.O, must be submitted with the application for transfer. Applications for changes pursuant to Idaho Code § 42-221.O.8. require a filing fee of \$50 per water right. All other application fees are based on the total amount of water proposed for transfer in Item 4: the larger fee for either cubic feet per second (diversion rate) or acre-feet per annum (storage volume). The Fee Schedule is available at www.idwr.idaho.gov, Water Right Transfers, Step 4 and in the Application for Transfer Instructions.

FOR DEPARTMENT USE ONLY

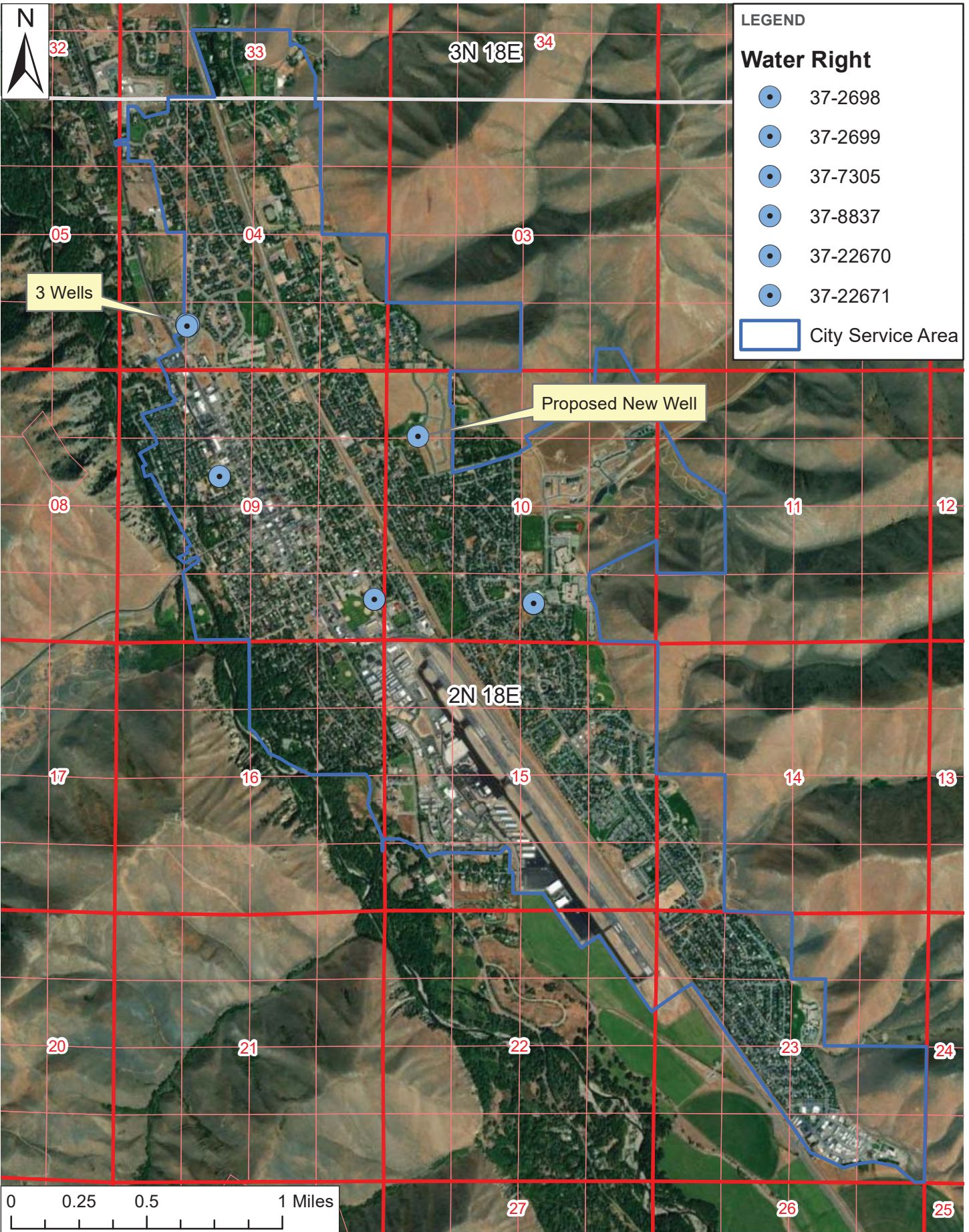
Transfer includes 22 pages of attachments. Received by KM Date 9-15-23

Fee paid 1620 Date 9-15-23 Received by KM Receipt # 2110751

Preliminary review by _____ Date _____ Active in the Water Supply Bank? Yes No

W-9 received? Yes No Name on W-9 _____ W-9 forwarded to fiscal? Yes No

(Do NOT scan the W-9 – confidential information is held by fiscal only)



LEGEND

Water Right

- 37-2698
- 37-2699
- 37-7305
- 37-8837
- 37-22670
- 37-22671

□ City Service Area



**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-2698

Current Owner: CITY OF HAILEY
 Priority Date: 10/29/1964
 Origin: Water Right
 Status: Active
 Basis: Decreed

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
MUNICIPAL	1/01 to 12/31	2.56 CFS	
	<u>Total Diversion</u>	2.56 CFS	

Location of Point(s) of Diversion

GROUND WATER BLAINE County	SE1/4SW1/4	Sec. 4, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4NW1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SE1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SW1/4SE1/4	Sec. 10, Twp 02N, Rge 18E B.M.

Place of Use

MUNICIPAL Within BLAINE County

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
T02N R18E S15		SENW	T02N R18E S15		NESW
T02N R18E S15		NWSW	T02N R18E S15		SWSW
T02N R18E S15		SESW	T02N R18E S15		NESE
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T02N R18E S15		SESE	T02N R18E S16		NENE
T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S22		NENE	T02N R18E S22		NWNE
T02N R18E S22		SENE	T02N R18E S23		NWNE
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T02N R18E S23		NESE	T02N R18E S23		NWSE
T02N R18E S23		SWSE	T02N R18E S23		SESE
T03N R18E S33		SESW	T03N R18E S33		SWSE

Conditions of Approval:

1. Prior to diversion of water under this approval, the right holder shall provide a means of measurement acceptable to the department from all authorized points of diversion which will allow determination of the total rate of diversion.
2. The total instantaneous diversion of water from all points of diversion under transfer no. 4508 shall not exceed 7.18 cfs.
3. Prior to diversion of water under this approval, the right holder shall provide a means of measurement acceptable to the department from all authorized points of diversion which will allow determination of the total rate of diversion.
4. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.
5. T07 The right holder shall accomplish the change authorized by this transfer within one year of the date of this approval.
6. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
7. 004 This right does not grant any right-of-way or easement across the land of another.

