

AGENDA
Hailey Planning and Zoning Commission
Monday, July 1, 2024
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

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Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda

- **CA 1** Motion to approve the Preliminary Short Plat Application by Idaho Conrad, LLC, wherein Lots 11-16, Block 29, Hailey Townsite (CROY Street Exchange), the official plat of the Croy Street Exchange Office Condominiums, Parcel No. 1 Condominium units A-Q, is revoked, retracted, and withdrawn. This project is located within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

ACTION ITEM

- **CA 2** Motion to approve the Preliminary Plat Application by Quigley Farm & Conservation Community, LLC, wherein Block 7, Quigley Farm Large Block Plat, is subdivided into ten (10) lots - each parcel ranging in size from 9,908 square feet to 17,989 square feet. This parcel is located within the General Residential (GR) and Peri-Urban Agriculture (PA) Zoning Districts. **ACTION ITEM**

Administrative Reviews

- **AR 1** Administrative Review and Approval of a Lot Line Adjustment Application by The Advocates for Survivors of Domestic Violence and Sexual Assault, wherein the interior lot lines of Lots 1-3, and North 10' of vacated alley, Block 2, Croy Addition are eliminated, forming Lot 1A, that is 13,521 square feet in size and is located within Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

Presentations

- Presentation from Jacobs Civil and GGLO: Update to Hailey's Comprehensive Plan (no documents; no action needed).

Public Hearing

- **PH 1** Consideration of a Design Review Application by McIntosh Holdings, LLC, represented by Errin Bliss of Bliss Architecture, for the construction of two (2) multifamily buildings, for a total of six (6) residential units, to be located at 637 S. River Street (Lot 2A, Block 1, Maple Subdivision) within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. This project is to be known as Six Thirty Seven River Street. **ACTION ITEM**
- ~~**PH 2** Consideration of a Preliminary Plat Application by The Advocates for Survivors of Domestic Violence and Sexual Assault, wherein the interior lot lines of Lots 1-3, and North 10' of vacated alley, Block 2, Croy Addition are eliminated, forming Lot 1A, that is 13,521 square feet in size and is located within Business (B) and Townsite Overlay (TO) Zoning Districts. **THIS ITEM WILL NOT BE HEARD VIA PUBLIC HEARING.**~~
- ~~**PH 3** Consideration of a Design Review Application by McIntosh Holdings, LLC, represented by Errin Bliss of Bliss Architecture, for the construction of two (2) multifamily buildings, for a total of six (6) residential units, to be located at 637 S. River Street (Lot 2A, Block 1, Maple Subdivision) within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. This project is to be known as Six Thirty Seven River Street. **THIS ITEM WILL NOT BE HEARD VIA PUBLIC HEARING..**~~
- ~~**PH 4** Consideration of a Conditional Use Permit submitted by UPS for addition of a 300 square feet modular office located adjacent to the alley a expansion of the existing building, to be located at 111 North River Street (Lots 1-7, Block 31, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Hailey Townsite Overlay (TO) Zoning Districts. **THIS ITEM WILL NOT BE HEARD THIS EVENING. THIS ITEM WILL BE RENOTICED TO A FUTURE DATE.**~~

Staff Reports and Discussion

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
 - July 15, 2024:
 - DR: Cueva
 - THOW: Campbell
 - DR: Ellsworth Inn

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 17, 2024, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council a Preliminary Short Plat Application by Idaho Conrad, LLC, represented by Michael Kraynick, wherein Lots 11-16, Block 29, Hailey Townsite (CROY Street Exchange), the official plat of the Croy Street Exchange Office Condominiums, Parcel No. 1 Condominium units A-Q, is revoked, retracted, and withdrawn. This project is located within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

FINDINGS OF FACT

Notice: Notice for the June 17, 2024, public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on May 29, 2024.

Background and Project Overview: In 2021, a devastating fire destroyed the commercial building located at the corner of River and Croy Streets. The structure, known as the Croy Street Exchange Building, was utilized as offices and other small business space prior to the fire. In April 2021, local Developer - Idaho Conrad, LLC - was scheduled to be heard by the Hailey Planning and Zoning Commission with the proposal to renovate the structure into workforce housing.

Now, sans structure on the parcel, the Applicant is seeking to remove the existing Condominium Plat that is associated with the parcel and recorded as such. This revocation is required and further allows for future development of the lots. At this time, no development or redevelopment of the parcels is proposed. Development or redevelopment of the parcels, or the subdivision and/or reconfiguration of the land, are subject to Design Review and other entitlement processes. These applications will be brought forward to the Commission once complete applications have been submitted by the Applicant.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On June 17, 2024, the Commission unanimously recommended for approval by the Hailey City Council the Preliminary Short Plat Application by Idaho Conrad, LLC, represented by Michael Kraynick, wherein Lots 11-16, Block 29, Hailey Townsite (CROY Street Exchange), the official plat of the Croy Street Exchange Office Condominiums, Parcel No. 1 Condominium units A-Q, is revoked, retracted, and withdrawn. This project is located within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Wastewater: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
				City Arborist: <i>No comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein. Findings: Compliance. This standard is either not applicable or has been met.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>This project connects to the existing streets, River Street and Croy Street. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			Staff Comments	<i>N/A, as no cul-de-sac or dead-end street is proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments	<i>Access to the parcels can be achieved from Croy Street, River Street and the existing alley. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than

				<p>eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</p>
			Staff Comments	<p>All public streets are existing and appear to intersect at 90-degree angles. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</p>
			Staff Comments	<p>All streets within the subdivision are existing and are public streets. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.</p>
			Staff Comments	<p>The existing public streets (Croy and River) are 100' in width, which meet the minimum City Standards of 60' in width, which is consistent with Title 18 of the Hailey Municipal Code. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	<p>Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</p>
			Staff Comments	<p>N/A-This standard has been met. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	<p>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</p>

			Staff Comments	<i>The streets are existing. This standard has been met. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			Staff Comments	<i>N/A, as the streets are existing. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			Staff Comments	<i>N/A, as all street and traffic control signs are existing, and are compliant with City Standards. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			Staff Comments	<i>The streets are existing, and all have been named. This standard has been met. Findings: Compliance. This standard is either not applicable or has been met.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and

				public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			Staff Comments	<i>N/A, as no private streets are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
			M.	Driveways:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			Staff Comments	<i>At this time, no driveways are shown, however, there is existing access off of Croy Street. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12’) b) Accessing two residential units: sixteen feet (16’)

				No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			Staff Comments	<i>At this time, no new driveways are proposed; however, there is an existing curb cut off of Croy Street, as well as site access from the existing alley. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			Staff Comments	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			Staff Comments	<i>N/A, as no driveways are proposed at this time. Upon the future development of the parcels, access to the site and site circulation will be reevaluated to ensure compliance is met. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			Staff Comments	<i>Please refer to Section 16.04.020(M) for further details. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			Staff Comments	<i>N/A, as no driveways are proposed at this time. Upon the future development of the parcels, access to the site and site circulation will be reevaluated to ensure compliance is met. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>N/A - Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			Staff Comments	<i>There are existing sidewalks along the property frontage of Croy Street, as well as River Street; however, the existing sidewalks are in need of replacement. The redevelopment of this parcel will dictate the scope of public and private infrastructure, which includes sidewalk, street trees and streetscape, bike path, and more. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. As built drawings will be required. This standard will be met with development. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	<i>N/A - Findings: Compliance. This standard is either not applicable or has been met.</i>

16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	<i>The alley is existing. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	<i>The alley is existing and complies with the minimum alley width of 26-feet wide. Findings: Compliance. This standard is either not applicable or has been met.</i>
			A. 3.	All alleys shall be dedicated to the public or provide for public access.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>The alley is existing and has been dedicated to the public for public access. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	<i>N/A, as the alley is existing. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	<i>N/A, as the alley is existing, and it is not a dead-end alley. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	<i>N/A, as the alley is existing, and no easements are existing and/or are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman’s access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman’s access.
			Staff Comments	<i>The existing parcel does not border the Big Wood River, and no additional easements have been identified at this time. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under,

				<p>or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p>
			Staff Comments	<p><i>N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	<p>To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</p>
			Staff Comments	<p><i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	<p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p>
			Staff Comments	<p><i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.060	<p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the district in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation</p>

				of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			Staff Comments	<i>N/A, as no improvements are proposed at this time. All improvements will be evaluated by City Staff upon redevelopment of the parcel. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			Staff Comments	<i>N/A, as no unbuildable lots are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			Staff Comments	<i>N/A, as no flag lot is proposed at this time. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			Staff Comments	<i>Lots 11-16 have frontage on public streets (Croy and River). Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			Staff Comments	<i>N/A- No Subdivision is being proposed or approved at this time, all improvements shall be the responsibility of the Developer/Owner and will</i>

				<p>be evaluated by City Staff upon development of the parcel. All improvements shall be coordinated through the re-development of the property. Findings: Compliance. This standard is either not applicable or has been met.</p>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</p>
			Staff Comments	<p>N/A, as no Phasing Plan is proposed at this time. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p>
			Staff Comments	<p>N/A, as no Phasing Plan is proposed at this time. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			Staff Comments	<ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. N/A b) Provision of other off-site improvements. N/A c) Dedications and/or public improvements on property frontages. N/A d) Dedication or provision of parks or green space. N/A e) Provision of public service facilities. All public utilities and services proposed will be developed as part of the subdivision. f) Construction of flood control canals or devices. N/A g) Provisions for ongoing maintenance. N/A <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an

				<p>interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</p> <ol style="list-style-type: none"> 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>Lots 11-16 are owned by the Applicant and are shown on the Plat. Once the Condominium Plat is revoked and removed, the Applicant plans to apply to re-subdivide the lots. Findings: Compliance. This standard is either not applicable or has been met.</i>

16.04.080: Perimeter Walls, Gates and Berms

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			<i>Staff Comments</i>	<i>N/A- No perimeter gates or walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>

16.04.090: Cuts, Fills, Grading and Drainage

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A. There is no proposal to subdivide at this time. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. Findings: Compliance. This standard is either not applicable or has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			<i>Staff Comments</i>	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			<i>Staff Comments</i>	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			<i>Staff Comments</i>	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			<i>Staff Comments</i>	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			<i>Staff Comments</i>	<i>N/A - Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American

				<p>Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM).</p> <p>c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</p> <p>d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</p> <p>e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</p>
			<i>Staff Comments</i>	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 5.	<p>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p>
			<i>Staff Comments</i>	<i>N/A - Findings: Compliance. This standard is either not applicable or has been met.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</p>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<p>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</p>
			<i>Staff Comments</i>	<i>N/A, the proposed subdivision is not located adjacent to the Big Wood River or its tributaries. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code.
			<i>Staff Comments</i>	<i>N/A, the proposed subdivision is not located within the Hillside Overlay District. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, the proposed subdivision is not located within the Hillside Overlay District. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A, the proposed subdivision is not located within the Hillside Overlay District. Findings: Compliance. This standard is either not applicable or has been met.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula: P = x multiplied by .0277 "P" is the Parks contribution in acres "x" is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, "x" is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.
			<i>Staff Comments</i>	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a park shall be reduced by 75%, but in no event shall the area required for a park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			<i>Staff Comments</i>	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i>

				<i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly: <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i>

				<i>Findings: Compliance. This standard is either not applicable or has been met.</i>
			D.	Minimum Requirements:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if</i>

				<p>redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	<p>Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The city may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a park for every square foot of qualified dedicated Pathway right-of-way.</p>
			<i>Staff Comments</i>	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			<i>Staff Comments</i>	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p>
			<i>Staff Comments</i>	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	<p>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</p>
			<i>Staff Comments</i>	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for</p>

				<p>compliance.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	<p>Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	<p>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	<p>Shall require low maintenance or provide for maintenance or maintenance endowment.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	<p>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by subsection D of this section.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			Staff Comments	<i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the

				property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			Staff Comments	N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			Staff Comments	N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the city and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			Staff Comments	N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			Staff Comments	N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if

				<p>redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer’s written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p>
			Staff Comments	<p><i>This standard will be met.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p>
			Staff Comments	<p><i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except those parks shall be guaranteed and maintained by the developer for a period of two years.</p>
			Staff Comments	<p><i>N/A- Findings: Compliance. This standard is either not applicable or has been met.</i></p>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p>
			Staff Comments	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the</p>

				development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			Staff Comments	<i>Street names and signage exist and meet this standard. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
16.05.030: Sewer Connections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			Staff Comments	<i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance. Findings: Compliance. This standard is either not applicable or has been met.</i>
16.05.040: Water Connections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants,

				<p>which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			Staff Comments	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
16.05.050: Drainage				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			Staff Comments	<p>N/A- Drainage will be further reviewed upon the development or redevelopment of each lot.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
16.05.060: Utilities				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			Staff Comments	<p>N/A- Utilities will be constructed and installed underground upon the development or redevelopment of each lot.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
16.05.070: Parks, Green Space				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			Staff Comments	<p>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>

16.05.080: Installation to Specifications; Inspections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the city engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
16.05.090: Completion; Inspections; Acceptance				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the city prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>The developer may, in lieu of actual construction, provide to the city security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
16.05.100: As Built Plans and Specifications				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.100	<p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant seeks Commissioner approval to revoke and remove the Condominium plat from existing Lots 11-16. When and if redevelopment on the site occurs, this standard will be reviewed for compliance.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions are suggested for approval of this Application:

- 1) All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- 2) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- 3) Any and all improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- 4) The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat.
- 5) Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
- 6) Any Application Development Fees shall be paid prior to recordation Final Plat.

Signed this ____ day of _____, 2024.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 17, 2024, the Hailey Planning and Zoning Commission considered and recommended approval to the Hailey City Council a Preliminary Plat Application by David Hennessy, represented by David Patrie, wherein Block 7, Quigley Farms Subdivision (Fox Acres Road and Quigley Farm Road) is subdivided to create ten (10) lots, ranging in size from 9,908 square feet to 17,989 square feet in size. This project is located within the General Residential (GR) Zoning District.

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 29, 2024, and mailed to adjoining property owners on May 29, 2024. No public comments were received during the commenting period.

Application: Consideration of a Preliminary Plat Application by Quigley Farm & Conservation Community, LLC, wherein Block 7, Quigley Farm Large Block Plat, is subdivided into ten (10) lots - each parcel ranging in size from 9,908 square feet to 17,989 square feet.

The Quigley Farms Subdivision Large Block Plat for - Blocks 1-17 - received Final Plat approval in June 2018. Phase I consisted of the Preliminary Plat for Blocks 1, 2, 3, 4, 10, 11 and 15, which included 36 lots comprising of 41 residential units (including eight community housing units), and commercial space. This approval included the provision that individual blocks may be approved for Preliminary and Final Plats, so long as each block supply separate infrastructure to stand on its own. Block 1 was reconfigured via a Lot Line Adjustment Application and received Administrator approval on May 12, 2021. Blocks 2, 3 and 4 received Final Plat approval on November 9, 2020. Block 10 was deeded to the Blaine County Recreation District on November 6, 2018, and Blocks 11 and 15 received Final Plat approval on January 8, 2024.

The Applicant has been working to subdivide the blocks within Phase II. Phase II consists of Blocks 5, 6, and 7. Blocks 5 and 6 received Preliminary Plat approval on July 25, 2022. The current Preliminary Plat Application proposed to subdivide Block 7 of the Quigley Farms Subdivision.

With regard to the development proposal for Block 7, the total Block Density, located on the Quigley Farm Large Block Plat, for Block 7 is twelve (12) residential units. The Applicant proposed ten (10) lots, wherein Lots 3 and 4 may include two (2) residential units for a total of twelve (12) units. The proposed development is surrounded by the public streets – Appaloosa Road, Whitebark Road, Red Tail Lane, and Kestrel Street. The lots will gain access off the 40'-wide Public Access, Utility, and Snow Storage Easement. An additional Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement is proposed along the frontage of Lots 6-10. This easement will grant public access. All lots will have frontage on a public street.

Procedural History: The Application was submitted on May 17, 2024, and certified complete on the same day. A public hearing was held on June 17, 2024, in the Council Chambers of Hailey City Hall, and virtually via Microsoft Teams.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.
			Life/Safety: No comments	
			<p>Water and Wastewater: All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications, and procedures.</p> <p>Additionally, the Water Department noted the following:</p> <ul style="list-style-type: none"> - All lots within the block that have six-inch (6") lines going to the lots shall install a valve and valve box on the water main. This is required for any service exceeding two inches (2") in size. - A blow off on the dead end main on White Bark Road shall also be installed, or the fire hydrant relocated to come off the dead-end line. <p>The Wastewater Department noted the following:</p> <ul style="list-style-type: none"> - All manholes shall be relocated to be wholly in the road or public access easement, and not near and/or on the edits of the public right-of-ways. - Any and all duplexes or more than one (1) residential unit within a single lot are allowed one (1) connection only. <p>These have been made Conditions of Approval.</p> <p><u>Finding:</u> Compliance. These standards will be met.</p>	
			Building: No comments	
			Streets: No comments	
			City Arborist: No comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	<p>Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.</p>
			Staff Comments	<p>Please refer to the specific standards as noted herein.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.</p> <p><i>Staff Comments</i> The project will connect to Appaloosa Road, Whitebark Road, Red Tail Lane, and Kestrel Street. These streets are public streets, and all are 60-feet in width. These streets are adequate to safely accommodate existing and anticipated vehicular/pedestrian traffic. The proposed streets were contemplated in the Large Block Plat approval for the Quigley Farms Subdivision with careful attention to safe and efficient access from and to adjacent developments and properties, and for further integration within the existing street pattern.</p> <p>A 40-foot wide Public Access, Utility, and Snow Storage Easement is also proposed within Lots 1-10 to further support safe and sufficient access to and from the development where needed. Additionally, an Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement, open to public access, is proposed along the southern property line of Lots 6-10.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.</p> <p><i>Staff Comments</i> N/A, as no cul-de-sac or dead-end streets are proposed.</p> <p><u>Finding:</u> Compliance. This standard does not apply.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.</p> <p><i>Staff Comments</i> Access to the parcels can be achieved from a 40'-wide Public Access, Utility, and Snow Storage Easement, of which will connect to Appaloosa Road and Red Tail Lane. Other surrounding public streets include Whitebark Road and Kestrel Street. No additional access points are required nor requested by Staff at this time.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be</p>