Decreed Date: 9/24/2010

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-2699

Current Owner: CITY OF HAILEY

Priority Date: 8/11/1964

Origin: Water Right

Status: Active

Basis: Decreed

Source

Tributary

GROUND WATER

Beneficial Use

From To

Diversion Rate

Annual Volume

MUNICIPAL

1/01 to 12/31

2 CFS

Total Diversion

2 CFS

Location of Point(s) of Diversion

GROUND WATER

SW1/4SE1/4

Sec. 10, Twp 02N, Rge 18E B.M.

BLAINE County

GROUND WATER

SE1/4SE1/4

Sec. 9, Twp 02N, Rge 18E B.M.

BLAINE County

GROUND WATER

SE1/4SW1/4

Sec. 4, Twp 02N, Rge 18E B.M.

BLAINE County

GROUND WATER

SE1/4NW1/4

Sec. 9, Twp 02N, Rge 18E B.M.

BLAINE County

Place of Use

MUNICIPAL Within BLAINE County

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
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T02N R18E S15		NWSW	T02N R18E S15		SWSW
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T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S22		NENE	T02N R18E S22		NWNE
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T02N R18E S23		SWNE	T02N R18E S23		SENE
T02N R18E S23		NENW	T02N R18E S23		NWNW
T02N R18E S23		SWNW	T02N R18E S23		SENW
T02N R18E S23		NESW	T02N R18E S23		SESW
T02N R18E S23		NESE	T02N R18E S23		NWSE
T02N R18E S23		SWSE	T02N R18E S23		SESE
T03N R18E S33		SESW	T03N R18E S33		SWSE

Conditions of Approval:

1. The total instantaneous diversion of water from all points of diversion under transfer no. 4508 shall not exceed 7.18 cfs.
2. Prior to diversion of water under this approval, the right holder shall provide a means of measurement acceptable to the department from all authorized points of diversion which will allow determination of the total rate of diversion.
3. Prior to diversion of water under this approval, the right holder shall provide a means of measurement acceptable to the department from all authorized points of diversion which will allow determination of the total rate of diversion.
4. T07 The right holder shall accomplish the change authorized by this transfer within one year of the date of this approval.
5. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
6. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.
7. 004 This right does not grant any right-of-way or easement across the land of another.

Decreed Date: 9/24/2010

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-7305

Current Owner: CITY OF HAILEY
 Priority Date: 11/4/1973
 Origin: Water Right
 Status: Active
 Basis: Decreed

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
MUNICIPAL	1/01 to 12/31	2.62 CFS	
	<u>Total Diversion</u>	2.62 CFS	

Location of Point(s) of Diversion

GROUND WATER BLAINE County	SE1/4SW1/4	Sec. 4, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SW1/4SE1/4	Sec. 10, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SE1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4NW1/4	Sec. 9, Twp 02N, Rge 18E B.M.

Place of Use

MUNICIPAL Within BLAINE County

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
T02N R18E S15		SENW	T02N R18E S15		NESW
T02N R18E S15		NWSW	T02N R18E S15		SWSW
T02N R18E S15		SESW	T02N R18E S15		NESE
T02N R18E S15		NWSE	T02N R18E S15		SWSE
T02N R18E S15		SESE	T02N R18E S16		NENE
T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S22		NENE	T02N R18E S22		NWNE
T02N R18E S22		SENE	T02N R18E S23		NWNE
T02N R18E S23		SWNE	T02N R18E S23		SENE
T02N R18E S23		NENW	T02N R18E S23		NWNW
T02N R18E S23		SWNW	T02N R18E S23		SENW
T02N R18E S23		NESW	T02N R18E S23		SESW
T02N R18E S23		NESE	T02N R18E S23		NWSE
T02N R18E S23		SWSE	T02N R18E S23		SESE
T03N R18E S33		SESW	T03N R18E S33		SWSE

Conditions of Approval:

1. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
2. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.
3. The total instantaneous diversion of water from all points of diversion under transfer no. 4508 shall not exceed 7.18 cfs.
4. T07 The right holder shall accomplish the change authorized by this transfer within one year of the date of this approval.
5. T17 Prior to diversion of water under this approval, the right holder shall provide a means of measurement acceptable to the department from all authorized points of diversion which will allow determination of the total rate of diversion.
6. 004 This right does not grant any right-of-way or easement across the land of another.

Decreed Date: 9/24/2010

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-8837

Current Owner: CITY OF HAILEY

Priority Date: 9/10/2001

Origin: Water Right

Status: Active

Basis: License

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
MUNICIPAL	01/01 to 12/31	4.67 CFS	
	<u>Total Diversion</u>	4.67 CFS	

Location of Point(s) of Diversion

GROUND WATER BLAINE County	SE1/4SW1/4	Sec. 4, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4NW1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SE1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SW1/4SE1/4	Sec. 10, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SW1/4	Sec. 4, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SW1/4	Sec. 4, Twp 02N, Rge 18E B.M.

Place of Use

MUNICIPAL Within BLAINE County

Page _____ of _____

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
T02N R18E S15		SENW	T02N R18E S15		NESW
T02N R18E S15		NWSW	T02N R18E S15		SWSW
T02N R18E S15		SESW	T02N R18E S15		NESE
T02N R18E S15		NWSE	T02N R18E S15		SWSE
T02N R18E S15		SESE	T02N R18E S16		NENE
T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S16		SENW	T02N R18E S22		NENE
T02N R18E S22		NWNE	T02N R18E S22		SENE
T02N R18E S23		NWNE	T02N R18E S23		SWNE
T02N R18E S23		SENE	T02N R18E S23		NENW
T02N R18E S23		NWNW	T02N R18E S23		SWNW
T02N R18E S23		SENW	T02N R18E S23		NESW
T02N R18E S23		SESW	T02N R18E S23		NESE
T02N R18E S23		NWSE	T02N R18E S23		SWSE
T02N R18E S23		SESE	T03N R18E S33		NESW
T03N R18E S33		SWSW	T03N R18E S33		SESW
T03N R18E S33		NWSE	T03N R18E S33		SWSE

Conditions of Approval:

1. 180 A map depicting the place of use boundary for this water right at the time of this approval is attached to this document for illustrative purposes.
2. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
3. 075 Irrigation of large projects such as parks, golf courses, or sports activities fields is not authorized under this right.
4. 022 The daily diversion volume for non-domestic uses under this municipal right shall not exceed 2,500 gallons per use and the daily diversion volume for domestic uses under this right shall not exceed 13,000 gallons per dwelling in accordance with Section 42-111, Idaho Code.
5. The maximum combined diversion rate from the three points of diversion located in Township 2 North, Range 18 East, Section 4, SESW, shall not exceed 4.67 cfs.
6. 01M After specific notification by the Department, the right holder shall install a suitable measuring device or shall enter into an agreement with the Department to use power records to determine the amount of water diverted and shall annually report the information to the Department.

Licensed Date: 7/15/2010

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-22670

Current Owner: CITY OF HAILEY

Priority Date: 11/1/1907

Origin: Water Right

Status: Active

Basis: Decreed

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
MUNICIPAL	01/01 to 12/31	1.78 CFS	
	<u>Total Diversion</u>	1.78 CFS	

Location of Point(s) of Diversion

GROUND WATER BLAINE County	SE1/4NW1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SE1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SW1/4SE1/4	Sec. 10, Twp 02N, Rge 18E B.M.

Place of Use

MUNICIPAL Within BLAINE County

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
T02N R18E S15		SENW	T02N R18E S15		NESW
T02N R18E S15		NWSW	T02N R18E S15		SWSW
T02N R18E S15		SESW	T02N R18E S15		NESE
T02N R18E S15		NWSE	T02N R18E S15		SWSE
T02N R18E S15		SESE	T02N R18E S16		NENE
T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S22		NENE	T02N R18E S22		NWNE
T02N R18E S22		SENE	T02N R18E S23		NWNE
T02N R18E S23		SWNE	T02N R18E S23		SENE
T02N R18E S23		NENW	T02N R18E S23		NWNW
T02N R18E S23		SWNW	T02N R18E S23		SENW
T02N R18E S23		NESW	T02N R18E S23		SESW
T02N R18E S23		NESE	T02N R18E S23		NWSE
T02N R18E S23		SWSE	T02N R18E S23		SESE
T03N R18E S33		SESW	T03N R18E S33		SWSE

Conditions of Approval:

1. C03 Right includes accomplished change in point of diversion pursuant to Section 42-1425, Idaho Code.
2. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
3. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.
4. 208 To the extent necessary for administration between points of diversion for ground water, and between points of diversion for ground water and hydraulically connected surface sources, ground water was first diverted under this right from the Cramer Water Company Well located in T02N, R18E, S09, SENW.

Decreed Date: 10/17/2012

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-22671

Current Owner: CITY OF HAILEY

Priority Date: 9/1/1931

Origin: Water Right

Status: Active

Basis: Decreed

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
MUNICIPAL	01/01 to 12/31	0.6 CFS	
	<u>Total Diversion</u>	0.6 CFS	

Location of Point(s) of Diversion

GROUND WATER BLAINE County	SE1/4NW1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SE1/4SE1/4	Sec. 9, Twp 02N, Rge 18E B.M.
GROUND WATER BLAINE County	SW1/4SE1/4	Sec. 10, Twp 02N, Rge 18E B.M.

Place of Use

MUNICIPAL Within BLAINE County

T02N R18E S3		SWSW	T02N R18E S3		SESW
T02N R18E S4	Lot 2	NWNE	T02N R18E S4		SWNE
T02N R18E S4		SENE	T02N R18E S4	Lot 3	NENW
T02N R18E S4	Lot 4	NWNW	T02N R18E S4		SWNW
T02N R18E S4		SENW	T02N R18E S4		NESW
T02N R18E S4		NWSW	T02N R18E S4		SWSW
T02N R18E S4		SESW	T02N R18E S4		NESE
T02N R18E S4		NWSE	T02N R18E S4		SWSE
T02N R18E S4		SESE	T02N R18E S5	Lot 1	NENE
T02N R18E S9		NENE	T02N R18E S9		NWNE
T02N R18E S9		SWNE	T02N R18E S9		SENE
T02N R18E S9		NENW	T02N R18E S9		NWNW
T02N R18E S9		SWNW	T02N R18E S9		SENW
T02N R18E S9		NESW	T02N R18E S9		NWSW
T02N R18E S9		SESW	T02N R18E S9		NESE
T02N R18E S9		NWSE	T02N R18E S9		SWSE
T02N R18E S9		SESE	T02N R18E S10		NENW
T02N R18E S10		NWNW	T02N R18E S10		SWNW
T02N R18E S10		SENW	T02N R18E S10		NESW
T02N R18E S10		NWSW	T02N R18E S10		SWSW
T02N R18E S10		SESW	T02N R18E S10		NWSE
T02N R18E S10		SWSE	T02N R18E S10		SESE
T02N R18E S14		NWNW	T02N R18E S14		SWNW
T02N R18E S14		NWSW	T02N R18E S14		SWSW
T02N R18E S14		SESW	T02N R18E S15		NENE
T02N R18E S15		NWNE	T02N R18E S15		SWNE
T02N R18E S15		SENE	T02N R18E S15		NENW
T02N R18E S15		NWNW	T02N R18E S15		SWNW
T02N R18E S15		SENW	T02N R18E S15		NESW
T02N R18E S15		NWSW	T02N R18E S15		SWSW
T02N R18E S15		SESW	T02N R18E S15		NESE
T02N R18E S15		NWSE	T02N R18E S15		SWSE
T02N R18E S15		SESE	T02N R18E S16		NENE
T02N R18E S16		NWNE	T02N R18E S16		SWNE
T02N R18E S16		SENE	T02N R18E S16		NENW
T02N R18E S22		NENE	T02N R18E S22		NWNE
T02N R18E S22		SENE	T02N R18E S23		NWNE
T02N R18E S23		SWNE	T02N R18E S23		SENE
T02N R18E S23		NENW	T02N R18E S23		NWNW
T02N R18E S23		SWNW	T02N R18E S23		SENW
T02N R18E S23		NESW	T02N R18E S23		SESW
T02N R18E S23		NESE	T02N R18E S23		NWSE
T02N R18E S23		SWSE	T02N R18E S23		SESE
T03N R18E S33		SESW	T03N R18E S33		SWSE

Conditions of Approval:

1. 124 Place of use is within the service area of the City of Hailey municipal water supply system as provided for under Idaho Law.
2. 208 To the extent necessary for administration between points of diversion for ground water, and between points of diversion for ground water and hydraulically connected surface sources, ground water was first diverted under this right from the Cramer Water Company Well located in T02N, R18E, S09, SENW.
3. C03 Right includes accomplished change in point of diversion pursuant to Section 42-1425, Idaho Code.
4. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.