				<p>permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</p>
			<i>Staff Comments</i>	<p>All streets located near/around Block 7 appear to intersect at 90-degree angles. Additionally, existing streets are separated by the recommended distances, and traffic calming measures include short street sections (Kestrel Street, Whitebark Road). Street signage will be reviewed for compliance by the City Engineer at final design.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</p>
			<i>Staff Comments</i>	<p>All streets within the subdivision are proposed as public streets. Each street varies in length and alignment in order to best serve Block 7.</p> <p>Deflections and curve radii will be further analyzed by the City Engineer at final design.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	<p>Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.</p>
			<i>Staff Comments</i>	<p>The public streets proposed (Appaloosa Road, Whitebark Road, Red Tail Lane, and Kestrel Street) meet the minimum City Standards of 60' in width.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	<p>Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</p>
			<i>Staff Comments</i>	<p>This standard will be met. The public streets proposed (Appaloosa Road, Whitebark Road, Red Tail Lane, and Kestrel Street) meet the minimum City Standards of 60' in width.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	<p>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</p>
			<i>Staff Comments</i>	<p>The subject Block is relatively flat. It appears that this standard has been met, but will be further reviewed for compliance at final design.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<p>Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.</p>
			<i>Staff Comments</i>	<p>To adequately accommodate runoff, drywell and other construction details shall be provided a final design. The Applicant shall also complete an EPA NPDES General Permit for Stormwater Discharge from Construction Activity prior to the commencement of construction. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<p>Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.</p>
			<i>Staff Comments</i>	<p>This standard will be met and will be reviewed for compliance at final design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	<p>Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.</p>
			<i>Staff Comments</i>	<p>Upon approval of the Quigley Large Block Plat, dedication of street names and/or alleys have been achieved and approved by the City, as well as the Blaine County Assessor’s Office.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
			L.	<p>Private Streets:</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	<p>Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.</p>
			<i>Staff Comments</i>	<p>N/A, as no private streets are proposed.</p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	<p>Private streets, wherever possible, shall provide interconnection with other public streets and private streets.</p>
			<i>Staff Comments</i>	<p>N/A, as no private streets are proposed.</p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	<p>The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.</p>
			<i>Staff Comments</i>	<p>N/A, as no private street are proposed.</p> <p><i>Finding: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			<i>Staff Comments</i>	<i>N/A, as no private street are proposed.</i> <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed. That said, a 40-foot wide Public Access, Utility, and Snow Storage Easement is proposed within Lots 1-10 to further support safe and sufficient access to and from the development where needed, as well as adequate snow storage for the block. Additionally, an Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement is proposed along the southern property line of Lots 6-10.</i> <i>Additionally, via the Annexation Agreement, snow storage areas were contemplated therein as a requirement for all streets and roads within the annexed property. Snow storage requirements, as proposed, comply with the Annexations Agreement.</i> <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i> <i>Finding: Compliance. This standard does not apply.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>At this time, no driveways are shown on the plat. This will be reviewed for compliance at final design. All driveways will meet City Standards and further details will be provided at the time of Building Permit submittal.</i> <i>Driveways accessing more than one (1) residential dwelling unit shall be maintained by a Homeowner’s Association, or in accordance with a plat note. This has been made a Condition of Approval.</i>

				<i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	<p>Driveways shall be constructed with an all-weather surface and shall have the following maximum roadway widths:</p> <p>a) Accessing one residential unit: twenty feet (20')</p> <p>b) Accessing two residential units: thirty feet (30')</p> <p>No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</p>
			<i>Staff Comments</i>	<p>At this time, no driveways are shown on the plat. This will be reviewed for compliance at final design.</p> <p>Additionally, no driveway materials are proposed at this time, but shall conform to this standard. Lastly, no portion of the driveways are proposed to be utilized for parking, above-ground utility structures, dumpsters, snow storage and other obstructions.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 3.	<p>Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.</p>
			<i>Staff Comments</i>	<p>No driveways are proposed at this time. Please refer to Section 16.04.020(M) for further details.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	<p>Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.</p>
			<i>Staff Comments</i>	<p>This is preferred by the City; however, more details are needed with regard to driveways. Details and compliance of City Standards will be reviewed during the development of construction drawings. Please refer to Section 16.04.020(M) for further details.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	<p>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 16.04.020(M) for further details.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	<p>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</p>
			<i>Staff Comments</i>	<p>Driveways will not impact existing infrastructure and should be compatible with existing and planned residential units; however, further details are needed with regard to driveways. Please refer to Section 16.04.020(M) for further details.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	N/A <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	N/A <i>Finding: Compliance. This standard does not apply.</i>

16.04.030: Sidewalks and Drainage Improvements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>All proposed streets have adjacent sidewalks or multiuse paths. Additional sidewalks and pathways occur throughout the development. The width of all sidewalks shall comply with the standards noted in Section 18.06.012.C: Mobility Design. This will be further reviewed for compliance at final design.</i> <i>Additionally, A Right-of-Way Maintenance was approved, which addressed maintenance of sidewalks within the City's Right-of-Way and/or other public infrastructure. To summarize, the agreement notes that:</i> <ol style="list-style-type: none"> 1) The Association shall clear snow from all paved sidewalks in the Development which are located within the City's Right-of-Way. 2) The Association shall cause all sidewalks to be swept and cleared of debris at least once each spring after the snow melts, and as reasonably requested by the City. 3) The Association shall be solely responsible for all Maintenance Obligations associated with sidewalks, at a level consistent with the maintenance of the remained of the Common Area. The Association shall replace the sidewalks at the end of their lifecycle. <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030(A) for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030(A) for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

			Staff Comments	N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	N/A <i>Finding: Compliance. This standard does not apply.</i>
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <i>Finding: Compliance. This standard does not apply.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	N/A, as no alleys are proposed. A 40'-wide Public Access, Utility, and Snow Storage Easement is proposed to service the Lots 1-10 within Block 7. <u>Finding:</u> Compliance. This standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			Staff Comments	Though the proposed subdivision does not border the Big Wood River, the following easements are shown on the proposed plat: <ol style="list-style-type: none"> 1. A 40'-wide Public Access, Utility and Snow Storage Easement is proposed within Lots 1-10 2. An Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement is proposed along the southern property line of Lots 6-10. <u>Finding:</u> Compliance. This standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			Staff Comments	N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision. <u>Finding:</u> Compliance. This standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			Staff Comments	Snow storage easements have been delineated on the Plat Plans. The plat shows a 40'-wide Public Access, Utility, and Snow Storage Easement within all of the proposed lots, as well as a public Open Space/Park, Pathway,

				<p><i>Parking, Snow Storage, and Public Utility Easement along the southern property line of Lots 6-10.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	<p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p>
			<i>Staff Comments</i>	<p><i>All proposed blocks are shown on the Preliminary Plat.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	<p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p>
			<i>Staff Comments</i>	<p><i>The proposed lots meet the minimum size required by the General Residential (GR) Zoning District. Additionally, forty (40) feet between Lots 1-5 and 6-10 has been dedicated for public access, utilities, and snow storage, and a public Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement is proposed along the southern property line of Lots 6-10.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p>
			<i>Staff Comments</i>	<p><i>N/A, as no double frontage lots are proposed.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no unbuildable lots are proposed.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			Staff Comments	N/A, as no flag lot is proposed at this time. <i>Finding: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			Staff Comments	Block 7 includes ten (10) lots, which all have frontage on a public street. It appears that no frontage width will be less than the required driveway width, as noted herein. <i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			Staff Comments	N/A, as this project is not located within the Townsite Overlay (TO) Zoning District. <i>Finding: Compliance. This standard does not apply.</i>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			Staff Comments	No Phasing Plan has been developed for Block 7 specifically. That said, the Annexation Agreement serves as such, as it outlines several project phases. This agreement has been approved by City Council and has been recorded with Blaine County. Phase II includes the subdivision of Blocks 5, 6, and 7. Each of these blocks shall be fully served by all necessary infrastructure in order to consider and issue a Final Plat for the associated blocks. In accordance with the Annexation Agreement, the future subdivision of blocks, such as this, is anticipated and permitted by the Agreement. <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.

			<p>Staff Comments</p> <p><i>No Phasing Plan has been developed for Block 7 specifically. That said, the Annexation Agreement serves as such, as it outlines several project phases. This agreement has been approved by City Council and has been recorded with Blaine County.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>C.</p> <p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<p>Staff Comments</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. <i>N/A</i> b) Provision of other off-site improvements. <i>Several off-site improvements have and will be made, which include, but are not limited to: vehicular/bike lane improvements and Toe of the Hill Trail Connections.</i> c) Dedications and/or public improvements on property frontages. <i>N/A</i> d) Dedication or provision of parks or green space. <i>Please refer to Section 16.04.110 for further details.</i> e) Provision of public service facilities. <i>All public utilities and services proposed will be developed as part of the subdivision.</i> f) Construction of flood control canals or devices. <i>The construction and/or incorporation of roads and drywells are anticipated to improve drainage conditions onsite.</i> g) Provisions for ongoing maintenance. <i>A plan for ongoing maintenance was addressed in the Annexation Agreement and associated documents.</i> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>D.</p> <p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ul style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be

				<p>designed in the most effective layout feasible.</p> <p>5. Park land shall be most appropriately located on the Contiguous Parcels.</p> <p>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</p> <p>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</p> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<p><i>These issues have been covered in the full development of the project through the Annexation Agreement, as well as Large Block Plat.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>

16.04.080: Perimeter Walls, Gates and Berms

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	<p><i>N/A, as it appears no perimeter walls, gates or landscape berms are proposed within Block 7.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>

16.04.090: Cuts, Fills, Grading and Drainage

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	<p><i>No floodplain exists and the parcel is currently vacant.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<i>Staff Comments</i>	<p><i>At this time, the City Engineer has not required that a Soils Report be prepared and/or submitted.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.

			Staff Comments	<p><i>Preliminary grading has been developed for the proposed streets within the subdivision. Preliminary grading, drainage, and street and utility improvements will be further analyzed by the City Engineer at final design.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	<p>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>
			Staff Comments	<p><i>The grading has been developed for the proposed streets within the subdivision. Grading for dwelling units shall meet this standard.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</p>
			Staff Comments	<p><i>N/A, as none exist within Block 7. However, an Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement has been designated on the preliminary plat map, encompassing the area between Easement Line C26 and Kestrel Street. This area shall benefit future property owners within the subdivision.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</p>
			Staff Comments	<p><i>Erosion control and re-vegetation shall be included in final design.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	<p>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	<p><i>Grading and drainage review shall take place during final design.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm-water Discharge from Construction Activity” for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	<i>A Storm Water Pollution Prevention Plan (SWPPP) will be necessary for any disturbances greater than one (1) acre and shall be provided at final design. Additionally, the Applicant will complete all applicable EPA permitting prior to construction.</i>
				<i>Finding: Compliance. This standard will be met.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
				<i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
				<i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
				<i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
				<i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
				<i>Finding: Compliance. This standard does not apply.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i> <i>Finding: Compliance. This standard does not apply.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			<i>Staff Comments</i>	<i>Open space dedications to the BCRD (Block 10) and BCSD (Block 1) were conveyed at the time of the Large Block Preliminary Plat. Numerous other open space parcels and pathways have been delineated on the Large Block Plat, creating the feel of a pedestrian-oriented development. Pathways have also been set aside for certain areas within the Quigley Farm Subdivision (i.e., extension of the Toe-of-the-Hill Trail, asphalt pathway to Quigley Road from Fox Acres, multiuse pathways planned in collaboration with BCRD, etc.). While Block 7 was not required to provide for either parks or additional pathways, an Open Space/Park, Pathway, Parking, Snow Storage, and Public Utility Easement has been designated on the preliminary plat map, encompassing the area between Easement Line C26 and Kestrel Street. This area shall benefit future property owners within the subdivision.</i> <i>Finding: Compliance. This standard has been met.</i>
			A. 1.	Parks:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1. a.	The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula: P = x multiplied by .0277 “P” is the Parks contribution in acres “x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.
			<i>Staff Comments</i>	<i>Mathematical calculations of this formula for the submitted plat result in the following requirements:</i> Project Buildout with Number of Units: <i>.0277 x 176 = 4.8752 acres</i> <i>The above calculation was discussed at length during the Preliminary Plat process of the Quigley Farm Subdivision Large Block Plat. Park Space was conveyed during this process and the Hailey City Council found that the amount of permanent open space protected by the project greatly exceeds</i>

				<p><i>the required amount. Furthermore, Block 7 is within the Large Block Plat of the Quigley Farm Subdivision, and as an individual plat, is not required to provide separate park space.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	<p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p>
			Staff Comments	<p><i>N/A, as the proposed subdivision is located in the General Residential (GR) Zoning District.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			Staff Comments	<p><i>Pathways were also conveyed during the Preliminary Plat process of the Quigley Farm Subdivision Large Block Plat. Numerous other open space parcels and pathways have been delineated on the Large Block Plat, creating the feel of a pedestrian-oriented development. Pathways have also been set aside for certain areas within the Quigley Farm Subdivision (i.e., extension of the Toe-of-the-Hill Trail, asphalt pathway to Quigley Road from Fox Acres, multiuse pathways planned in collaboration with BCRD, etc.); however, Block 7 specifically was not required to provide additional pathways.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<p><i>N/A, as these issues were covered in the full development of the project through the Annexation Agreement, as well as within the Large Block Plat. This does not apply specifically to the subject parcel.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p>
			<i>Staff Comments</i>	<p>The Parks and Lands Board reviewed the full project in September 2016 and again in December 2017. In September 2016, the Parks and Lands Board reviewed the plan to develop Quigley Farm. The discussion included the relocation of ball fields and the addition of sports fields. It also included future cross-country skiing trails, biking trails and connections to the existing Toe of the Hill Trail. The addition of paved bike paths, parking, a pavilion and restroom, mountain bike and hand-cycling trails and other connections to existing trails were also discussed.</p> <p>At the December 2017 meeting, the Parks and Lands Board unanimously voted to approve Quigley Farm Subdivisions open space dedication as proposed, with the following conditions:</p> <ol style="list-style-type: none"> 1) A bike path be added between Quigley Road and Fox Acres Road, east of the dedicated parcel to BCSD; 2) A public process to take place to determine the future of the berms on the west side of the parcel dedicated to the BCSD; and 3) Wayfinding and dog pot station to be added at the end of Antler Drive where the bike path begins. <p>These conditions were covered in the full development of the project through the Large Block Plat. They are a work in progress and will see completion through the ongoing development of Quigley Farm Subdivision.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
			D.	Minimum Requirements:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	<p>Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.</p>
			<i>Staff Comments</i>	<p>No private green space specifically for Block 7 is being proposed at this time. Numerous open space parcels have been delineated on the Large Block Plat, which is protected from redevelopment, and will be managed by the Homeowner’s Association.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	<p>Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.</p>
			<i>Staff Comments</i>	<p>N/A, as no neighborhood park is proposed within Block 7 at this time. Open space dedications to the BCRD (Block 10) and BCSD (Block 1) were conveyed</p>

				<p>at the time of the Large Block Preliminary Plat. The block, if fully developed, will satisfy this standard.</p> <p><u>Finding: Compliance. This standard does not apply.</u></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	<p>Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.</p> <p><i>Staff Comments</i> N/A, as no mini park is proposed within Block 7 at this time.</p> <p><u>Finding: Compliance. This standard does not apply.</u></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	<p>Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.</p> <p><i>Staff Comments</i> N/A, as no park/cultural space is proposed within Block 7 at this time.</p> <p><u>Finding: Compliance. This standard does not apply.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	<p>Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p> <p><i>Staff Comments</i> Pathways were conveyed during the Preliminary Plat process of the Quigley Farm Subdivision Large Block Plat. Other pathways have been delineated on the Large Block Plat, creating the feel of a pedestrian-oriented development. Pathways have also been set aside for certain areas within the Quigley Farm Subdivision (i.e., extension of the Toe-of-the-Hill Trail, asphalt pathway to Quigley Road from Fox Acres, multiuse pathways planned in collaboration with BCRD, etc.); however, Block 7 specifically was not required to provide additional pathways.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p> <p><i>Staff Comments</i> Please refer to Section 16.040.110 for further details.</p> <p><u>Finding: Compliance. This standard has been met.</u></p>
			E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>Please refer to Section 16.040.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			Staff Comments	<i>No gates or restricted access are proposed.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			Staff Comments	<i>Please refer to Section 16.040.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			Staff Comments	<i>Please refer to Section 16.040.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			Staff Comments	<i>Please refer to Section 16.040.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			Staff Comments	<i>Please refer to Section 16.040.110.D for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			Staff Comments	<i>Please refer to Section 16.040.110.A for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by subsection D of this section.
			Staff Comments	<i>Please refer to Section 16.04.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments

				shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i> <i>Finding: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	<i>Maintenance shall be managed and funded by the Subdivision's HOA, if private space is proposed.</i> <i>Finding: Compliance. This standard has been met.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			<i>Staff Comments</i>	<i>N/A</i> <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	<i>N/A</i> <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	<i>N/A</i> <i>Finding: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	<i>N/A</i> <i>Finding: Compliance. This standard does not apply.</i>

16.05: Improvements Required:

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> <p><i>Staff Comments</i> The Applicant intends to construct all necessary infrastructure, if the project is approved.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p> <p><i>Staff Comments</i> This standard will be met.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p> <p><i>Staff Comments</i> This standard will be met.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.</p> <p><i>Staff Comments</i> This standard will be met.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p> <p><i>Staff Comments</i> All public infrastructure shall meet City specifications. No streetlights are proposed at this time.</p> <p><i>Finding: Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)</p>
			Staff Comments	<p><i>New water, sewer, and pressure irrigation service lines are proposed for Block 7, which will require street cuts. Any and all proposed street cuts shall be per this standard approved by the Streets Division prior to construction. Street cuts will be further analyzed at final design.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.</p>
			Staff Comments	<p><i>Street names and signage have been reviewed and approved by the City and the Assessor's Office.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.</p>
			Staff Comments	<p><i>N/A, as no streetlights are shown and/or proposed.</i></p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	<p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			Staff Comments	<p><i>Sewer services are shown at this time and will be further reviewed by Staff at final design. Currently, Staff and the Applicant are working to formalize a Water and Wastewater Discharge Agreement, as outlined by the Annexation, Development, and Services Agreement. In the meantime, all infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i></p> <p><i>Finding: Compliance. This standard has been met.</i></p>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains</p>

				<p>and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p>Sewer services are shown at this time and will be further reviewed by Staff at final design. Currently, Staff and the Applicant are working to formalize a Water and Wastewater Discharge Agreement, as outlined by the Annexation, Development, and Services Agreement. In the meantime, all infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</p> <p><u>Finding:</u> Compliance. This standard will be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<p>N/A, as this project is not within the Townsite Overlay (TO) District.</p> <p><u>Finding:</u> Compliance. This standard does not apply.</p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p>Review of drainage calculations will take place during final design. Design concepts must conform to City of Hailey standard drawings, specifications and procedures.</p> <p><u>Finding:</u> Compliance. This standard will be met.</p>
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			<i>Staff Comments</i>	<p>Utilities will be constructed and installed underground. Additional utility company comment, and engineering details will be required at final design.</p> <p><u>Finding:</u> Compliance. This standard will be met.</p>
16.05.070: Parks, Green Space				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 16.04.110 for further detail.</p> <p><u>Finding:</u> Compliance. This standard has been met.</p>
16.05.080: Installation to Specifications; Inspections				

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p> <p><i>Staff Comments</i></p> <p>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure compliance with the Hailey Municipal Code. This has been made a Condition of Approval.</p> <p>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p> <p><i>Staff Comments</i></p> <p>This standard shall be met.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i></p> <p>N/A, as completion of all major infrastructure by the Developer is preferred over bonding.</p> <p><i>Finding: Compliance. This standard does not apply.</i></p>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	<p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i></p> <p>As built drawings will be required. This standard will be met.</p> <p><i>Finding: Compliance. This standard will be met.</i></p>
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	<p>Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities,</p>

				<p>commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>If townhouse development construction occurs, this standard shall be met.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	<p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>No garages have been shown on the plat. That said, it is expected that all garages be located on the same lot as the principal dwelling. This standard shall be met upon further development of the parcel.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	<p>Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, Multifamily Dwellings are required to provide at least 1.5 onsite parking spaces. At this time, no onsite parking has been delineated. Upon further development of a site plan, this standard shall be met.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	<p>Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>If townhouse development construction occurs, this standard shall be met.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	<p>General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>If townhouse development construction occurs, this standard shall be met.</i></p> <p><i>Finding: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	<p>Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015).</p>
			<i>Staff Comments</i>	<p><i>This standard will be met.</i></p>

				<i>Finding: Compliance. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed parcel is zoned General Residential (GR), which allows for ten (10) units per one (1) acre. Block 7 is three (3) acres. Ten (10) lots are proposed. Lots 3 and 4 may include two residential units each for a total of twelve (12) units, which is the indicated block density for Block 7 on the Quigley Farm Large Block Plat.</i>
				<i>Finding: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A
				<i>Finding: Compliance. This standard does not apply.</i>

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1) Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
- 2) The project is in general conformance with the Hailey Comprehensive Plan.
- 3) The project does not jeopardize the health, safety, or welfare of the public.
- 4) Upon compliance with the conditions set forth, the project conforms to the applicable standards of the Hailey Municipal Code and City Standards.