Decreed Date: 10/17/2012

CITY OF HAILEY

115 SOUTH MAIN STREET
HAILEY, IDAHO 83333
(208) 788-4221

MOUNTAIN WEST BANK
206 WEST MAIN
HAILEY, IDAHO 83333
92-7195 / 1231

No. ⁵⁵⁷⁸⁷ 55787

One Thousand Three Hundred Ninety and 00/100 Dollars

PAY
TO THE
ORDER
OF

IDAHO DEPT OF WATER RESOURCES
BOX 83720
322 EAST FRONT ST
BOISE ID 83720-0098

DATE
6/12/2023

AMOUNT
\$ **1,390.00**

Marta [Signature]

VOID AFTER 60 DAYS

⑈055787⑈ ⑆123171955⑆32050000075⑈

CITY OF HAILEY

Vendor: 1301 IDAHO DEPT OF WATER RESOURCES

6/12/2023

Check No: 55787 ⁵⁵⁷⁸⁷

INVOICE #	INV DATE	DESCRIPTION	INV AMOUNT
37-22019 R 1	6/05/2023	#37-22019 WATER RIGHT TRANSFER	1,390.00

TOTAL AMOUNT 1,390.00



July 17, 2023

Corey Skinner
IDWR Southern Region Office
2735 Airport Way
Boise, ID 83705

Subject: Application for Transfer – City of Hailey

Dear Corey,

Enclosed on behalf of City of Hailey, is an *Application for Transfer* proposing changes to water right 37-22019. Check #55787 is enclosed for the \$1,390 filing fee.

Thank you very much for your consideration and assistance in this matter. Please call me if you have any questions.

Sincerely,

HDR Engineering, Inc.

Lori Graves

Lori Graves
Sr. Water Rights Specialist

Cc: Brian Yeager, City Public Works Director

Enclosers: transfer application, check

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

Transfer No. _____

MINIMUM REQUIREMENTS CHECKLIST
TO BE SUBMITTED WITH APPLICATION FOR TRANSFER

An application for transfer must be prepared in accordance with the minimum requirements listed below to be acceptable for processing by the Department. Incomplete applications will be returned. The instructions, fee schedule, Part 2A reports and additional Part 2B forms are available from any Department office or on the Department's website at idwr.idaho.gov.

Name of Applicant(s) City of Hailey

Check whether each item below is *attached* (Yes) or *not applicable* (N/A) for the proposed transfer.

Yes N/A * Means the item is always required and must be included with the application.

- * Completed Application for Transfer of Water Right form, Part 1.
- * Signature of applicant(s) or applicant's authorized representative on Application for Transfer Part 1. Include evidence of authority labeled Attachment #3 (see below) if signed by representative.
- * Application for Transfer Part 2A. Attach a [Part 2A](#) report describing each water right in the transfer as currently recorded.
- Complete and attach an Application for Transfer [Part 2B](#) for each water right for which only a portion is proposed to be changed through this transfer application.
- * Application for Transfer Part 3A is always required (see Attachment #7a below); Parts 3B and 3C must be completed for transfer applications proposing to change the nature of use of the water right(s) or proposing changes to supplemental right(s).
- * Correct fee submitted with transfer application form. ([Fee schedule](#) is on website and instructions for application for transfer.)

Attachments to Application - Label each attachment with the corresponding number shown below as Attachment #1-10.

- #1 If the applicant is a business, partnership, organization, or association, and not currently registered in the State of Idaho as a business entity, attach documentation identifying officers authorized to sign or act on behalf of right holder. (See Part 1.)
- #2a Water Right ownership documentation if Dept. records do not show the applicant as the current water right owner. **
- #2b If the ownership of the water right will change as a result of the proposed transfer to a new place of use, attach documentation showing land and water right ownership at the new place of use. Include documentation for all affected land and owner(s).**
** Additional fee(s) required for water right ownership changes; see fee schedule.
- #3 Documentation of authority to make the change if the applicant is not the water right owner.
- #4 Power of Attorney or documentation providing authority to sign or act on the applicant's behalf. (See Part 1.)
- #5 If the transfer application proposes to change the point of diversion for a water right affecting the Eastern Snake Plain Aquifer (ESPA), attach the results of an ESPA analysis and a detailed mitigation plan to offset any depletions to hydraulically connected reaches of the Snake River. ESPA transfer spreadsheet and model grid labeled cells are available on the Department's website at <https://idwr.idaho.gov/water-rights/transfers/resources/>.
- #6 Notarized statement of agreement or a statement on official letterhead signed by an authorized representative from each lien holder or other entity with financial interest in the water right(s) or land affected by the proposed transfer. (See Part 1.5.c.)
- * #7a Attach a map identifying the proposed point(s) of diversion, place(s) of use, and water diversion and distribution system details as described on the application. Include legal description labels. If only a portion of the right is proposed to be changed, identify the current location of the part of the existing right(s) proposed to be changed. (See Part 3A.)
- #7b If the transfer application proposes to change the place or purpose of use of an irrigation right attach a Geographic Information System ([GIS](#)) shape file, or an aerial photo or other image clearly delineating the location and extent of existing acres and changes to the place of use. If some or all of any right is leased to the Water Supply Bank, you must also show the the specific location and/or acres to be idled at the new, proposed place of use to satisfy lease requirements.
- #8a If the transfer application proposes to change the nature of use or period of use for one or more rights, provide documentation describing the extent of historic beneficial use for the water rights proposed to be transferred and document how enlargement will be avoided. (See Part 3B.) Additional fee required for proposed changes to nature of use; see [fee schedule](#).
- #8b If the transfer application proposes to change the place of use of a supplemental irrigation right, provide documentation regarding the historic use of the supplemental right(s) and availability or reliability of the primary right(s) being supplemented, both before and after the proposed change. (See Part 3C.)
- #9 Water Supply Bank information for all rights proposed for transfer and currently leased to the Bank. ([Attachment WSB](#))
- #10 Other. Please describe: IDWR's 10-31-2017 review memo for transfer #81494 regarding primary ground water use.

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

APPLICATION FOR TRANSFER OF WATER RIGHT
PART 1

Name of Applicant(s) City of Hailey Phone 208-788-4221
Mailing address 115 S Main St, Hailey, ID 83333 Email Brian.yeager@haileycityhall.org

- If applicant is not an individual and not registered to do business in the State of Idaho, attach documentation identifying officers authorized to sign or act on behalf of the applicant. Label it **Attachment #1.**
- Attach water right ownership documentation if Department records do not show the transfer applicant as the current water right owner. Label it **Attachment #2a.**
- If the ownership of the water right will change as a result of the proposed transfer to a new place of use, attach documentation showing land and water right ownership at the new place of use. Include documentation for all affected land and owner(s). Label it **Attachment #2b.**
- Attach documentation of authority to make the proposed change if the applicant is not the water right owner. Label it **Attachment #3.**

Provide contact information below if a consultant, attorney, or any other person is representing the applicant in this transfer process.

No Representative

Name of Representative HDR Inc Phone 208-387-7000
Mailing address 412 E Parkcenter Blvd, Boise, ID 83706 Email lori.graves@hdrinc.com

- Send all correspondence for this application to the representative and not to the applicant.
OR
- Send original correspondence to the applicant and copies to the representative.
- The representative may submit information for the applicant but is not authorized to sign for the applicant.
OR
- The representative is authorized to sign for the applicant. Attach a Power of Attorney or other documentation providing authority to sign for the applicant and label it **Attachment #4.**

I hereby assert that no one will be injured by the proposed changes and that the proposed changes do not constitute an enlargement in use of the original right(s). The information contained in this application is true to the best of my knowledge. I understand that any willful misrepresentations made in this application may result in rejection of the application or cancellation of an approval.

Martina Burke  MARTHA BURKE, Mayor 6/14/23
Signature of Applicant or Authorized Representative Print Name and Title if applicable Date

Signature of Applicant or Authorized Representative Print Name and Title if applicable Date

A. PURPOSE OF TRANSFER

- 1. Change point of diversion Add diversion point(s) Change place of use
 Change nature of use Change period of use Other _____

2. Is this a transfer for changes pursuant to Idaho Code §42-221.O.8?
If yes, attach an explanation and any supporting documentation labeled as **Part 1A.2.**

3. Describe your proposal in narrative form, including a detailed description of non-irrigation uses to justify amounts transferred (i.e. number of stock, etc.), and provide additional explanation of any other items on the application. Attach additional pages if necessary and label it **Part 1A.3.**
Applicant proposes (1) changing the nature of use from seasonal irrigation to year-round municipal use, (2) changing the point of diversion to the applicant's integrated municipal well system, (3) adding an additional point of diversion for a new well, and (4) changing the place of use to the applicant's municipal service area.

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

APPLICATION FOR TRANSFER OF WATER RIGHT
PART 1 Continued

B. DESCRIPTION OF RIGHTS AFTER THE REQUESTED CHANGES. IF THE RIGHTS ARE BEING SPLIT, DESCRIBE PORTIONS TO BE CHANGED AS THEY WOULD APPEAR AFTER THE REQUESTED CHANGES.

	<u>Right Number</u>	<u>Amount</u> (cfs/ac-ft)	<u>Nature of Use</u>	<u>Period of Use</u>	<u>Source & Tributary</u>
All or Part <input checked="" type="checkbox"/> <input type="checkbox"/>	37-22019	8.78 cfs	Municipal	1/1 to 12/31	Ground Water
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____
<input type="checkbox"/> <input type="checkbox"/>	_____	_____	_____	_____ to _____	_____

Total authorized under rights 8.78 cfs and/or _____ acre-feet.

2. Total amount of water proposed to be transferred or changed 8.78 cubic feet per second and/or _____ acre-feet per year.

3. Point(s) of Diversion:

- No changes to point(s) of diversion are proposed - the following chart is therefore not completed. (Proceed to #4.)
- Attach Eastern Snake Plain Aquifer analysis if this transfer proposes to change a point of diversion affecting the ESPA. Label it **Attachment #5**.

New ?	Lot	¼	¼	¼	Sec	Twp	Rge	County	Source	Local name or tag #
			SE	SW	4	2N	18E	Blaine	Ground Water	
			SE	SW	4	2N	18E	Blaine	Ground Water	
			SE	SW	4	2N	18E	Blaine	Ground Water	
			SE	NW	9	2N	18E	Blaine	Ground Water	
			SE	SE	9	2N	18E	Blaine	Ground Water	

4. Place of use: (If irrigation, identify with number of acres irrigated per ¼ ¼ tract.) Proposed POU is the City's municipal service area

- No changes to place of use are proposed - the following chart is therefore not completed. (Proceed to #5.)

Twp	Rge	Sec	NE ¼				NW ¼				SW ¼				SE ¼				Acre Totals		
			NE	NW	SW	SE	NE	NW	SW	SE	NE	NW	SW	SE	NE	NW	SW	SE			
Total Acres (for irrigation use)																					

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

Ident. No. _____

Point of Diversion/Place of Use Supplement

Attachment to: Application for Permit to Appropriate Water Application for Transfer** Adjudication Claim
 Application for Amendment of Permit Beneficial Use Field Report Statutory Claim

Location of points of diversion (POD):

New POD?	Twp	Rge	Sec	Govt Lot	¼	¼	¼	County	Source	Local name or well/diversion tag #
<input checked="" type="checkbox"/> Yes	2N	18E	10				NW	NW	Blaine	Ground Water
<input type="checkbox"/> Yes	2N	18E	10				SW	SE	Blaine	Ground Water
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										
<input type="checkbox"/> Yes										

Description of place of use (POU):

- a. If water is for irrigation, indicate acreage in each subdivision in the tabulation below.
- b. If water is used for other purposes, place a symbol of the use (example: D for Domestic) in the corresponding place of use below.

TWP	RGE	SEC	NE				NW				SW				SE				TOTALS	
			NE	NW	SW	SE	NE	NW	SW	SE	NE	NW	SW	SE	NE	NW	SW	SE		

**If this supplemental sheet is for an Application for Transfer, insert this page into Part 1B of the application. Page _____

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

APPLICATION FOR TRANSFER OF WATER RIGHT
PART 1 Continued

5. General Information:

a. Describe the complete diversion system, including how you will accommodate a measuring device and lockable controlling works should they be required now or in the future:

All existing wells divert into an integrated municipal water distribution system and are equipped with totalizing flow meters. The proposed well will be equipped accordingly.

b. Who owns the property at the point(s) of diversion? City of Hailey

If other than the applicant, describe the arrangement enabling the applicant to access the property for the diversion system:

c. Are the lands from which you propose to transfer the water right subject to any liens, deeds of trust, mortgages, or contracts?

If yes, attach a notarized statement from the holder of the lien, deed of trust, mortgage or contract agreeing to the proposed changes on official letterhead signed by an authorized representative. Label it **Attachment #6**. List the name of the entity and type of lien: _____

It is the applicant's responsibility to provide notice to lien holder, trustee, mortgagor, or contract holder of the proposed changes that may impact or change the value of the water rights or affected real property. Any misrepresentation of legal encumbrance on this application may result in rejection of the application or cancellation of an approval.

d. Are any of the water rights proposed for transfer currently leased to the Water Supply Bank?