DECISION

The Preliminary Plat Application by David Hennessy, represented by David Patrie, wherein Block 7, Quigley Farms Subdivision (Fox Acres Road and Quigley Farm Road) is subdivided to create ten (10) lots, ranging in size from 9,908 square feet to 17,989 square feet in size, is approved, finding that the project

does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Chapter 17.11, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (1) through (9) are met.

General Conditions:

- 1) All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- 2) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- 3) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- 4) The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat.
- 5) Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
- 6) Any Application Development Fees shall be paid prior to recordation Final Plat.

Streets and Right-of-Ways:

- 7) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. Driveways accessing more than one (1) residential dwelling unit shall be maintained by a Homeowner's Association, or in accordance with a plat note.
 - ii. Drywell and other construction details shall be provided at final design.

Water and Wastewater:

- 8) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required.

Other:

All of the requirements of the Annexation, Services and Development Agreement dated August 16, 2017, the Large Block Plat Conditions of Approval dated July 9, 2018, and Phase II of the Final Plat for Blocks 5-7 dated November 23, 2020, still apply.

Signed this ____ day of _____, 2024.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Robyn Davis, Community Development Director

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

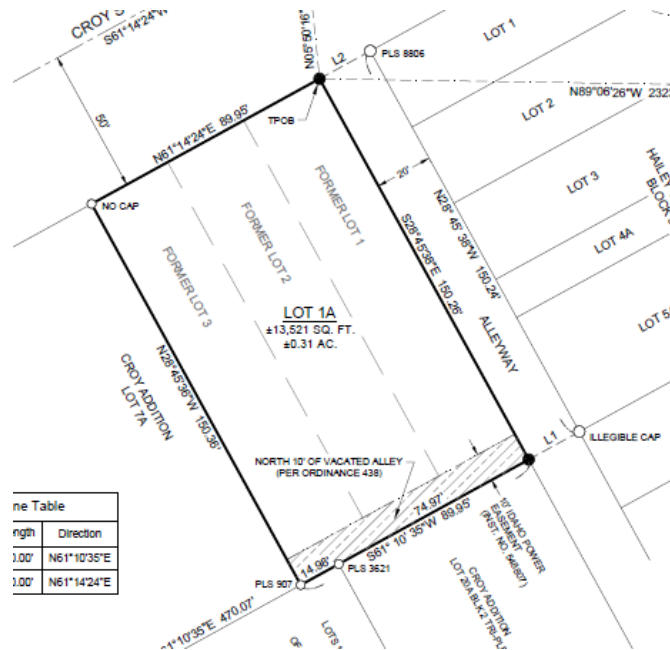
On July 1, 2024, the Hailey Planning and Zoning Commission Chair considered the Preliminary Plat Application for a Lot Line Adjustment, submitted by The Advocates for Survivors of Domestic Violence and Sexual Assault, represented by Galena-Benchmark Engineering, wherein Lots 1, 2, and 3, Block 2 of Croy Addition, and the north 10 feet of the adjacent vacated alley are combined, creating Lot 1A. This project is located in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

The Administrator, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Notice: Notice was published in the Idaho Mountain Express and mailed to property owners within 300 feet on June 11, 2024. One (1) public comment was received during the noticing period, requesting greater clarification on the vacated alley referenced in the plat application.

Application: Application for a Lot Line Adjustment, submitted by The Advocates for Survivors of Domestic Violence and Sexual Assault, represented by Galena-Benchmark Engineering, wherein Lots 1, 2, and 3, Block 2 of Croy Addition, and the north 10 feet of the adjacent vacated alley are combined, creating Lot 1A, which is 13,521 square feet in size (0.31 acres). Impacts to site operations, utilities, and adjoining parcel conditions are not anticipated.



Procedure: Following expiration of the comment period, and upon the Administrator’s finding that the plat is compliant with the provisions of the Hailey Municipal Code, the Administrator may approve, or conditionally approve, the Preliminary Plat.

This Application was originally submitted and noticed as a full Preliminary Plat Application; however, upon further review, it was determined that a Public Hearing would not be necessary for the proposed plat adjustment. The project is now being reviewed according to standard City of Hailey lot line adjustment procedures. The Application was submitted on May 17, 2024 and certified complete on May

21, 2024. Notice was published in the Idaho Mountain Express and mailed to property owners within 300 feet on June 11, 2024. One (1) public comment was received during the noticing period, requesting greater clarification on the vacated alley referenced in the plat application. Staff recommends that the Administrator move forward and approve the Application for a lot line adjustment application.

Standards: Each of the pertinent standards of the Hailey Municipal Code have been met.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Administrator makes the following Conclusions of Law and Decision:

1. Adequate notice for Preliminary Plat of a Lot Line Adjustment, pursuant to Section 16.06 of the Hailey Municipal Code, was given.
2. The Application conforms to the definition of a Lot Line Adjustment.
3. Upon compliance with the conditions noted below, the application substantially meets the standards of approval set forth in the Hailey Municipal Code.

DECISION

Application for a Lot Line Adjustment, submitted by The Advocates for Survivors of Domestic Violence and Sexual Assault, represented by Galena-Benchmark Engineering, wherein Lots 1, 2, and 3, Block 2 of Croy Addition, and the north 10 feet of the adjacent vacated alley are combined, creating Lot 1A, is approved by the Administrator with the following conditions:

1. Upon any further development, any applicable provisions of the Hailey Municipal Code are in effect on the date of the Application for Development shall apply. City infrastructure requirements, as outlined in Chapter 16.05 of the Hailey Municipal Code, shall be met. Detailed plans for any required infrastructure to be installed or improved at or adjacent to the site shall meet City Standards and shall be submitted for City approval.
2. Issuance of permits for the construction of buildings shall be subject to Chapter 16.02.080 of the Hailey Municipal Code.
3. The Final Plat must be submitted within two (2) calendar years from the date of approval of the preliminary plat, unless otherwise allowed for within a phasing agreement.

Findings approved this 1st day of July, 2024.

Robyn Davis, Community Development Director

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STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of July 1, 2024

To: Hailey Planning and Zoning Commission
From: Ashley Dyer, Community Development Planner

Overview: Consideration of a Design Review Application by Macintosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,390 square foot multifamily townhome development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision). The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total.

Hearing: July 1, 2024

Applicant: Macintosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture
Location: AM Lot 2A, Block 1, Maple Subdivision, Hailey Townsite (637 S. River Street)
Zoning/Size: General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO); .20 acres (8,840sq. ft.)

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on June 12, 2024. No other notices were published, or mailings sent.

Application: The Applicant is proposing the construction of a new 6,390 square foot multifamily townhome development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision). The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total.

This project, Six Thirty-Seven Townhomes, is proposing the following:

- Six (6), residential dwelling units approximately 1,203 square feet in size.
- 12 onsite covered parking spaces.
- Useable Open/Space: Outdoor shared courtyard, approximately 742 square feet in size:
 - 315 square feet- Courtyard Building A
 - 112 square feet- Courtyard shared space in between buildings
 - 315 square feet – Courtyard Building B
- Per the DRO Zoning District, 10% of the total lot area shall be set aside for open space, which is 884 sq. ft. Between the courtyard space, and open space along the eastern and western property lines of the parcel, the Applicant is proposing 2,903 sf. of open space.

Site access is located off of the existing public street, River Street, via a new private drive. Given the scope of this project, the River Street Typical Section will not be constructed along River Street. Rather than have a 60'-wide island of ROW improvements within this block, the Applicant plans to pay an in-lieu fee equivalent to that of the River Street Typical Section for the property's frontage.

Procedural History and Background: The Application was submitted on May 20, 2024, and certified complete on May 28, 2024. A public hearing for the project was scheduled before the Planning and Zoning Commission on July 1, 2024, in the Council Chambers and virtually via Microsoft Teams.

Design Review Preapplication: On May 6, 2024, the Hailey Planning and Zoning Commission heard a Design Review Pre-Application for this project and made the following recommendations/suggestions:

1. The multifamily townhome project is proposed to be shades of gray and brown. Exterior materials incorporate vertical cement board and batten siding with a corrugated metal panel along the lower portion of each building. Undulation and visual interest are further enhanced by various sized windows, wood siding panels accents, roof parapets and Black Architectural Asphalt shingles. Black windows and exterior doors are proposed. **The Commission suggested the incorporation of additional exterior materials and/or design features to break up the side elevations of the buildings, a belly band was specifically mentioned. The Commission further mentioned that the proposed wood siding details will require maintenance and recommended that maintenance be included as a Condition of Approval for the full Design Review.**
2. Site Planning: Density: For parcels located within the DRO, the per acre density provisions of the underlying district shall not apply. Rather, density shall be limited by required open space, parking, landscaping, and standards of review from "Design Review". As such, the Applicant is proposing a project that consists of six (6) residential multifamily units on approximately .20 acres of land. The overall density proposed complies with the regulations as outlined in the DRO. **This standard has been met.**
3. Site Access: Vehicular access will be achieved from River Street through a paved driveway to access the site. **The Commission suggested researching the utilization of the adjoining property to the north off River Street to help maximize the lot. The submitted plans show a proposed new private driveway/access off of River Street, separate from the private access/drive to the north.**
4. Parking: The proposed project is located within the Downtown Residential Overlay (DRO). The Hailey Municipal Code requires a minimum of one (1) parking space per residential dwelling unit. The project proposes a total of six (6) residential units, thereby requiring that six (6) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of 12 onsite parking spaces. **The Commission requested that the Applicant look into utilizing the private northern driveway that adjoins their property via a shared access easement, as noted above. Furthermore, the Commission suggested a parking space in place of the proposed bike storage. By relocating the bike storage to an alternative location, more onsite parking can be provided, and safer circulation to/from the bike storage can be achieved. The Applicant provided the extra parking space in place of the originally proposed bike storage and relocated it to a common area near the front of the units to be utilized as shared space by the tenants.**
5. Streets, Right-of-Ways, Sidewalks: The Applicant is proposing to Construct a meandering bike path, equivalent to that of the River Street Typical Section for this property's frontage. It is anticipated that this path will continue north to Chestnut Street and south to Maple Street; however, Staff and the Applicant will continue to refine details of this once an estimate has been prepared by the Applicant and provided to the City Engineer for review. Details will be provided at the full Design

Review hearing. **The Commission would like to see the sidewalk to the buildings extended for future development north of the property line for future egress. Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property’s frontage. This payment shall be made prior to issuance of a Certificate of Occupancy.**

6. Per the DRO Zoning District, a total of 10% of open space is required onsite for the development of the project. The proposed 8,840 square foot lot would require 884 square feet of open space. The Applicant has provided 2,903square feet or 33% of open space for the multifamily project, which is more than the required amount. While the Applicant exceeds minimum open space requirements, there appear to be no onsite amenities offered to the future tenants of this project. Staff strongly encourages the Applicant to consider adding outdoor seating areas within/under the pergolas and/or picnic tables within the open space areas. Useable amenities within gathering areas are highly desirable and should be integrated onsite. **The Applicant provided 2,903 square feet of open space including shared outdoor amenities/courtyard spaces, as well as additional square footage for the bike storage and mailboxes.**

7. Misc: **The Commission shared concerns about the proposed base board heating element and suggested that the Applicant reconsider their options to lessen the burden on the residents of the units. The proposed submitted plans call for electric heating.**

Procedural History: The Design Review Application was submitted on May 20, 2024, and certified complete on May 28, 2024. A public hearing before the Planning and Zoning Commission is scheduled for July 1, 2024, in the Hailey City Council Chambers and virtually via GoTo Meeting.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering:
				Life/Safety: <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i>
				Water and Sewer: <i>Any and all sewer services shall be relocated to the center of the lot.</i>
				Building: <i>No comments</i>
				Streets, Landscaping, Other: <i>Concerns about proposed landscaping in the snow storage areas, as well as some safety concerns about the egress onto River Street- suggested installing a stop sign at the driveway onto River Street for safe access out onto River Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			<i>Staff Comments</i>	<i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			<i>Staff Comments</i>	<i>The proposed project is located within the Downtown Residential Overlay (DRO). The Hailey Municipal Code requires a minimum of one (1) parking space per residential dwelling unit. The project proposes a total of six (6) residential units, thereby requiring that six (6) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of 12 onsite parking spaces.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		17.09.040.06: EXCESS OF PERMITTED PARKING: A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review. <i>N/A- Site parking meets requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>The Applicant is proposing downcast, LED, square cylinder, dark sky compliant fixtures. Cut sheets are attached. The proposed fixtures are to be located at the front & rear of Building A and B.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Zoning District: Business Maximum Height: 30' within the General Residential (GR) Downtown Residential Overlay (DRO) and Townsite Overlay (TO) with residential unit(s) Required Setbacks: The setback from the adjacent property shall be one (1) foot for every two (2 ½) feet of wall height , provided, however, no side or rear yard shall be less than the base setback. - Front Yard: 12 - Side Yards: 10 - Rear Yard: 10 - Lot Coverage: 25%

			<p>Staff Comments</p> <p><i>Zoning District(s): General Residential (GR), Downtown Residential (DRO) Overlay, & Townsite Overlay (TO)</i></p> <p><i>Proposed Height: 30</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> - <i>Front: 12 feet</i> - <i>Rear: 10 feet</i> - <i>Side (north): 10 feet</i> - <i>Side (South): 10 feet</i> - <i>Lot coverage: 11.5%</i> <p><i>With regard to setbacks, the proposed pergolas along the northern building frontage do not comply with the setback requirements of the district. Pursuant Section 17.04M.060: Bulk Requirements, Item 4.c.:</i></p> <ul style="list-style-type: none"> • <i>Roof overhangs, fire escapes, standard, chimneys, bay windows and other features, which are subject to Section 17.07.010: Supplementary Yard Setback Requirements, shall not have setback less than five feet (5') from the property lines abutting other private property.</i> • <i>Section 17.07.010, Item E further notes, Pergolas: Supporting columns for pergolas shall meet required yard setbacks. The roof of a pergola shall not extend into a required yard setback by more than five feet (5').</i> <p><i>While Staff appreciates the pergola features, the Applicant shall modify the proposed pergolas to comply with Hailey’s Municipal Code. This has been made a Condition of Approval.</i></p> <p><i>Lot Coverage: The allowed lot coverage for this parcel is 25%. The lot size is 8,840 square feet with total proposed building footprints of 1,018 square feet in size. Given this information, lot coverage equates to 11.5%, or well under the maximum lot coverage for the site.</i></p> <p><i>In May, the Commission discussed and shared concerns over the proposed lot coverage; however, pursuant Title 17, Chapter 17.02: Definitions, the Applicant meets the definition of lot coverage. As defined in code:</i></p> <ul style="list-style-type: none"> • <i>Lot Coverage: The percentage of the total lot area included within the footprint of all buildings.</i> • <i>Building Footprint: The area of the lot or parcel which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, also including attached garages, carports and porte-cocheres, enclosed decks, enclosed porches, solariums and similar enclosed extensions, attachments and accessory annexes. Not included in the footprint are unenclosed portions or extensions of buildings, including, but not limited to, unenclosed decks, porches, eaves and roof overhangs.</i> <p><i>Based on the information noted herein, as well as the interpretation by Staff and Hailey’s City Attorney, the proposed unenclosed portions, features, or</i></p>
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				<i>extensions of the buildings should not be calculated within the building footprint, nor within the lot coverage calculations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ul style="list-style-type: none"> <i>i. For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i> <i>ii. For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</i> <i>iii. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</i> <p><i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A - No alley access is proposed.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.

			<i>Staff Comments</i>	<i>The proposed building follows the grid pattern in downtown Hailey, the primary walls of the proposed buildings are oriented north/south due to the narrowness of the lot, which is consistent with the adjoining residential properties to the North and the South. An open space area, usable by the residents of the building, is proposed along the northern property line which is shielded by a large retaining wall and proposed fence addition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.
			<i>Staff Comments</i>	<i>N/A, as the site does not contain any existing mature landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval. The proposed site includes a paved shared private drive with covered parking spaces for the units. There is a proposed interior pathway between the buildings as well as a pathway or courtyards proposed along the property's northern line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	<i>The Applicant is proposing a trash receptacle for each unit to be stored in their covered parking area; the intent is that the receptacle would be brought out to the edge of the street by the tenant for collection. The proposed use of individual trash receptacles should require a letter from Clear Creek Disposal commenting on the adequacy of said enclosures/accessibility. The proposed electrical transformer is located at the rear of the site. The transformer shall be screened from view (subject to approval by Idaho Power) of the public street. These items have been made Conditions of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>N/A -There is no existing alley to be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A- No Vending Machines are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.

				<p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<i>All onsite parking is proposed to be covered and will be accessed via a private entrance located off River Street. The parking area is buffered from adjoining properties by a six-foot (6') cedar fence to the south, a concrete retaining wall and proposed fence addition along the western and northern sides of the parcel. The proposed landscaping also buffers the parking area from the primary street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</p> <p>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</p>
			<i>Staff Comments</i>	<i>N/A, as the proposed use is residential.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<i>N/A- There is no existing Alley. The site and onsite parking area can be accessed via the private drive off River Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<i>Onsite snow storage areas are proposed for this parcel in the amount of 586 square feet. The proposed snow storage areas are located along the front 12' setback and the rear 12' setback areas of the site. The improved hardscape for the project is 2,297 square feet which would require 574 square feet of snow storage. The Applicant exceeds this requirement with 586 square feet of snow storage. Building A: 319 square feet Building B: 267 square feet</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Any landscaped areas where snow may be stored (front 12' setback and rear 12' setback areas) contain plants that are more resilient to snow.</i>
2. Building Design: 17.06.080(A)2, items (a) thru (m)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposed building reflects the surrounding properties with the North/South orientation as well as the proposed height and rooflines. The layout of the individual housing units, the articulation of the rooflines, and the materials complement the surrounding area. The roofline is articulated in a comparable manner to the surrounding area with varying parapets that provide human scale to the overall massing.</i> <i>Although there are primarily single-family dwellings adjoining this property, it is important to note that adjacent parcels located within the DRO could also be developed similarly, both larger and smaller. The DRO was developed to offer greater flexibility in not only parking, landscaping, and density, but building design, scale, and shape.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the proposed building design is not a standardized corporate building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The Applicant has integrated the building to the surrounding site and greater area. Open space areas, and various exterior materials emphasize human scale, are pedestrian oriented and encourage human activity.</i> <i>A variety of landscaping and plant material will also be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval. Pathways, open space, and small patio areas create human scale and break up larger building surfaces.</i>

				<i>Various materials have been incorporated along the east elevation, which is visible from River Street, to reduce building mass and large building surfaces. The north elevation wall mass is broken up by the various siding and various size windows.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as no expansion is planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>The proposed buildings are three stories in height. The variety of colors utilized, and various siding, provide depth, and human scale to the building façades.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ol style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<i>The building incorporates the following techniques that minimize its energy consumption:</i> <ul style="list-style-type: none"> - <i>All windows will be double glazed and incorporate low emissivity glazing properties</i> - <i>The building will be entirely electric, with no gas service</i> - <i>Energy Star Appliances will be utilized</i> - <i>Most of the buildings will utilize electric, including HPAC units within the residential units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

			<i>Staff Comments</i>	<i>It appears that the front pedestrian entrances will be covered by the proposed covered parking, which will retain snow, and gutters and downspouts have been provided. The Applicant has proposed gutters and snow clips on the north side to keep snow and rain from shedding onto the back entrances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A - No Accessory structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>There is an existing concrete retaining wall located on the north property line of the parcel as well as an existing fence around the perimeter that will remain in place. The Applicant is proposing to add an additional six foot (6') tall wooden fence on top of the concrete retaining wall.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A- No alternative energy sources are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.

			<i>Staff Comments</i>	<i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Staff Comments</i> Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite: Trees (19 total trees):</p> <ul style="list-style-type: none"> - 9 Skyrocket Juniper Trees at 2.5" caliper- 6ft. in height - 2 Spring Snow Crabapple Trees at 2.5" caliper - 2 Royal Raindrops Crabapple Trees at 2.5" caliper - 6 Swedish Aspen Trees at 1.5" caliper -12ft. in height <p>Shrubs (41 total shrubs):</p> <ul style="list-style-type: none"> - 2 Orange Rocket Barberry at 2 gallons - 1 Hydrangea at 3 gallons - 8 Dwarf Mugo Pine at 3 gallons - 24 Tor Birchleaf Spirea at 2 gallons - 6 Magic Carpet Spirea at 2 gallons <p>Groundcovers, Grasses, and Perennials (76 total groundcovers, grasses, and perennials):</p> <ul style="list-style-type: none"> - 18 Snow on the Mountain at 1 gallon - 16 Karl Forester Feather Grass at 2 gallon - 20 Blue Oat Grass at 1 gallon - 22 Junior Walker Catmint at 4" pot
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Staff Comments</i> Plant materials will be appropriate for the Zone 4 environment.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>Staff Comments</i> It appears a drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water wise system. Low water use rotator nozzles should also be installed in grass spaces. Irrigation systems should not be placed against the pavement – they shall be positioned in a way where they will not spray water on the pavement or other hardscape areas.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			<i>Staff Comments</i>	<p><i>Proposed landscaping is varied. A combination of trees, shrubs, groundcover, grasses and perennials will be utilized to soften the site, as well as create visual interest.</i></p> <p><i>While varied, the proposed Swedish Aspen Trees (6 in total) do not meet the minimum caliper size of 2 ½”. The Applicant shall revise the landscaping plan and illustrate compliance with City Standards. This shall be revised and submitted prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>Additionally, the Applicant is proposing 19 trees in total to be planted onsite. Per this standard, no more than 20% of any single tree species shall be planted onsite, or in this case, no more than approximately four (4) trees in total may be a single tree species. The Applicant shall revise the landscaping plan – reducing the total number of Skyrocket Juniper and Swedish Aspen – to comply with this standard. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<p><i>N/A, as this parcel is not located within the LI or SCI Zoning District.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p><i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p><i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p><i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p>
			<i>Staff Comments</i>	<p><i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p>

			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel.</i>

Additional Design Review Requirements for Multifamily Buildings within the City of Hailey

1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The proposed building complements the surrounding area and adjacent uses. The proposed residential use is within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.</i> <i>Integration of the building to the surrounding site and landscape is an imperative facet of the project with a variety of landscaping and features providing screening for both residents and neighbors alike.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.

			Staff Comments	<i>To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site. Pedestrian amenities include shared external courtyards which are fenced in for privacy. The open space courtyards include concrete paver patios and various landscaping to help create an inviting space.</i>
2. Building Design: 17.06.080 (D) 2, items (a) thru (b)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i></p> <p><i>The proposed building design provides a multifamily design that responds to the varying character of the city.</i></p> <ul style="list-style-type: none"> - <i>The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design.</i> - <i>The proposed open space and landscaping plan further separate the building from less intensive uses.</i> <p><i>The proposed residential use is located within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. This multifamily project creates a natural transition from single family use to higher-density residential use, as well as Business use, and in-turn, to less-dense residential use that is evident in nearby neighborhoods.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i></p> <p><i>The building achieves human scale by a prominent entrance, covered parking, open space areas, site circulation connections and various exterior materials. The landscaping also maximizes human scale with the various trees, shrubs, groundcovers, grasses, and perennials, as proposed provides screening for both residents and neighbors.</i></p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**

5. **Control the sequence, timing, and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water and Wastewater:**
 - i. All construction shall be to City Standards.
 - ii. The proposed sewer service location will be moved to the center of the lot.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All exterior lighting shall comply with the Outdoor Lighting Ordinance.

- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- j) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- k) The transformer shall be screened from view (subject to approval by Idaho Power) of the public street.
- l) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- m) The Applicant will provide a cost estimate for the proposed River Street Typical Section and pay in-lieu fees prior to issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer.
- n) The Applicant shall amend the landscaping plan to increase the caliper size of all trees to two-and-one-half inches (2 ½"), as well as ensure that no single tree species exceeds 20% of the total number of trees planted onsite.
- o) The Applicant shall modify and/or remove the proposed pergolas to comply with Hailey's Municipal Code.

Motion Language:

Approval: Motion to approve the Design Review Application submitted by Macintosh Holdings, LLC, for the construction of a new 6,390 square foot multifamily townhome development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (o) are met.

Denial: Motion to deny the Design Review Application submitted by Macintosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,390 square foot multifamily townhome development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision). The development consists of two (2), three story, multifamily buildings, which includes six (6) dwelling units in total, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

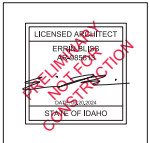
ABBREVIATIONS		
AB	ANCHOR BOLT	LAM LAMINATE
ABC	AGGREGATE BASE COURSE	MAT MATERIAL
AFB	ABOVE FINISH FLOOR	MAX MAXIMUM
AFG	ABOVE FINISH GRADE	MIN MINIMUM
ALT	ALTERNATE	MISC MISCELLANEOUS
ALUM	ALUMINIUM	MTL METAL
BD	BOARD	NIC NOT IN CONTRACT
BLDG	BUILDING	NO NUMBER
BO	BOTTOM OF	NOM NOMINAL
BOO	BOTTOM OF DECK	N NORTH
		NTS NOT TO SCALE
CA	CLEAR ANODIZED	OC ON CENTER
CC	CENTER TO CENTER	OH OVERHEAD
CIP	CAST IN PLACE	OPP OPPOSITE
CL	CENTER LINE	OSB ORIENTED STRAND BOARD
CLNG	CEILING	
CLR	CLEAR	
CJ	CONTROL JOINT	PL PLATE
CMU	CONCRETE MASONRY UNIT	PR PARS
COL	COLUMN	RA RETURN AIR
CONC	CONCRETE	RAD RADIUS
CONT	CONTINUOUS	RCP REFLECTED CEILING PLAN
DET	DETAIL	REF REFERENCE
DM	DIMENSION	REQD REQUIRED
DN	DOWN	REV REVISION
DWG	DRAWING	RO ROUGH OPENING
		ROW RIGHT OF WAY
EA	EACH	SC SOLID CORE
ELEG	ELECTRICAL	SCHED SCHEDULE
ELEV	ELEVATION	SF SQUARE FEET
EQ	EQUAL	SHT SHEET
EQUIP	EQUIPMENT	SIM SIMILAR
EXT	EXTERIOR	STL STEEL
EXIST	EXISTING	STRUC STRUCTURAL
FA	FIRE ALARM	
FACP	FIRE ALARM CONTROL PANEL	T&G TONGUE & GROOVE
FD	FLOOR DRAIN	TO TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOB TOP OF BEAM
FF	FINISHED FLOOR ELEVATION	TOM TOP OF MASONRY
FIN	FINISH	TOW TOP OF WALL
FLR	FLOOR	TYP TYPICAL
FT	FOOT OR FEET	
FV	FIELD VERIFY	UL UNDERWRITERS LABORATORIES
		UNO UNLESS NOTED OTHERWISE
GA	GAUGE	
GALV	GALVANIZED	VERT VERTICAL
GLB	GLUE LAMINATED BEAM	
GSF	GROSS SQUARE FEET	WC WATER CLOSET
GYP	GYPSPUM	WD WOOD
		WI WITH
HB	HOSE BIBB	W/O WITHOUT
HDWR	HARDWARE	
HR	HOUR	
INSUL	INSULATION	
INT	INTERIOR	
JNT	JOINT	

DRAWING SYMBOLS	
BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM	
OWNER:	LEONARD MENTOSH PHONE: 208-725-2487 EMAIL: cap@le0240@gmail.com
ARCHITECT:	BLISS ARCHITECTURE ERRIN BLISS: AIA PHONE: 208-721-7424 EMAIL: em@blissarchitecture.com 102 SOUTH MAIN STREET, SUITE B1 HAILEY, IDAHO 83333
GENERAL CONTRACTOR:	T.B.O.
CIVIL ENGINEER:	CPAL ENGINEERING SAMANTHA STAHL-NECKER, P.E. PHONE: 208-725-9608 EMAIL: sam@cpal-engineering.com www.cpal-engineering.com
LANDSCAPE ARCHITECT:	LYON LANDSCAPE ARCHITECTS NOGHIAN LYON, B.L.A. PHONE: 253-204-4053 EMAIL: nlyon@llyon.com
STRUCTURAL ENGINEER:	PLAN NORTH ENGINEERS DAVID FULTON, P.E. PHONE: 208-724-8996 EMAIL: david@pn-engineers.com 1401 S ROBERT ST, BOISE, IDAHO 83705

PROJECT DESCRIPTION	
PROJECT NAME:	SIX THIRTY SEVEN TOWNHOMES
DESCRIPTION:	THE PROPOSED PROJECT CONSISTS OF 2, 3 STORY TOWNHOME BUILDINGS, EACH BUILDING CONSISTS OF 3 UNITS, EACH UNIT IS 1,200 GROSS S.F., WITH 2 COVERED PARKING SPACES, A GREAT ROOM, KITCHEN, 2 BEDROOMS, & 2.5 BATHS.
BUILDING CODE DATA	<p>APPLICABLE BUILDING CODES: 2018 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS</p> <p>2018 INTERNATIONAL FIRE CODE WITH CITY OF HAILEY AMENDMENTS</p> <p>2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS</p> <p>OCCUPANCY TYPE: SINGLE-FAMILY DWELLING</p> <p>CONSTRUCTION TYPE: V-B-SPRINKLERED</p>
VICINITY MAP	<p>PROJECT SITE</p> <p>SCALE: N.T.S.</p>

SHEET INDEX	
A000	COVER SHEET
AS100	CONTEXT SITE PLAN
AS101	ARCHITECTURAL SITE PLAN
AS102	STAGING & CONTRACTOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A121	ROOF PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING RENDERINGS
A204	BUILDING RENDERINGS
A205	BUILDING RENDERINGS
A206	BUILDING RENDERINGS
C0.1	CIVIL COVER SHEET
C0.2	CIVIL DETAILS
C1.0	SITE LAYOUT, GRADING & DRAINAGE PLAN
L1.00	LAYOUT PLAN
L1.01	PLANTING DETAILS
L1.02	PLANT SCHEDULE, NOTES, & PLANT IMAGES



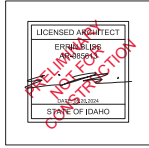
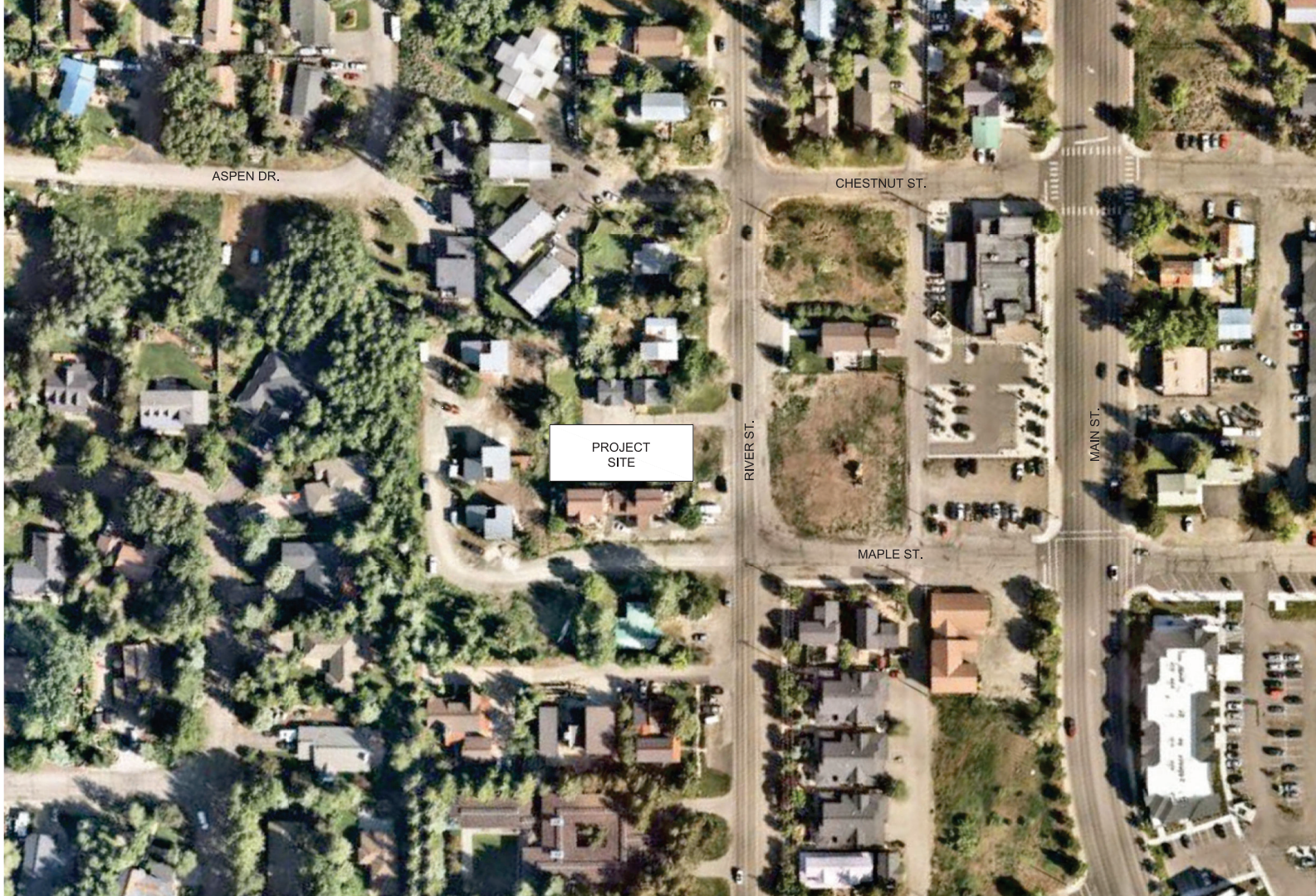
SIX THIRTY SEVEN TOWNHOMES
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE
 O | 1126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

SIX THIRTY SEVEN TOWNHOMES

HAILEY, IDAHO

PROJECT NO. 202401
DRAWN BY EMB CHECKED BY EMB
CITY OF HAILEY DESIGN REVIEW DATE 05 20 2024
COVER SHEET
A000

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SIX THIRTY SEVEN TOWNHOMES
 637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

PROJECT NO. | 202401
 DRAWN BY | EMB
 CHECKED BY | EMB
 CITY OF HAILEY
 DESIGN REVIEW
 DATE | 05 20 2024
 CONTEXT
 SITE PLAN

AS100

O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PNV CONTEXT SITE PLAN
 SCALE: 1" = 50'-0"

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SNOW STORAGE CALCS.

TOTAL IMPROVED ON-SITE VEHICLE & PEDESTRIAN CIRCULATION AREAS NOT COVERED BY ROOFS, ROOF EAVES, & DECKS ABOVE:
2,297 S.F.

ON-SITE SNOW STOR. REQUIRED:
2,297 S.F. x 25% = 574 S.F.

ON-SITE SNOW STOR. PROVIDED:
ON-SITE SNOW STOR. AREA 'A': 319 S.F.
ON-SITE SNOW STOR. AREA 'B': 267 S.F.

TOTAL: 586 S.F.