If yes, complete [Attachment WSB](#).

e. Describe the effect on the land now irrigated if the place or purpose of use is changed pursuant to this transfer:

n/a

f. Describe the use of any other water right(s) for the same purpose or land, or the same diversion system as right(s) proposed to be transferred at both the existing and proposed point(s) of diversion and place(s) use:

Current: 37-23031

Proposed: 37-296A, 37-717A & B, 37-1216, 37-2698, 37-2699, 37-8837, 37-22670, 37-22671, 37-7305 (associated municipal water rights).

g. To your knowledge, has/is any portion of the water right(s) proposed to be changed:

Yes No

- undergone a period of five or more consecutive years of non-use,
- currently leased to the Water Supply Bank,
- currently used in a mitigation plan limiting the use of water under the right, or
- currently enrolled in a Federal set-aside program limiting the use of water under the rights?

If yes, describe:

**IDAHO DEPARTMENT OF WATER RESOURCES
APPLICATION FOR TRANSFER OF WATER RIGHT
PART 2A**

Current Water Right No.: 37-22019

Current Owner: CITY OF HAILEY
 Priority Date: 3/29/1961
 Origin: Water Right
 Status: Active
 Basis: Decreed

Source

Tributary

GROUND WATER

<u>Beneficial Use</u>	<u>From To</u>	<u>Diversion Rate</u>	<u>Annual Volume</u>
IRRIGATION	04/15 to 10/31	8.78 CFS	1593.5 AF
	<u>Total Diversion</u>	8.78 CFS	1593.5 AF

Location of Point(s) of Diversion

GROUND WATER SE1/4SW1/4 Sec. 10, Twp 02N, Rge 18E B.M.
 BLAINE County

Place of Use

IRRIGATION Within BLAINE County

T02N R18E S10	SWSW	1.00	T02N R18E S10	SESW	8.50
T02N R18E S10	SWSE	30.00	T02N R18E S14	NWSW	14.00
T02N R18E S14	SWSW	26.80	T02N R18E S15	NWNE	38.70
T02N R18E S15	SWNE	34.90	T02N R18E S15	SENE	20.70
T02N R18E S15	NENW	28.00	T02N R18E S15	SENW	4.00
T02N R18E S15	NESE	37.70	T02N R18E S15	NWSE	11.00
T02N R18E S15	SESE	22.90	T02N R18E S22	NENE	1.00
T02N R18E S23	NENW	32.40	T02N R18E S23	NWNW	32.30
T02N R18E S23	SWNW	3.50	T02N R18E S23	SENW	31.50
T02N R18E S23	NESW	9.00	T02N R18E S23	NWSE	31.40
T02N R18E S23	SWSE	20.40	T02N R18E S23	SESE	15.60

Total Acres: 455.3

Conditions of Approval:

1. T19 Pursuant to Section 42-1412(6), Idaho Code, this water right is subject to such general provisions necessary for the definition of the rights or for the efficient administration of water rights as determined by the Snake River Basin Adjudication court in the final unified decree entered 08/26/2014.
2. Use of this right is combined with water from Hiawatha Canal.
3. This right is licensed right 37-2659.

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES

APPLICATION FOR TRANSFER OF WATER RIGHT
PART 3

A. PLAT MAP (See Part 3A of Instructions for application for transfer for complete requirements.)

- Attach a map of the diversion, measurement, control, and distribution system. Label it **Attachment #7a.**
- If the transfer application proposes to change the place or purpose of use of an irrigation right attach a Geographic Information System (GIS) shape file, or an aerial photo or other image clearly delineating the location and extent of existing acres and changes to the place of use. Label it **Attachment #7b.**

If the place of use currently consists of a permissible place of use, then the attachment is not required if the application contains a clear statement that the boundaries for the place of use are not proposed to be changed by the transfer and the total number of irrigated acres within the place of use before and after the transfer is clearly stated.

If any part of the irrigation water right is leased to the Water Supply Bank, you must also specify the location and number of acres that will remain idled for the duration of the lease contract at the new, proposed place of use.

B. CHANGES IN NATURE OF USE (Water Balance)

- If you propose to change the nature of use or period of use of all or part of the rights(s) listed in this application, attach documentation describing the extent of historic beneficial use of the portion of the right(s) proposed to be changed. Also attach documentation showing that the portion of the right(s) to be changed will not be enlarged in rate, volume, or consumptive use through the proposed change. Label it **Attachment #8a.**

C. PLACE OF USE CHANGES TO SUPPLEMENTAL IRRIGATION RIGHTS

- If you propose to change the place of use of a supplemental irrigation right, answer below and attach supporting documentation. Label it **Attachment #8b.**

Describe how the supplemental water rights have been used historically in conjunction with other water rights at the existing place of use. Describe the time during the irrigation season that the supplemental rights have been used. Include information about the availability or reliability of the primary right(s) being supplemented, both before and after the change. If the applicant is proposing to change a supplemental irrigation right to a primary right, provide the information required on Part 3B above:

FOR DEPARTMENT USE ONLY

Transfer contains _____ pages and _____ attachments.

Received by _____ Date _____ Preliminary check by _____ Date _____

Fee paid _____ Date _____ Received by _____ Receipt # _____

Add'l fee paid _____ Date _____ Received by _____ Receipt # _____

Check all that apply: Attachment WSB (copy sent to state office) Lessor Designation form &/or W-9 (originals to state office)

Transfer Narrative City of Hailey Water Right 37-22019

This Application for Transfer incorporates water right 37-22019 into the Applicant's municipal water right portfolio. Changed water right elements include place of use, points of diversion, and nature of use. The place of use is changed from historically irrigated fields to the applicant's municipal service area. The point of diversion is changed from the "Cemetery Well" to the applicant's integrated municipal ground water system consisting of six existing wells and an additional new well proposed on City parcel RPH054200000F0 located in the NWNW, Section 10, T2N, R18E. The nature of use is changed from irrigation to municipal.

Water right 37-22019 is leased to the Idaho Water Supply Bank until December 31, 2025 under Contract 1273. This transfer does not change Water Supply Bank status and Applicant intends to continue the lease through the contract period.

Water right 37-22019 authorizes 8.78 cfs and 1,593.5 afa diversion of groundwater for irrigation of 455.3 acres. To prevent enlargement through the transfer process, the transferred volume is limited to the historic irrigation consumptive volume as documented in Transfer Attachment 8A.