SITE DATA

SITE ADDRESS:
637 S. RIVER STREET
HAILEY, IDAHO

LEGAL DESCRIPTION:
HAILEY LOT 2A BLK 1

PARCEL NUMBER:
RPH045200002A

ZONING DISTRICT:
GR - GENERAL RESIDENTIAL

ZONING SUBDISTRICTS:
TOWNSITE OVERLAY DISTRICT
DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

LOT AREA:
TOTAL: 40.20 ACRES (±8,840 S.F.)

LOT COVERAGE:
ALLOWED: 25%
PROVIDED: BUILDING FOOTPRINTS = 1,018 S.F./8,840 S.F. = 11.5%

MIN. OPEN SPACE:
REQUIRED: 10% OF TOTAL LOT AREA = 884 S.F.
PROVIDED: 2,903 S.F. = 33%

MIN. FRONT YARD SETBACK AT RIVER STREET:
REQUIRED: 12'-0"
PROVIDED: SEE SITE PLAN

MIN. REAR YARD SETBACK:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (30'-0") = 12'-0"
PROVIDED: SEE SITE PLAN

MIN. SIDE YARD SETBACK AT SOUTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED:

MIN. SIDE YARD SETBACK AT NORTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED: SEE SITE PLAN

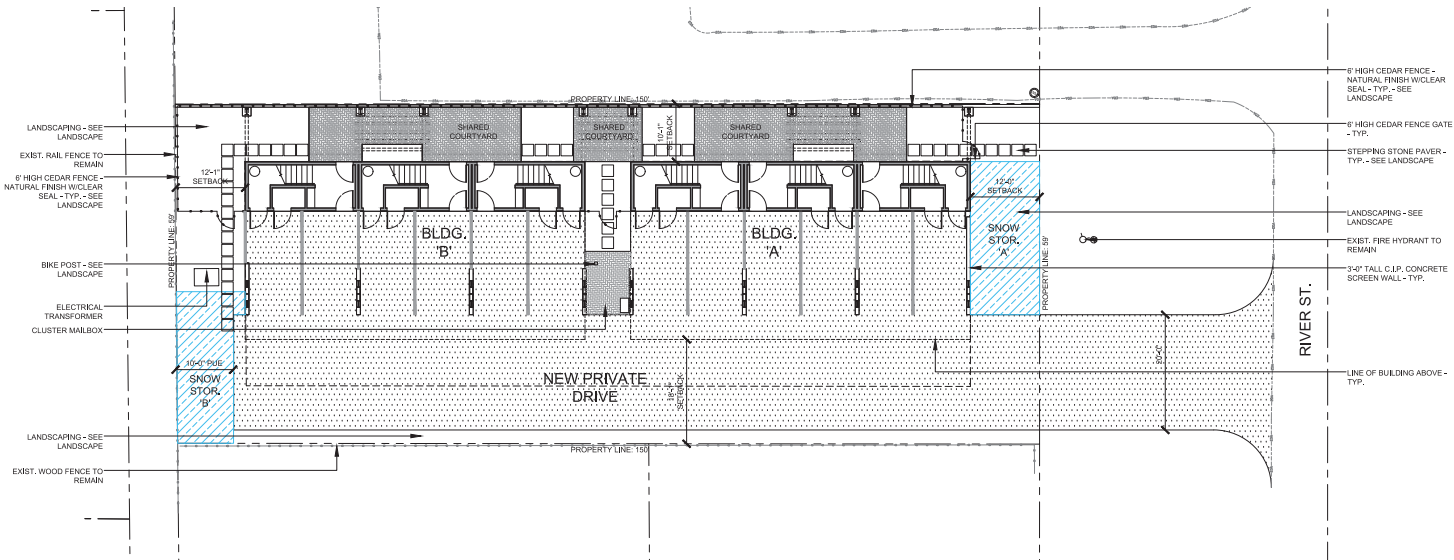
MAX. BUILDING HEIGHT:
ALLOWED: 30'-0"
PROVIDED:

BUILDING GROSS AREA:
BUILDING A: 3,609 S.F.
UNIT 1: 1,203 S.F.
UNIT 2: 1,203 S.F.
UNIT 3: 1,203 S.F.

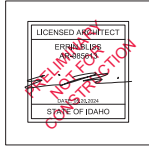
BUILDING B: 3,609 S.F.
UNIT 4: 1,203 S.F.
UNIT 5: 1,203 S.F.
UNIT 6: 1,203 S.F.

ON-SITE PARKING:
REQUIRED: 1 SPACE PER UNIT = 6 SPACES
PROVIDED: 12 COVERED SPACES

BIKE PARKING:
REQUIRED: 25% OF THE REQD NUMBER OF SPACES = 2 SPACES
PROVIDED: 1 BIKE POST = 2 SPACES



PNN ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



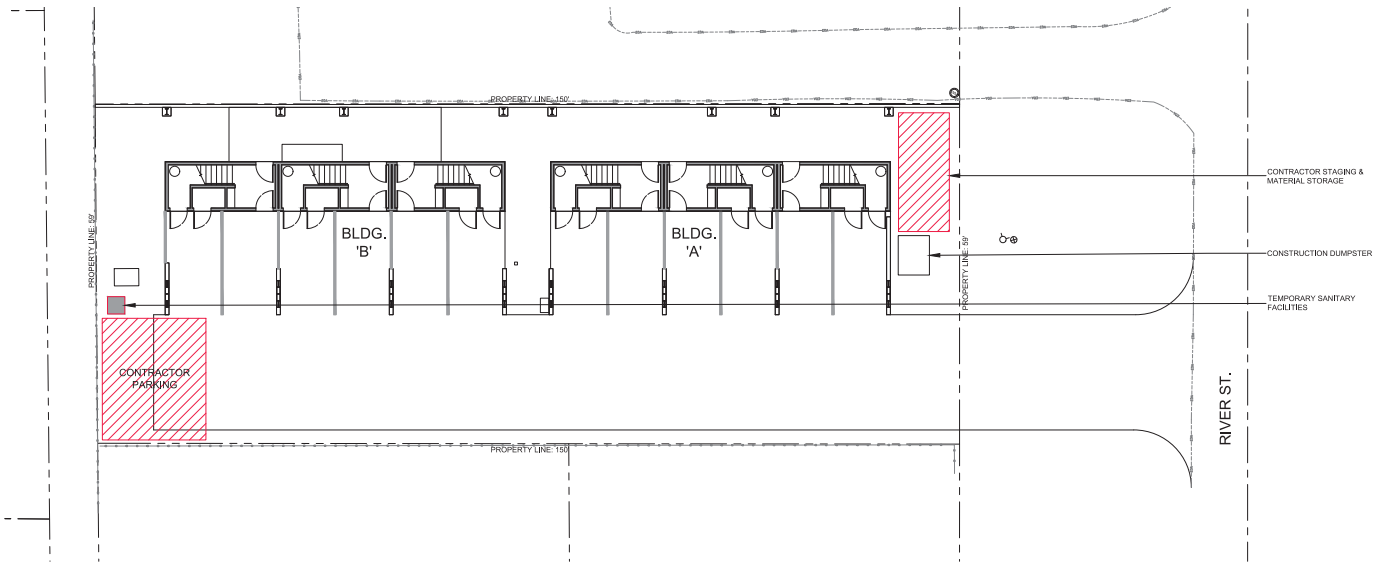
SIX THIRTY SEVEN TOWNHOMES
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

O | 126 SOUTH MAIN STREET | SUITE B.1 | HAILEY | IDAHO 83333
P | 208-721-7424 | W | BLISSARCHITECTURE.COM

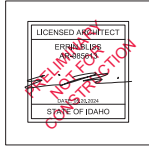
PROJECT NO. | 202401
DRAWN BY | EMB
CHECKED BY | EMB
CITY OF HAILEY
DESIGN REVIEW
DATE | 05 20 2024
ARCHITECTURAL
SITE PLAN

AS101

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PN **STAGING & CONTRACTOR PARKING PLAN**
SCALE: 1" = 10'-0"



SIX THIRTY SEVEN TOWNHOMES
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BLISSARCHITECTURE

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CITY OF HAILEY
DESIGN REVIEW
DATE | 05 20 2024
STAGING & CONTRACTOR
PARKING PLAN

AS102

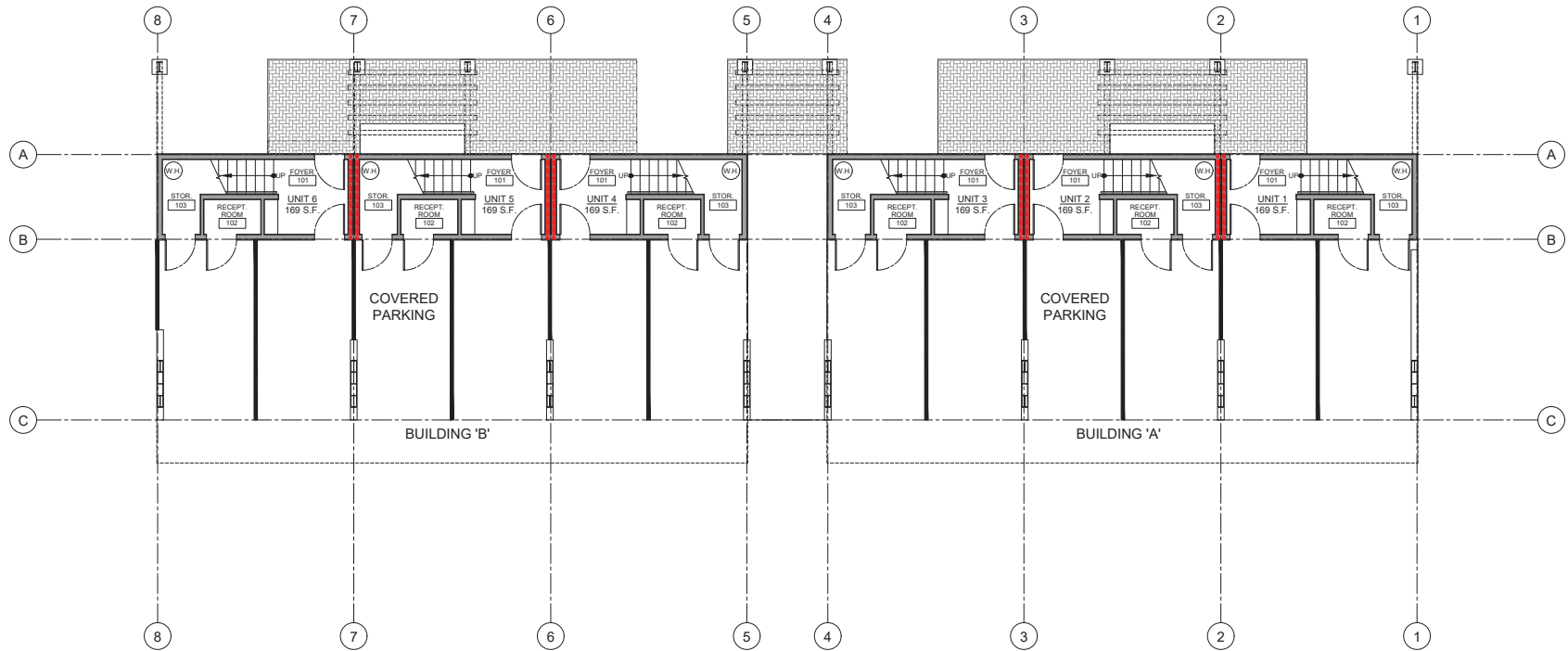
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2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

WALL TYPE LEGEND

- 2x6 STUD EXTERIOR WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.
- 2x4 STUD INTERIOR WALL. SEE PARTITION TYPES, SHEET A001.
- 2x6 STUD 1-HOUR RATED FIRE SEPARATION WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.



SIX THIRTY SEVEN TOWNHOMES
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BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
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CITY OF HAILEY
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 DATE | 05 20 2024

FIRST FLOOR
 PLAN

A101

PNVN FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

1

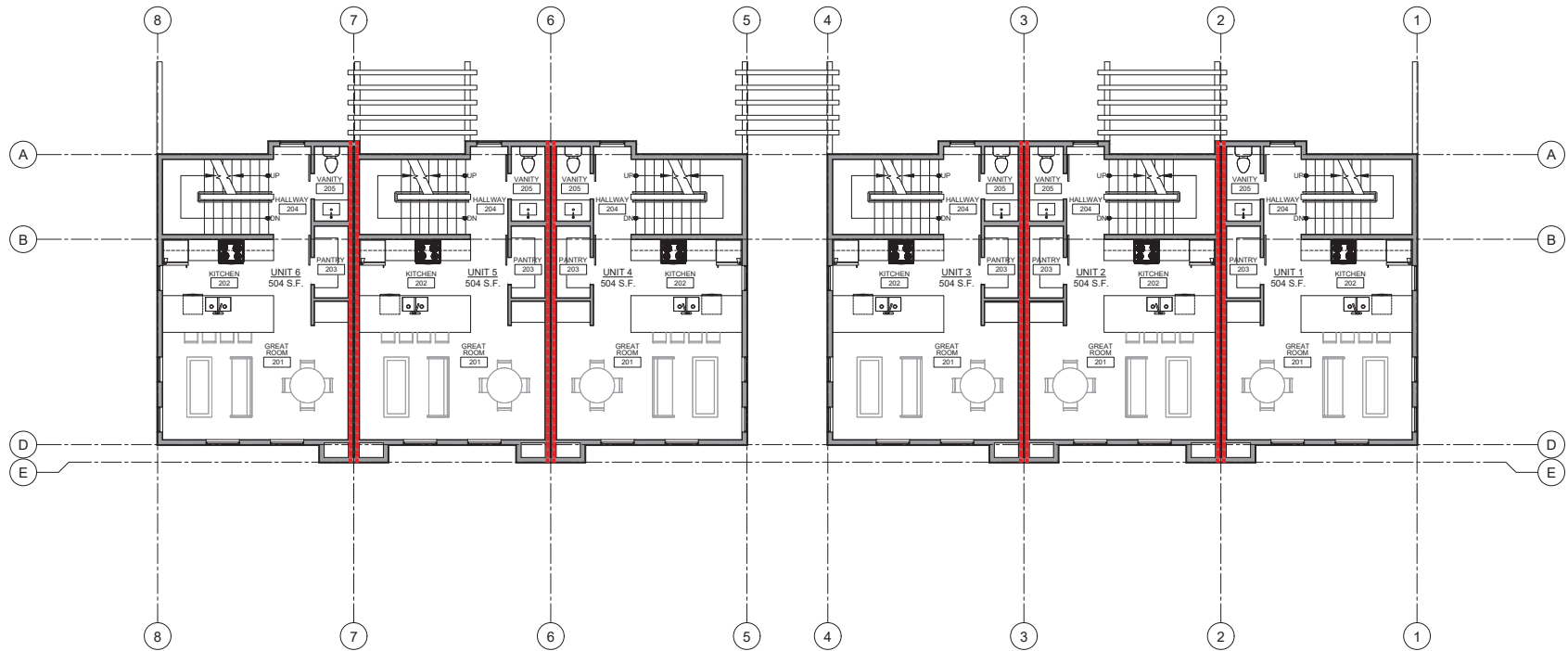
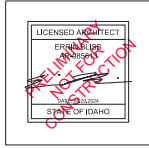
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2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCCING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

WALL TYPE LEGEND

- 2x6 STUD EXTERIOR WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.
- 2x4 STUD INTERIOR WALL. SEE PARTITION TYPES, SHEET A001
- 2x6 STUD 1-HOUR RATED FIRE SEPARATION WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.



SIX THIRTY SEVEN TOWNHOMES
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 SECOND FLOOR
 PLAN

A102

PNV SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

1

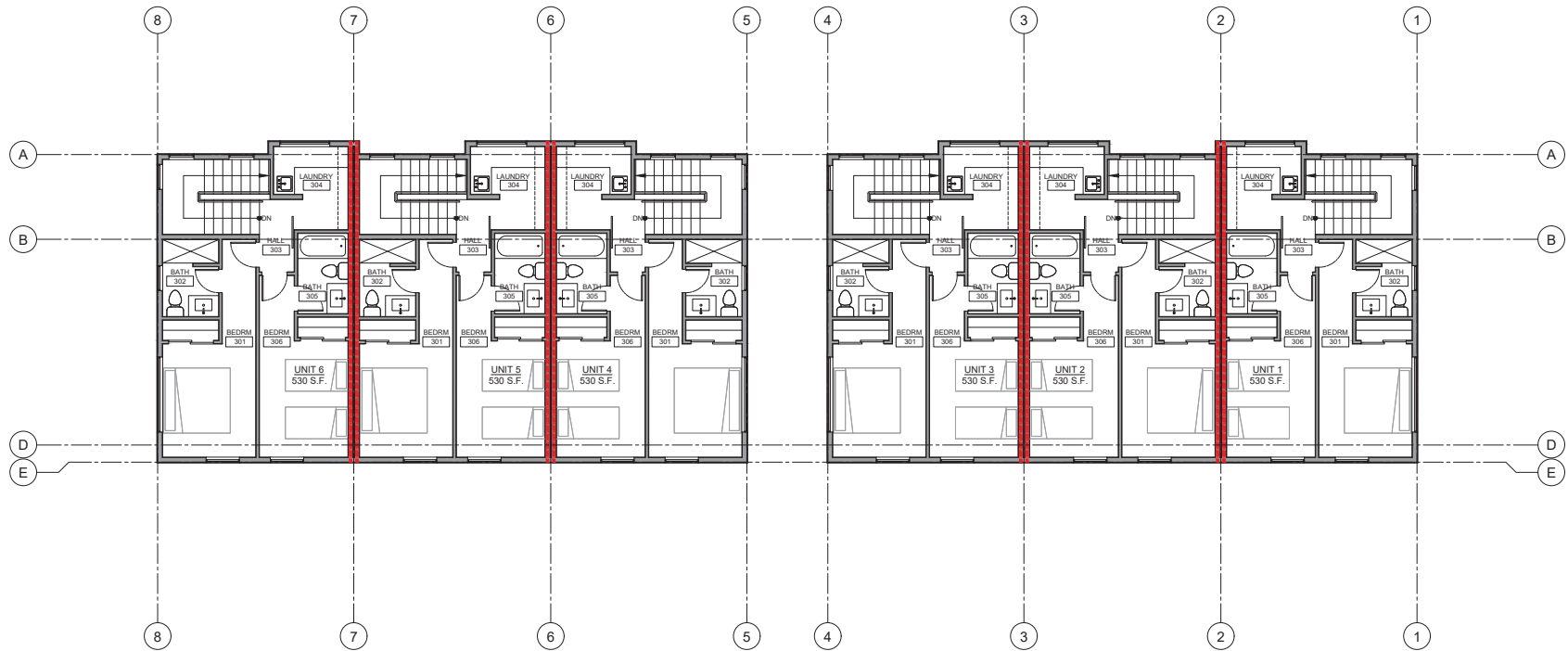
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SIX THIRTY SEVEN TOWNHOMES
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BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
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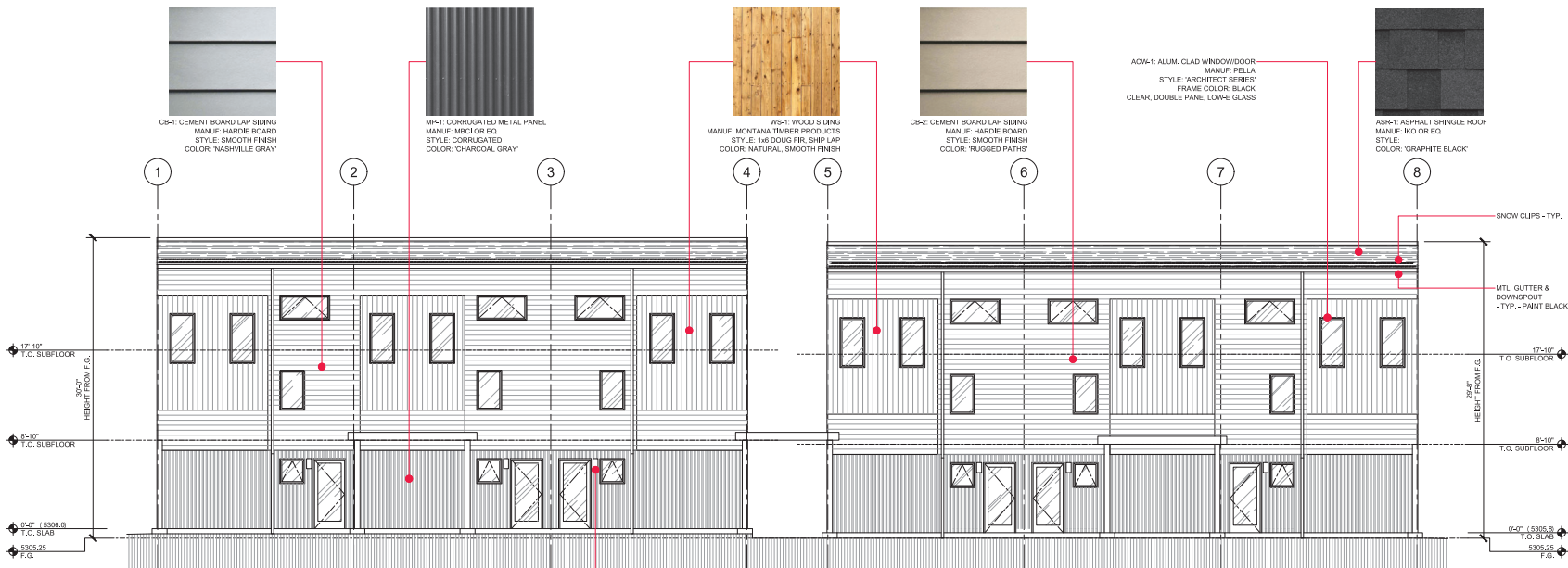
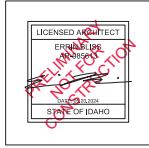
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 THIRD FLOOR
 PLAN

A103

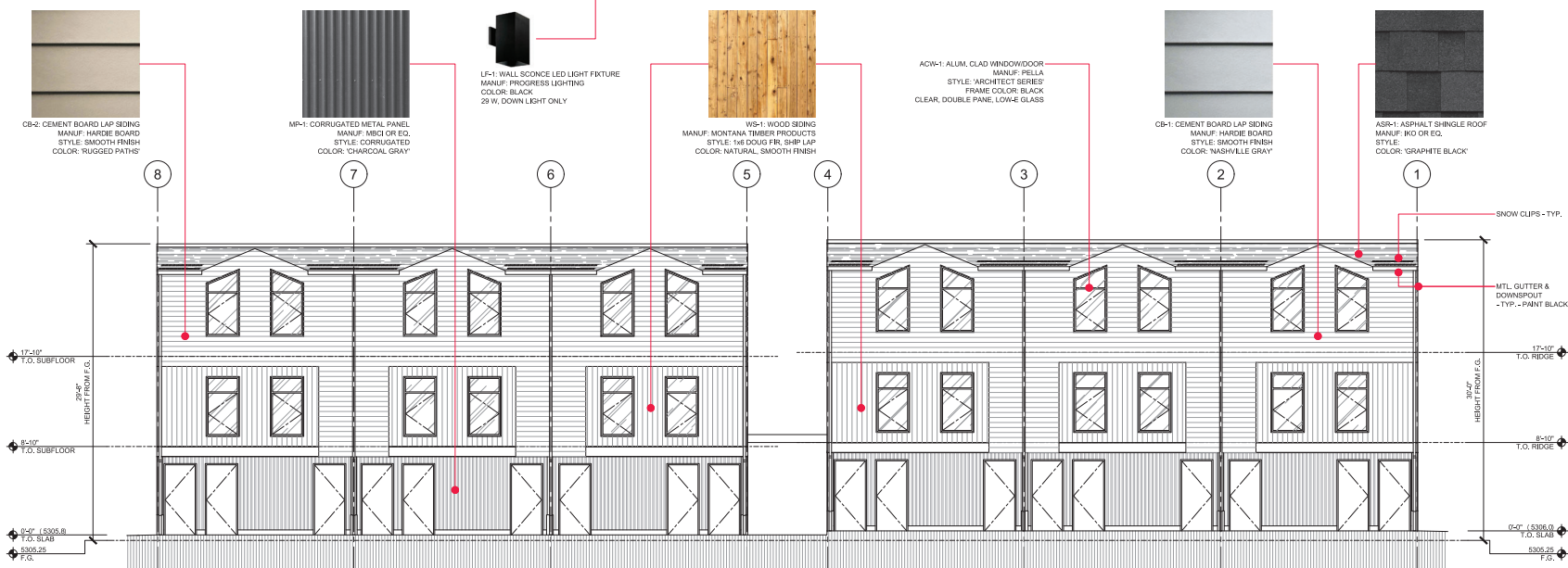
PN THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0"

1

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NORTH ELEVATION AT BUILDINGS 'A' & 'B'
SCALE: 3/16" = 1'-0" 2



SOUTH ELEVATION AT BUILDINGS 'A' & 'B'
SCALE: 3/16" = 1'-0" 1

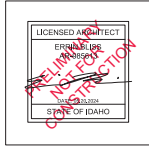
SIX THIRTY SEVEN TOWNHOMES
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

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PROJECT NO. | 202401
DRAWN BY | EMB
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CITY OF HAILEY
DESIGN REVIEW
DATE | 05 20 2024
BUILDING
ELEVATIONS

A201

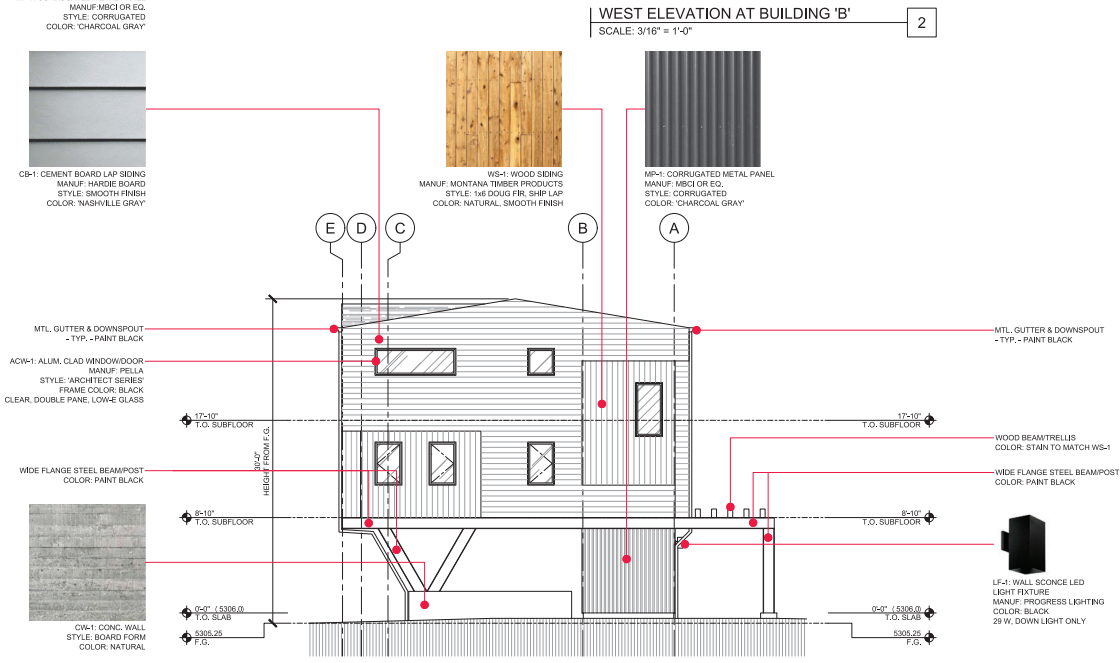
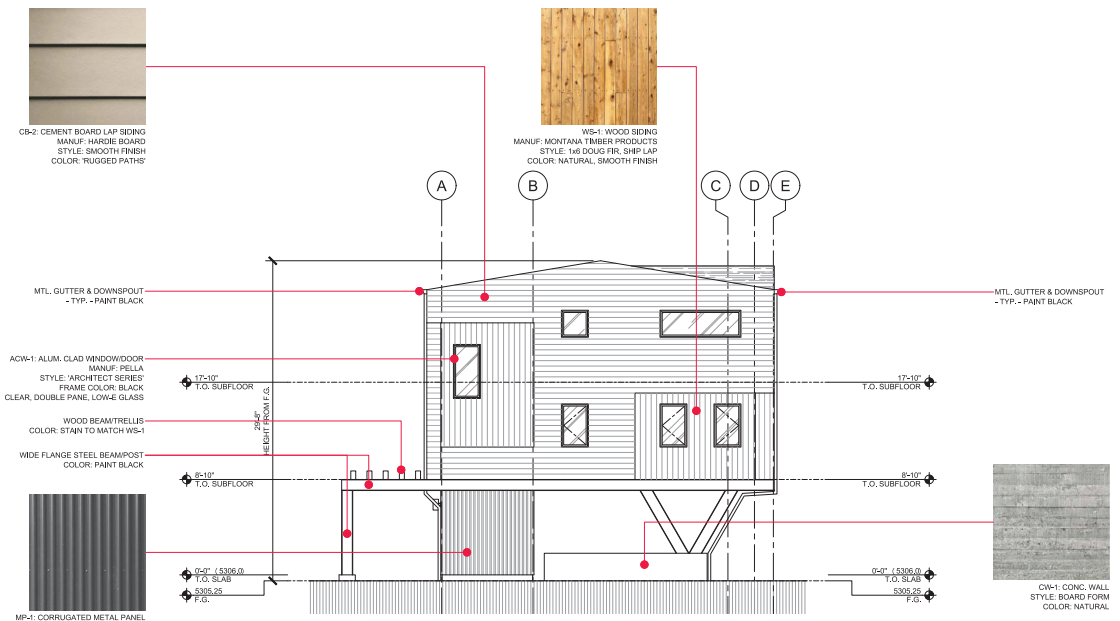
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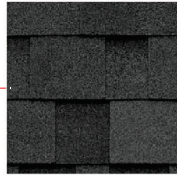
SIX THIRTY SEVEN TOWNHOMES
 637 S. RIVER STREET | HAILEY | IDAHO
 BLISSARCHITECTURE

PROJECT NO. | 202401
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 CITY OF HAILEY
 DESIGN REVIEW
 DATE | 05 20 2024
 BUILDING
 ELEVATIONS
 A202

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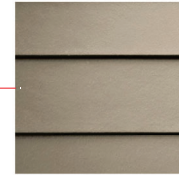
ASPHALT SHINGLE ROOF
MANUF: 'KO'
COLOR: 'GRAPHITE BLACK'



CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'NASHVILLE GRAY'



CORRUGATED MTL. PANEL
MANUF: 'MBCI'
COLOR: 'CHARCOAL GRAY'



CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'RUGGED PATHS'

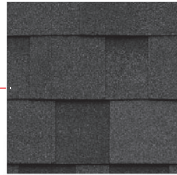


1x6 DOUG FIR VERTICAL SIDING
SMOOTH FINISH
COLOR: 'NATURAL' COLOR FIELD STAIN

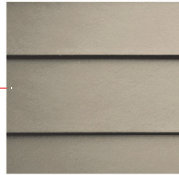


ALUM. CLAD WOOD WINDOWS & DOORS
MANUF: 'PELLA'
COLOR: 'BLACK'

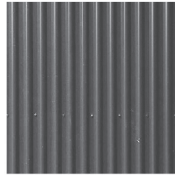
CONCEPTUAL NORTH ELEVATION - BLDGS A & B
SCALE: 1/4" = 1'-0"



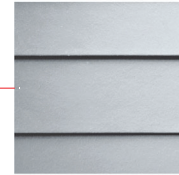
ASPHALT SHINGLE ROOF
MANUF: 'KO'
COLOR: 'GRAPHITE BLACK'



CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'RUGGED PATHS'



CORRUGATED MTL. PANEL
MANUF: 'MBCI'
COLOR: 'CHARCOAL GRAY'



CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'NASHVILLE GRAY'



1x6 DOUG FIR VERTICAL SIDING
SMOOTH FINISH
COLOR: 'NATURAL' COLOR FIELD STAIN



ALUM. CLAD WOOD WINDOWS & DOORS
MANUF: 'PELLA'
COLOR: BLACK

CONCEPTUAL SOUTH ELEVATION - BLDGS A & B
SCALE: 1/4" = 1'-0"



CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'RUGGED PATHS'



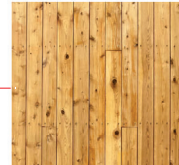
ASPHALT SHINGLE ROOF
MANUF: 'IKO'
COLOR: 'GRAPHITE BLACK'



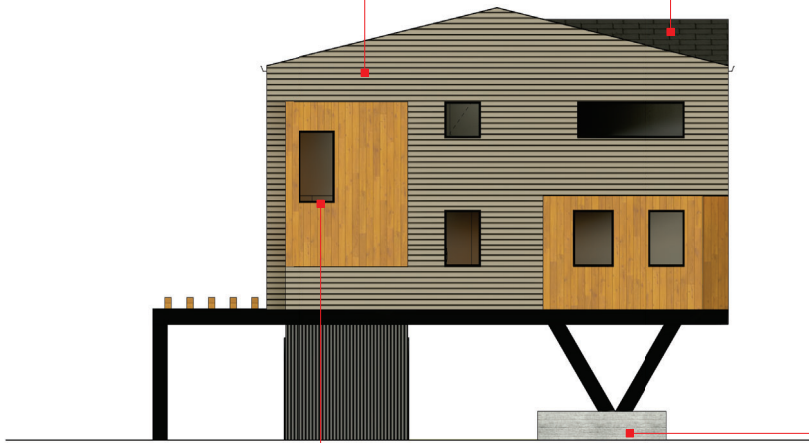
CEMENT BOARD LAP SIDING
MANUF: 'HARDIE BOARD'
COLOR: 'NASHVILLE GRAY'



CORRUGATED METAL PANEL
MANUF: 'MBC'
COLOR: 'CHARCOAL GRAY'



1/2" DOUG FIR VERTICAL SIDING
SMOOTH FINISH
COLOR: 'NATURAL' COLOR FIELD STAIN

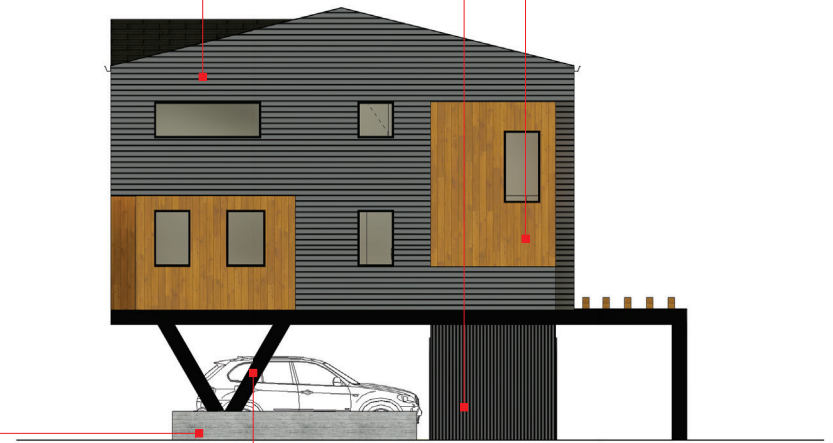


CONCEPTUAL WEST ELEVATION - BLDG B
SCALE: 1/4" = 1'-0"

ALUM. CLAD WOOD WINDOWS & DOORS
MANUF: 'PELLA'
COLOR: BLACK



CAST IN PLACE BOARD FORM
CONCRETE WALL



CONCEPTUAL EAST ELEVATION - BLDG A
SCALE: 1/4" = 1'-0"

WIDE FLANGE STEEL COLUMNS
COLOR: PAINT BLACK



PERSPECTIVE VIEW LOOKING SOUTHWEST
SCALE: N.T.S.



PERSPECTIVE VIEW LOOKING NORTHWEST
SCALE: N.T.S.

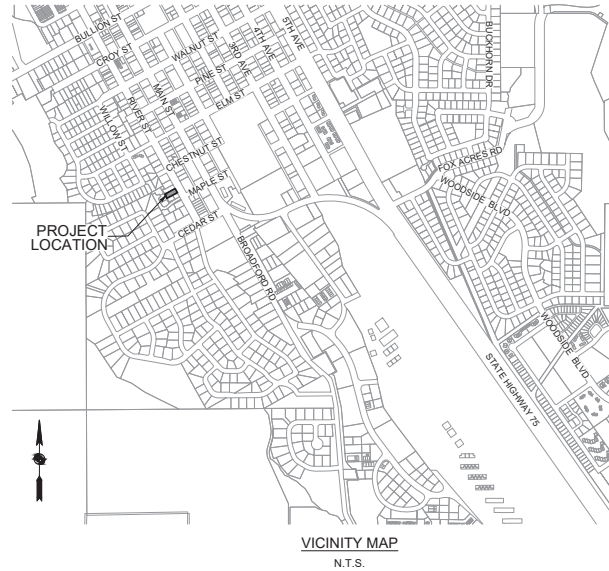
SIX THIRTY SEVEN RIVER STREET

HAILEY, IDAHO

MAY 2024

GENERAL CONSTRUCTIONS NOTES

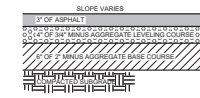
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D4958. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED DUMP TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TO STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TO STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 (TO T-99).
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED PRIOR TO REPLACING ASPHALT. THE UNDERLYING SURFACE INCLUDING VERTICAL, SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPCW 703.3.5), AND POST FOUR CURING SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES INC., RECEIVED ON APRIL 19, 2024.