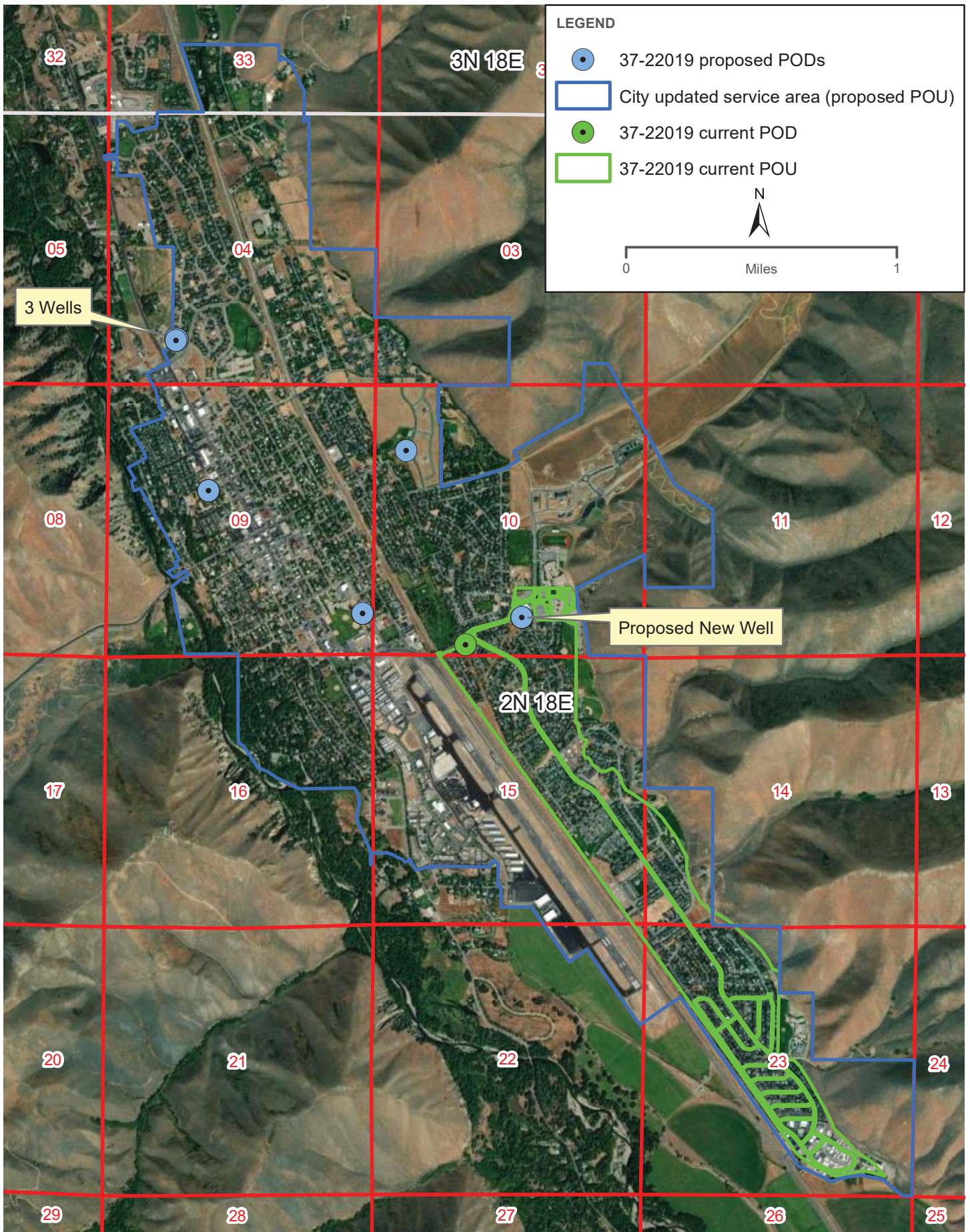
The "Cemetery Well" authorized for irrigation use under water right 37-22019 is also authorized for irrigation use under Hailey Cemetery Maintenance District's water right 37-23031. Post-transfer, the Cemetery Well will serve only water right 37-23031 for irrigation of Hailey Cemetery.

Water right 37-22019 includes the following condition:

"Use of this right is combined with water from Hiawatha Canal."

Information provided by the City during processing of Transfer 81494 established irrigation use under water right 37-22019 as primary and not supplemental. As a result, the condition was excluded from resulting water right 37-23031. Included as Attachment 10 is the Department's 10/31/2017 review memo approving the City's supporting information. Upon transfer approval, Applicant requests the condition be removed from water right 37-22019.

Per Idaho Code 42-202B (9), applicants also wish to update their municipal service area to include recently annexed lands. The proposed pou shown in Transfer Attachment 7A & 7B represents the applicant's current service area. GIS shapefiles for the updated service area will be made available upon request.



LEGEND

- 37-22019 proposed PODs
- City updated service area (proposed POU)
- 37-22019 current POD
- 37-22019 current POU



0 Miles 1

3 Wells

Proposed New Well



**ATTACHMENT 7A & 7B
WATER RIGHT 37-22019**

CITY OF HAILEY

**TRANSFER ATTACHMENT 8A
WATER BALANCE AND CHANGES TO 37-22019**

ET_{Idaho} 2017, Hailey RS (NWS--USC00103942)
Precipitation Deficit Requirements

Grass Hay															
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Growing Season ^a	Non Growing Season ^b	Annual
Mean	mm/day												mm		
Monthly ^c	-0.08	0.01	0.03	0.16	2.17	4.69	6.31	4.09	2.27	0.32	-0.44	-0.22	611	-20	603

a 611 mm/yr, net annual crop precipitation-deficit consumptive use (from above, growing season)

b 2.00 ft/yr, Net annual precipitation-deficit crop (Grass Hay) consumptive use (b = a / 304.8)

c 455.3 Irrigation acres (from water right 37-22019)

e 1593.5 Irrigation afa (from water right 37-22019)

f 912.7 Irrigation precipitation-deficit crop consumptive volume transferred to municipal use (c x b)

Changes to 37-22019			
	Pre-Transfer	Changed by Transfer	Post-Transfer
Use	IRR	n/a	MUNI
cfs	8.78	0.000	8.780
afa	1593.5	680.8	912.7
Acres	455.3	455.3	0.00

**APPLICATION FOR TRANSFER OF WATER RIGHT
ATTACHMENT WSB:
TRANSFERRING WATER RIGHTS LEASED TO THE WATER SUPPLY BANK**

Approval of a transfer application will not impact the terms of a Water Supply Bank Lease Contract. Any transferred water right or portion of a water right that is leased to the Water Supply Bank (Bank) shall remain unused while the lease is active.

If the transfer proposes to relocate the place of use of an irrigation water right, and the relocated acres include land currently idled due to a Bank lease contract, the applicant is required to identify the areas that will be idled at the new place of use for the duration of the lease contract. The acres to be idled should be clearly identified on the map created for Attachment 7B of the transfer application. The applicant should confirm the map is attached when completing the table below. If the leased portion of the place of use is not proposed to be relocated, a map is not required.

A Bank lease contract shall remain in effect until it expires, a new lease proposal is processed to replace it, or the water right is released from the Bank through written confirmation issued by the Water Resource Board. If the proposed transfer is approved, the water right owner will be provided sufficient time to allow the lease contract to expire before beneficial use of water at the new place of use will be expected. Meanwhile, water rights leased to the Bank are protected from forfeiture for the duration of the lease contract.