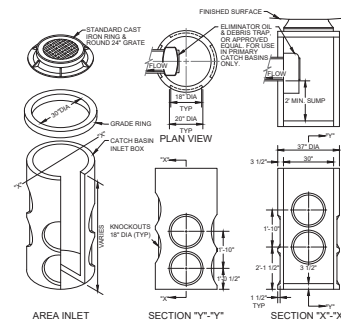
SHEET INDEX

SHEET #	DESCRIPTION
C0.1	COVER AND DETAIL SHEET
C0.2	DETAIL SHEET
C1.0	SITE LAYOUT, GRADING, AND DRAINAGE PLAN

CIVIL ENGINEER
SAMANTHA STAHLNECKER, PE
OPAL ENGINEERING, PLLC
416 S. MAIN STREET SUITE 204
PO BOX 2530
HAILEY, IDAHO 83333

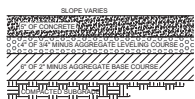


1
C0.1
TYPICAL ASPHALT SECTION
N.T.S.



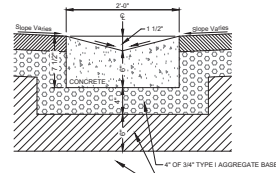
- PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE SECOND STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 202. EXTEND BEDDING UP TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL, COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

2
C0.1
30" DIAMETER PRIMARY CATCH BASIN
N.T.S.

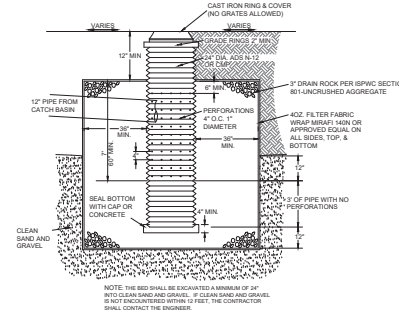


- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR TRANSVERSE JOINTS. MATCH 2 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
- 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT TERMINAL POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
- SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 8" WIDE, 8" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
- WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 6" TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION JOINT MATERIAL.
- SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
- MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- CONTRACTOR THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

2
C0.1
TYPICAL CONCRETE SECTION
N.T.S.



3
C0.1
24" WIDE CONCRETE VALLEY GUTTER
N.T.S.



4
C0.2
CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)
N.T.S.



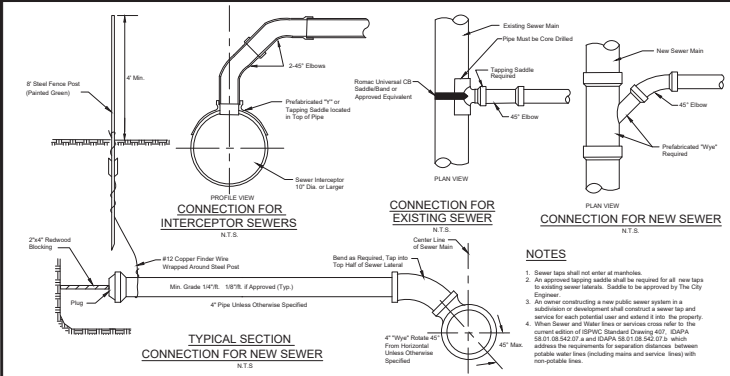
REVISION NO.	DATE	DESCRIPTION



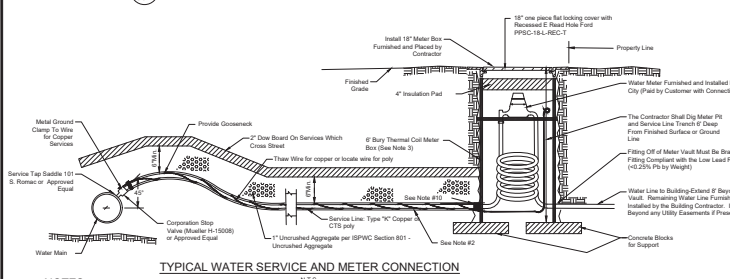
PRELIMINARY
NOT FOR
CONSTRUCTION

COVER AND DETAIL SHEET
SIX THIRTY SEVEN RIVER STREET
PREPARED FOR: MCDONOUGH HOLDINGS, LLC.

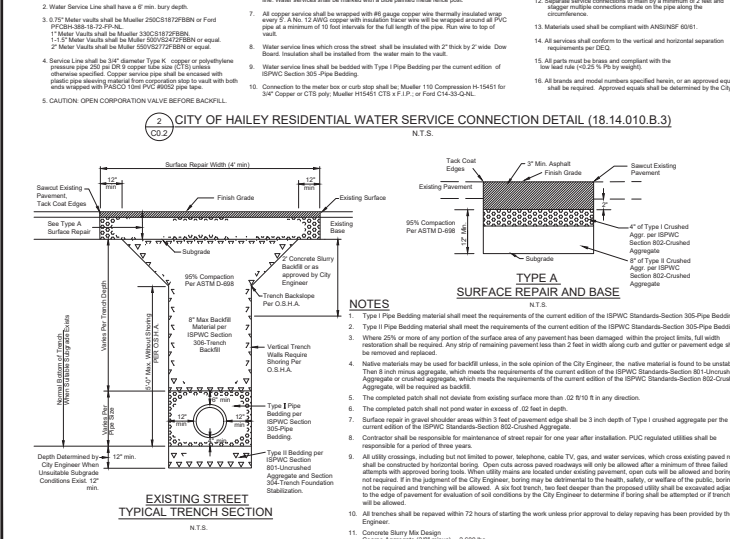
24010
PROJECT NUMBER
C0.1



1 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)
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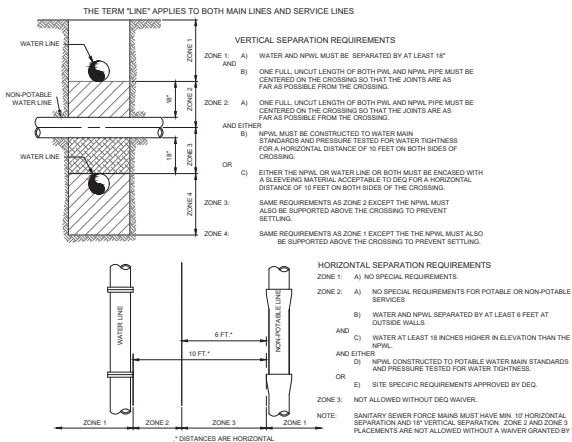


2 CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3)
N.T.S.

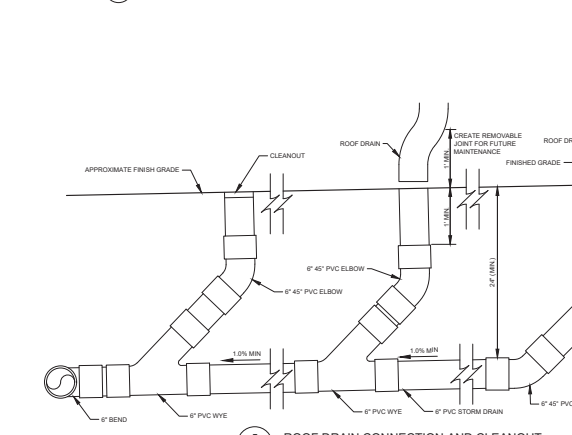


3 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)
N.T.S.

4 TYPICAL TRENCH SECTION
N.T.S.



4 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



5 ROOF DRAIN CONNECTION AND CLEANOUT
N.T.S.

SEWER CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPW) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEED APPROVAL STAMP AND A COPY OF THE DEED APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 and IDAPA 58.01.08.542.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME LOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPW STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.542.07.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPW. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 15' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH (ISPW) TYPE I BEDDING MATERIAL.
- TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557.
- THE CONTRACTOR SHALL PRESERVE TAP ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".

WATER CONSTRUCTION NOTES

- WATER SERVICE CONNECTIONS SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
- WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'-0"), MEASURED FROM FINISHED GRADE.
- ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPW SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRUCKS WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPW SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSI/NSF STANDARD 61/01. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25% Pb BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPW SECTION 403 AND THE CITY OF HAILEY STANDARDS.
- ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, 10" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPW SECTION 402. GATE VALVES LOCATED 40' AND DEEPER SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPW SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGE JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSI/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT FLUIC.
- ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07 and IDAPA 58.01.08.542.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPW SECTION 404 AND THE CITY OF HAILEY STANDARDS. A DEED APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS INCLUDING FIRE SUPPRESSION SERVICES. IF APPLICABLE IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LINE TO THE GREATEST EXTENT POSSIBLE. WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM UTILITIES. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PNE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
- EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.



REVISION NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

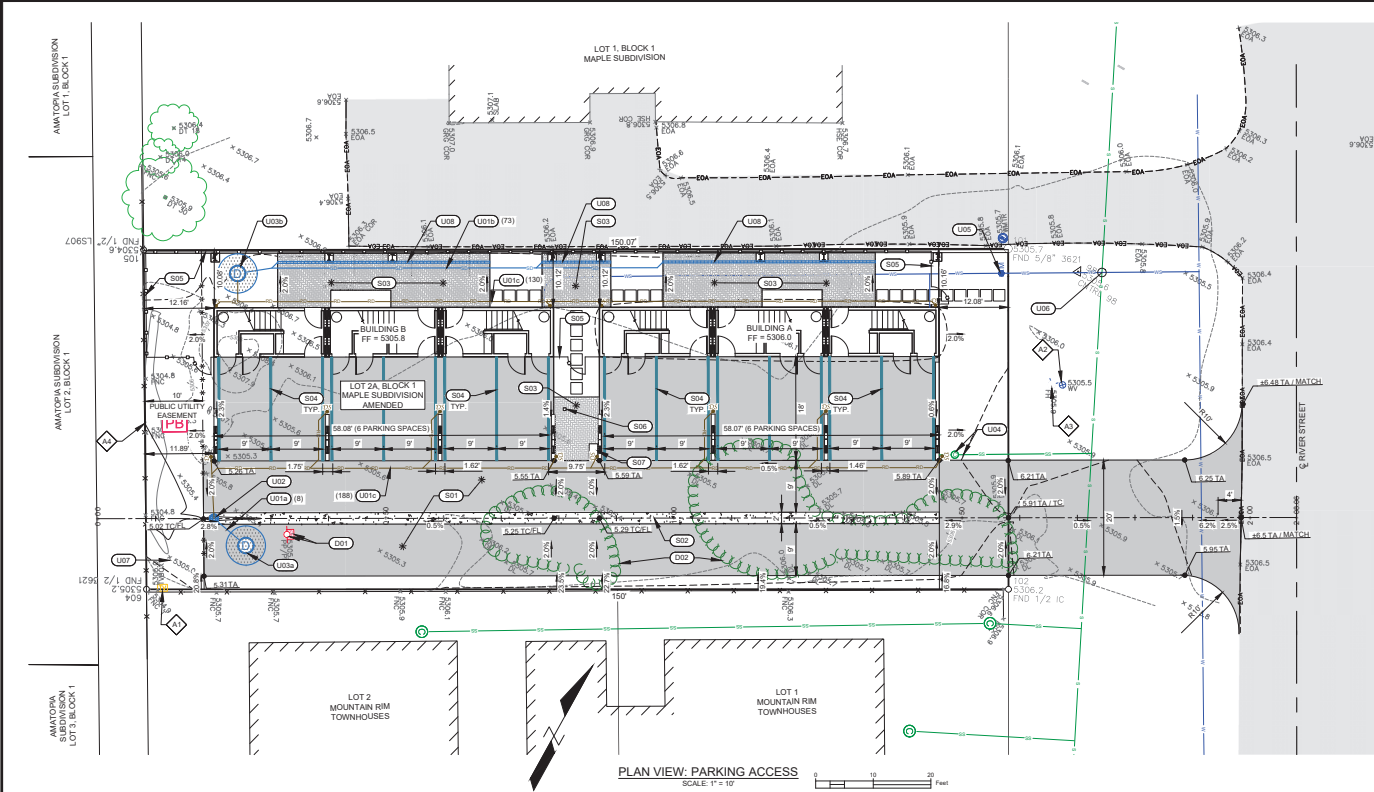
DETAIL SHEET

SIX THIRTY SEVEN RIVER STREET

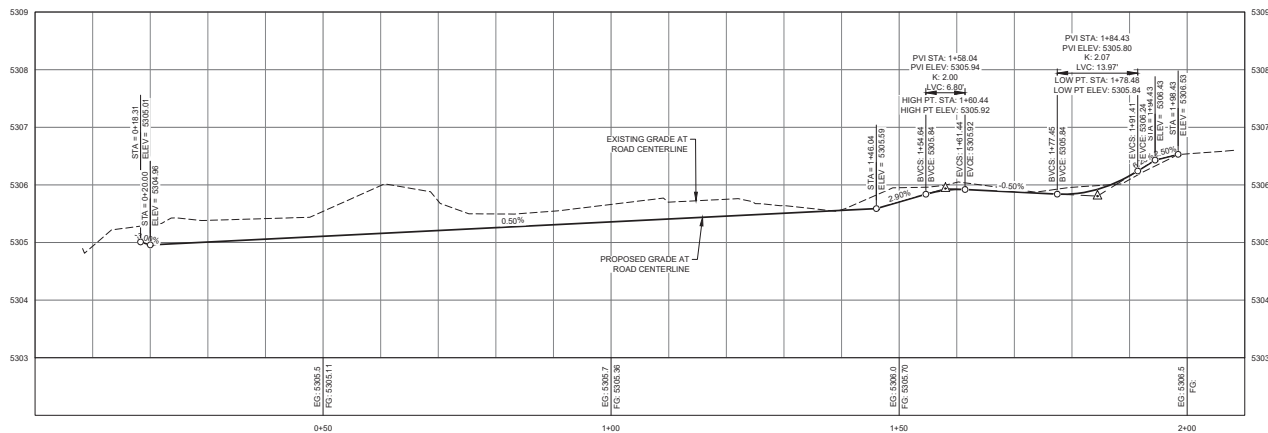
PREPARED FOR: HUNTSVILLE HOLDINGS, LLC

24010
PROJECT NUMBER

C0.2



PLAN VIEW: PARKING ACCESS
SCALE: 1" = 10'



PROFILE VIEW: PARKING ACCESS
SCALE: 1" = 10' H, 1" = 1' V

NOTES

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

LEGEND

EXISTING ITEMS	PROPERTY BOUNDARY LINE	PROPOSED ITEMS	5' CONTOUR INTERVAL
ADJOINER'S LOT LINE	CENTERLINE STREET	CONCRETE	1' CONTOUR INTERVAL
EGA = EDGE OF ASPHALT	PVC = EXISTING FENCE	NEW ASPHALT	
5' CONTOUR INTERVAL PER ALPINE 2022	EXISTING BUILDING STRUCTURE	PAVERS	
1' CONTOUR INTERVAL PER ALPINE 2022	DL = DRIPLINE/EDGE OF VEGETATION	WATER SERVICE	
10' PUBLIC UTILITY EASEMENT PER INSTRUMENT NUMBER 455873	WATER MAIN	SEWER SERVICE	
WATER SERVICE	SEWER MAN	SEWER SERVICE	
SEWER MAIN	UNDERGROUND PHONE LINE	UNDERGROUND CABLE/ COMM LINE	
SEWER SERVICE	SURVEY CONTROL	FOUND 1/2" REBAR AS SHOWN	
UNDERGROUND PHONE LINE	FOUND 5/8" REBAR AS SHOWN	WV = WATER VALVE	
UNDERGROUND CABLE/ COMM LINE	WVTR = WATER METER	FH = FIRE HYDRANT	
	PP = POWER POLE	PMTR = POWER METER	
	TWBOX = CABLE BOX	DT = DECIDUOUS TREE	
	GROUND SHOT / SPOT ELEVATION	IC	
	ILLEGIBLE CAP	HEB COR	
	HOUSE CORNER	GRS	
	GARAGE	SLAB	
	GARAGE SLAB		

DEMOLITION KEYNOTES

- D01** REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION
- D02** REMOVE EXISTING POWER SERVICE. COORDINATE WITH IDAHO POWER.

SITE IMPROVEMENT KEYNOTES

- S01** CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1, SHEET C0.1.
- S02** CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL 3, SHEET C0.1.
- S03** INSTALL PAVER WALKWAY / PATIO. REFER TO ARCHITECTURAL PLAN FOR PATTERNS AND MATERIALS.
- S04** INSTALL WHITE ASPHALT PARKING STRIPING (4" WIDE).
- S05** INSTALL FENCE. REFER TO LANDSCAPE PLANS.
- S06** INSTALL BIKE RACK. REFER TO LANDSCAPE PLANS.
- S07** INSTALL CLUSTER MAILBOX. REFER TO ARCHITECTURAL PLAN.