Water right owners who would like to adjust the terms of their lease contracts can either submit a new lease proposal on an [Application to Lease a Water Right to the Water Supply Bank](#) form, or they can request early termination of their lease contracts by completing a [Request to Release a Water Right from the Water Supply Bank](#) form. If a water right is leased to the Bank, and it is currently being rented from the Bank, the lease cannot be reduced or terminated until the rental agreement concludes. A request to release a water right or to submit a new lease application should be sent to the Department’s state office. To find out if there are any rentals associated with a leased water right, please call a Bank representative at the Department at 208-287-4800.

In the table below, please provide the requested information for any water right that is both proposed for transfer and leased to the Bank. The information needed to complete this table can be found in your Bank lease contract. A copy of your lease contract can be obtained using the ‘Search Water Rights’ option on the Department’s internet page at www.idwr.idaho.gov or by contacting any Department office.

Water Right Number	Lease Contract Expiration Date	Water Right Quantities Leased to the Bank			Map Attachment 7B Clearly Identifies Idled Place of Use at New Location
		Rate (cfs)	Volume (AF)	Acres	
37-22019	12/31/2025	8.78 cfs	1593.5 af	455.3	Attached? <input checked="" type="checkbox"/> or No Change <input type="checkbox"/>
					Attached? <input type="checkbox"/> or No Change <input type="checkbox"/>
					Attached? <input type="checkbox"/> or No Change <input type="checkbox"/>
					Attached? <input type="checkbox"/> or No Change <input type="checkbox"/>
					Attached? <input type="checkbox"/> or No Change <input type="checkbox"/>
					Attached? <input type="checkbox"/> or No Change <input type="checkbox"/>

Is the ownership of the water right(s) leased to the Bank being changed? Yes No

- If yes and there are multiple owners, attach a [Lessor Designation](#) form.
- If yes, the individual owner or designated lessor must complete, sign and attach an [IRS Form W-9](#).

Additional Information:

Applicants will request right be released from the Bank upon transfer approval or if rented, upon conclusion of rental agreement.

Agency Use Only: Personnel processing transfer applications should forward a copy of this attachment, the original Lessor Designation form and/or IRS Form W-9, if received, to the State Office.

MEMORANDUM

TO: Transfer # 81494 File

FROM: Corey Skinner

DATE: October 31, 2017

SUBJECT: Review and Approval

Transfer # 81494 proposes splitting off a 0.36 cfs and 18.8 acre portion of water right 37-22019 and changing the place of use. The application was originally approved on May 30, 2017, but a petition for reconsideration was filed on June 13, 2017. The petition and conversations with the applicant's consultant indicated that the main item of concern related to the "surface water combined use conditions" (the following conditions) being implemented as part of the approval...

- *Use of this right is combined with water from Hiawatha Canal.*
- *The right holder shall make full beneficial use of all surface water available to the right holder for irrigation of the lands authorized to be irrigated under this right. The right holder shall limit the diversion of ground water under this right for land with an appurtenant surface water right(s) to those times when the surface water supply is not available or reasonably sufficient to irrigate the place of use authorized under this right.*

Right 37-22019 was decreed in the SRBA as an irrigation right for the irrigation of a specific 486 acres. The right was decreed in the names of the City of Hailey and the Hailey Cemetery Maintenance District. The specific 486 acre place of use for right 37-22019 is located within the service area of the City of Hailey's municipal water rights. The water right record prior to the transfer included the following condition...

- *Use of this right is combined with water from Hiawatha Canal.*

This particular condition was carried forward as part of the transfer approval on the portion of the right being transferred along with the other surface water/supplemental condition.

Examination of the City of Hailey's water right records indicates that they have one right from the Big Wood River (delivered via the Hiawatha Canal), 37-10717, that potentially overlaps the 37-22019 place of use. Right 37-10717 was decreed for municipal use within the City of Hailey service area, meaning it can be used anywhere within the city's service area.

During conversations with the applicant's consultant, it was indicated that Hiawatha (Big Wood River) water was never used in connection with right 37-22019. I indicated that if they could demonstrate that right 37-10717 (the only potential right that would warrant the Hiawatha water condition) was used somewhere else in the city and not on the 37-22019 place of use the Department would consider removing the supplemental conditions on the portion of the right being transferred. They indicated that they were confident they could provide information indicating that right 37-10717 was not used with 37-22019. I agreed to withdraw the transfer approval (see June 20, 2017 order) to allow them more time to gather the information.

This past month, the applicant's consultant provided information from the City of Hailey indicating that they use their Hiawatha water (37-10717) on three specific parks that do not overlap the 37-22019 place of use. This information seems reasonable since the three locations are located closer to the Hiwatha Canal than the 37-22019 place of use. In addition, it seems prudent for a city to use their surface water on different lands and in a separate system than those served by their groundwater system due to potential water quality concerns with mixing their surface/river water and groundwater.

Based on this new information, it is appropriate to reissue the transfer # 81494 approval without the surface water/supplemental conditions on the portion of the right being transferred.

Return to Agenda

Qualifying Criteria for Locals Only Home Ownership

➤ At least one (1) adult in the household must work “full-time” (1,500 hrs/year) for an employer in Blaine County*.
**Exceptions for retirement, disability, etc.*

➤ The purchased home must be owner-occupied; 9-month minimum/year (i.e. a permanent residence).

➤ No occupants of the home can own other real property (land, single-family, mobile home, or other).

➤ Total assets for a Qualified Buyer must be less than \$500,000. This applies to all occupants of the home.

There is **no maximum appreciation cap** on the subsequent sales price.

Federal Occupancy rules shall apply.

LOCALS ONLY HOUSING

A partnership between the **City of Hailey** and **ARCH Community Housing Trust**



How does it work?

This new and innovative program seeks to support locally employed people by providing access to homeownership.

Through the program, the City funds a portion of the cost of a market rate home. ARCH uses those funds to pay 20% of the home’s purchase price for a qualified buyer, while simultaneously placing a permanent deed-restriction on the home. **This guarantees that the home can only be sold in the future to buyers who meet the qualifying criteria.**

Based on current interest rates and available funding, we anticipate 2 or 3 transactions on homes between \$450,000 and \$600,000, resulting in a 20% discount of between \$90,000 and \$120,000.

At this time, we are seeking possible properties, and we are expanding our waiting list of qualified buyers. Interested new buyers will be prioritized based on the time/date that they joined the waitlist.

For more information, including an application or putting your home into the program, click here: <https://5b-realestate.com/arch>



Return to Agenda