UTILITY KEYNOTES

- (F) U01** INSTALL D3034 PVC STORM DRAIN PIPE. SEE DETAIL 6 / CO. 1 FOR TRENCHING.
 - a. 12" Ø @ SLOPE = 2.0% MIN.
 - b. 6" Ø @ SLOPE = 2.0% MIN.
 - c. 3" Ø @ SLOPE = 1.0% MIN. SEE DETAIL 5, SHEET C0.2 FOR DOWNSPOUT CONNECTIONS.
- U02** INSTALL CATCH BASIN. SEE DETAIL 5, SHEET C0.1.
 - RM ELEV. = 5304.86
 - INV. IN = 5301.01
 - INV. OUT = 5303.86
- U03** DRYWELL. SEE DETAIL 4, SHEET C0.1.
 - a. RM = 5305.15
 - INV. IN = 5300.7
 - b. RM = 5305.5
 - INV. IN = 5300.5 (EAST)
 - INV. IN = 5301.2 (SOUTH)
- U04** INSTALL 4" PVC SEWER SERVICE AT SLOPE = 2.0% MIN. SEE DETAIL 6 / CO. 1 FOR TRENCHING.
- U05** INSTALL 1-1/2" WATER SERVICE. SEE DETAIL 6 / CO. 1 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / CO. 2 FOR SERVICE CONNECTION. METER BOX, AND INSULATION REQUIREMENTS.
- U06** POTABLE / NONPOTABLE WATER LINE CROSSING. REFER TO DETAIL 4 / CO. 2.
- U07** APPROXIMATE LOCATION OF PROPOSED TRANSFORMER BY IDAHO POWER. CONTRACTOR SHALL COORDINATE WITH IDAHO POWER FOR EQUIPMENT DIMENSIONS AND REQUIRED SETBACKS / ADJACENT STRUCTURE MATERIALS.
- U08** INSTALL NDS MINI CHANNEL DRAIN OR APPROVED EQUAL WITH HEAT TAPES FROM TRENCH DRAIN TO STORM DRAIN PIPE WITH A MINIMUM OF 3" OF COVER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

- RETAIN AND PROTECT**
 - 1. COMMUNICATIONS PEDESTAL.
 - 2. WATER VALVE
 - 3. FIRE HYDRANT
 - 4. FENCE



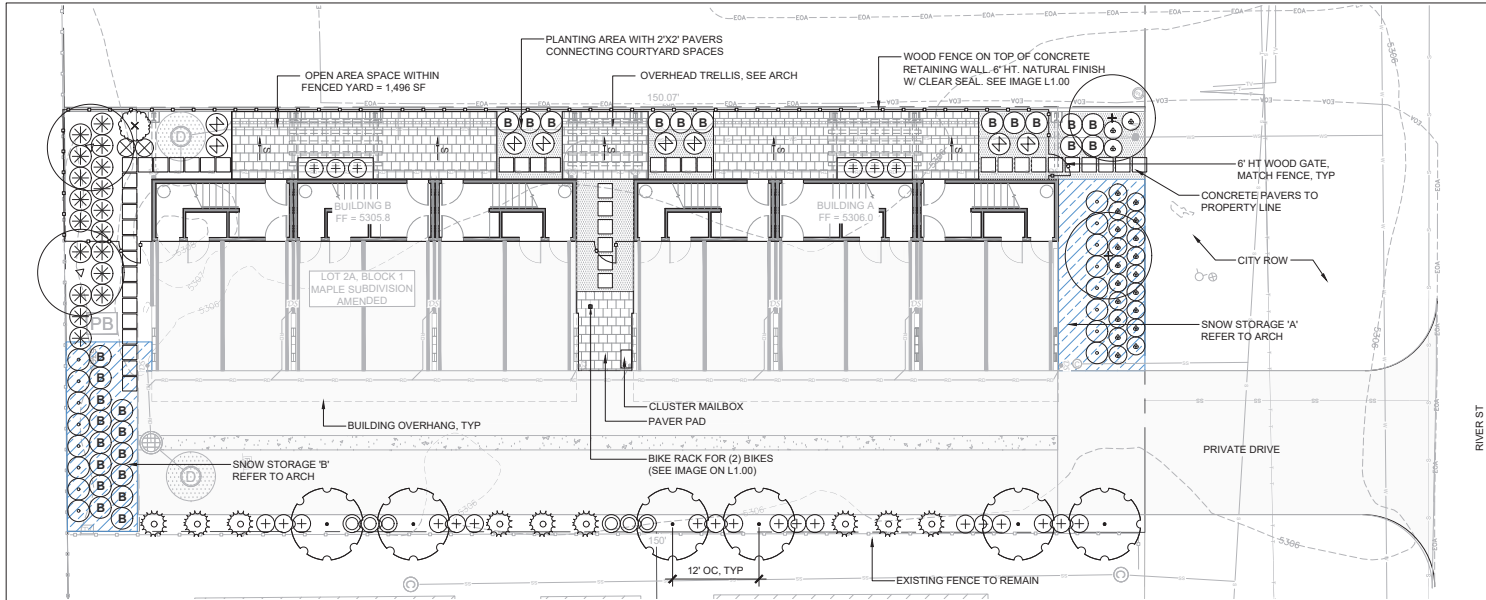
REVISION NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

SITE LAYOUT, GRADING, AND DRAINAGE PLAN
SIX THIRTY SEVEN RIVER STREET

RELEASE OF DRAWINGS: these drawings, or any portion thereof, shall not be used for any project or construction without the prior approval of Opal Engineering, P.L.L.C. or its duly authorized agent.



LANDSCAPE LEGEND

- ASPHALT (REF TO CIVIL)
- CONCRETE PAVER PATIOS
- 2' x 2' PAVER STEPS
- ORNAMENTAL CRUSHED ROCK
- SNOW STORAGE (REF TO ARCH)
- (1) 2 BIKE CAPACITY POST BIKE RACK
- SLOPE OF HARD SURFACES (1/8" / FT)

LANDSCAPE SPECIFICATIONS & NOTES

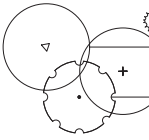
1. SCOPE OF WORK
 - a. The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
2. MATERIALS
 - a. Topsoil. Topsoil shall be a 3 way blend of the following products; sandy loam, topsoil and organic compost from Winn's Compost 208-309-2525.
 - b. Mulch. Mulch shall be crushed stone, applied to a 3" compacted depth on all beds with filter fabric underneath. Mulch color samples to be approved by owner
 - c. Fertilizer. Agriform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
 - d. Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
3. SOIL PREPARATION
 - a. Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
 - b. Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 1", existing roots and other debris.
 - c. Fine grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
 - d. Beds. Place a minimum of 8" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 12". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 12" below paved surfaces.
4. PLANTING OF TREES, SHRUBS AND GROUNDCOVERS
 - a. Contractor responsible to verify quantities.
 - b. Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
 - c. Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
 - d. Pit plant all plants into prepared soil and plant per the details. While planting, hand water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilizer when completed.
 - e. Trees planted 5' or less from paved surfaces shall be planted with a root barrier control.
 - f. All plant material shall be hardy to local conditions and zone 4.
5. WARRANTY
 - a. All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
6. IRRIGATION
 - a. An automatic irrigation system using drip irrigation to be installed through the Bidder Design process
 - b. The irrigation system to provide complete covered and is properly zoned for each hydrozone.
 - c. Irrigation may be designed to be temporary and removed after 2 years for plant establishment
 - d. Contractor to confirm location of controller with owner.
 - e. Contractor to provide Coverage Test for approval by Landscape Architect or Owner.
 - f. Contractor to schedule controller and provide instruction manual to owner at completion.

PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
TREES			
9	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	2.5" cal, 6' OC, full and uniform branching, straight trunk
2	Malus 'Spring Snow'	Spring Snow Crabapple	2.5" cal, full and uniform branching, straight trunk, B&B
2	Malus 'Royal Raindrops'	Royal Raindrops Crabapple	2.5" cal, full and uniform branching, straight trunk, B&B
6	Populus tremula 'Erecta'	Swedish Aspen	1.5" cal, 12' OC, straight trunk & leader, B&B or potted
SHRUBS			
2	Berberis thunbergii 'Orange Rocket'	Orange Rocket Barberry	2 gal @ 3' OC
1	Hydrangea arborescens	Annabelle Hydrangea	3 gal, spacing as shown
8	Pinus mugo 'Stowmound'	Stowmound Dwarf Mugo Pine	3 gal, spacing as shown
24	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	2 gal @ 3' OC
6	Spiraea japonica 'Walburna'	Magic Carpet Spirea	2 gal @ 3' OC
PERENNIALS, GRASSES & GROUNDCOVERS			
18	Aegopodium podagraria	Snow on the Mountain	1 gal @ 3' OC
16	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Grass	2 gal @ 3' OC
20	Helictotrichon sempervirens	Blue Oat Grass	1 gal @ 3' OC
22	Nepeta x faassenii 'Novanepijn'	Junior Walker Catmint	4" pot @ 30" OC

LANDSCAPE NOTES

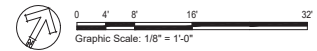
- BIKE PARKING**
 REQUIRED: 25% OF THE REQUIRED NUMBER OF PARKING SPACES (8x.25=1.5)
 PROPOSED: 2 BIKE PARKING SPACES
- OPEN SPACE REQUIREMENT**
 REQUIRED: 10% OF TOTAL LOT AREA = 884 SF
 PROPOSED: 1,496 SF
- TREE SPECIES REQUIREMENTS**
 PROPOSED PLANTING PLAN ADDRESSING CITY OF HAILEY CODE 17.06.080.4.D
 19 TREES PROPOSED FOR PLANTING
 20% MAX PER TREE VARIETY
- | TREE # | % | SPECIES |
|--------|-----|---------------------------|
| 2 | 11% | ROYAL RAINDROPS CRABAPPLE |
| 2 | 11% | SPRING SNOW CRABAPPLE |
| 6 | 32% | SWEDISH ASPEN |
| 9 | 47% | SKYROCKET JUNIPER |



PROPOSED 6' HT FENCE DESIGN ALONG NORTH & WEST SIDE, (NOT SHOWING CONCRETE WALL IN IMAGE)



PROPOSED BIKE RACK BETWEEN BUILDINGS



LYON
 Landscape Architects
 211 South C Street, Coeur d'Alene, WA 99402
 203-209-4633 | lmagh@lyonla.com



811
 Know what's below.
 Call before you dig.

DESIGN REVIEW SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

SIX THIRTYSEVEN TOWNHOMES
 637 S. RIVER STREET
 HAILEY, IDAHO 83333

DESIGN: MAL
 DRAWN: ZA
 CHECKED: MAL
 DATE: May 16, 2024
 PROJECT: 637 River St Mt
 NUMBER: LA049324

SCALE: 1/8" = 1'-0"
 TITLE:

LAYOUT PLAN

SHEET:

L1.00

TREES



Skyrocket Juniper



Swedish Aspen



Royal Raindrops Crabapple



Spring Snow Crabapple

SHRUBS



Dwarf Mugo Pine



Birch-Leaf Spirea



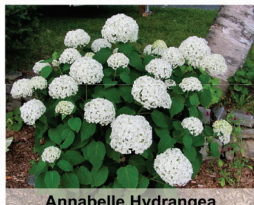
Karl Forester Grass



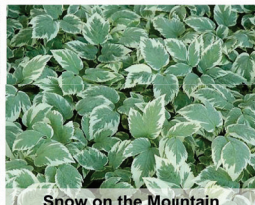
Walkers Low Catmint



Orange Rocket Barberry



Annabelle Hydrangea



Snow on the Mountain



Blue Oat Grass

PERENNIALS & GRASSES



Know what's below.
 Call before you dig.

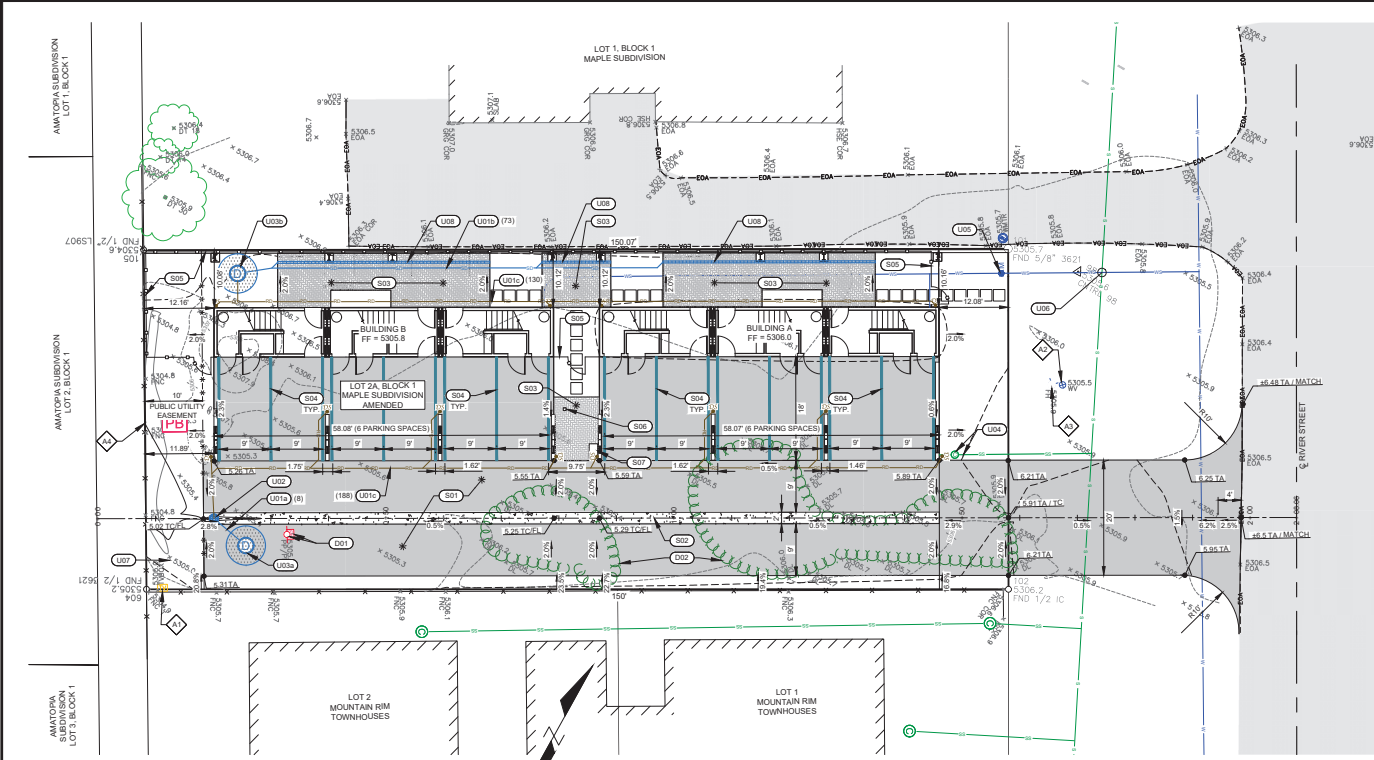
DRAWING SET:
**DESIGN REVIEW
 SUBMITTAL**

SIX THIRTYSEVEN TOWNHOMES
 637 S. RIVER STREET
 HAILEY, IDAHO 83333

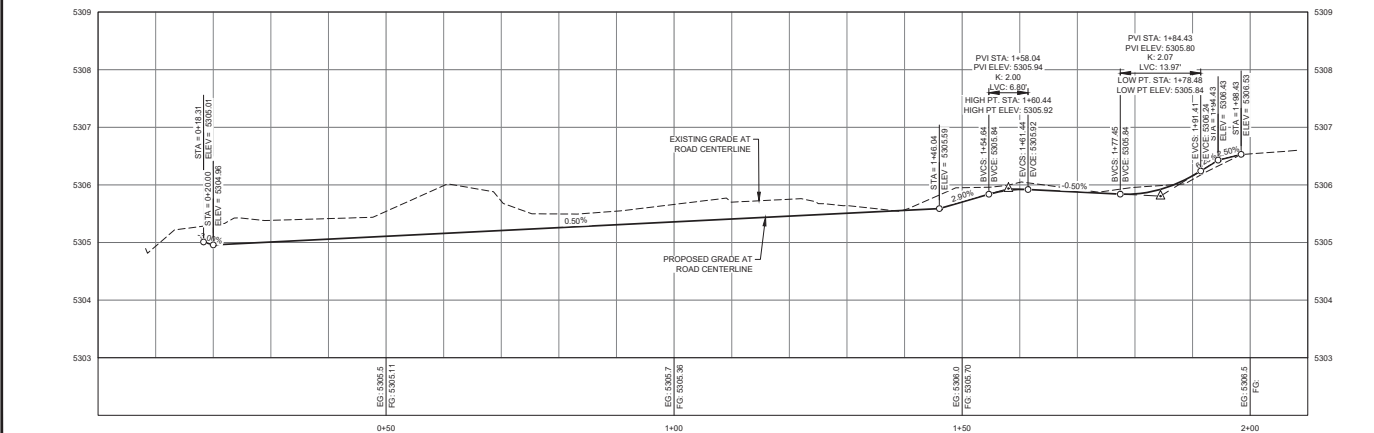
DESIGN: MAL
 DRAWN: ZA
 CHECKED: MAL
 DATE: May 16, 2024
 PROJECT: 637 River St Mt
 NUMBER: L10493.04

SCALE: 1/8" = 1'-0"
 TITLE:
**PLANT SCHEDULE,
 NOTES & PLANT
 IMAGES**

SHEET:
L1.02



PLAN VIEW: PARKING ACCESS
SCALE: 1" = 10'



PROFILE VIEW: PARKING ACCESS
SCALE: 1" = 10' R, 1" = 1' V

NOTES

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

LEGEND

EXISTING ITEMS	PROPERTY BOUNDARY LINE	PROPOSED ITEMS	5' CONTOUR INTERVAL
ADJOINER'S LOT LINE	CENTERLINE STREET	CONCRETE	1' CONTOUR INTERVAL
EGA = EDGE OF ASPHALT	PVC = EXISTING FENCE	NEW ASPHALT	
5' CONTOUR INTERVAL PER ALPINE 2022	EXISTING BUILDING STRUCTURE	PAVERS	
1' CONTOUR INTERVAL PER ALPINE 2022	DL = DRIPLINE/EDGE OF VEGETATION	WATER SERVICE	
10' PUBLIC UTILITY EASEMENT PER INSTRUMENT NUMBER 455873	WATER MAIN	SEWER SERVICE	
WATER SERVICE	SEWER MAIN	SEWER SERVICE	
UNDERGROUND PHONE LINE	UNDERGROUND CABLE/ COMM LINE	UNDERGROUND PHONE LINE	
SURVEY CONTROL	FOUND 1/2" REBAR AS SHOWN	FOUND 5/8" REBAR AS SHOWN	
FOUND 1/2" REBAR AS SHOWN	WV = WATER VALVE	WMTR = WATER METER	
FOUND 5/8" REBAR AS SHOWN	PHTR = POWER METER	FH = FIRE HYDRANT	
WV = WATER VALVE	PHTR = POWER METER	PP = POWER POLE	
WMTR = WATER METER	TWBOX = CABLE BOX	DT = DECIDUOUS TREE	
FH = FIRE HYDRANT	DT = DECIDUOUS TREE	GROUND SHOT / SPOT ELEVATION	
PP = POWER POLE	GROUND SHOT / SPOT ELEVATION	IC	
PHTR = POWER METER	IC	ILLEGIBLE CAP	
TWBOX = CABLE BOX	ILLEGIBLE CAP	HOUSE CORNER	
DT = DECIDUOUS TREE	HOUSE CORNER	GARAGE	
GROUND SHOT / SPOT ELEVATION	GARAGE	GARAGE SLAB	
IC	GARAGE SLAB		
ILLEGIBLE CAP			
HOUSE CORNER			
GARAGE			
GARAGE SLAB			

DEMOLITION KEYNOTES

- D01** REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
- D02** REMOVE EXISTING POWER SERVICE. COORDINATE WITH IDAHO POWER.

SITE IMPROVEMENT KEYNOTES

- S01** CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1, SHEET C0.1.
- S02** CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL 3, SHEET C0.1.
- S03** INSTALL PAVER WALKWAY / PATIO. REFER TO ARCHITECTURAL PLAN FOR PATTERNS AND MATERIALS.
- S04** INSTALL WHITE ASPHALT PARKING STRIPING (4" WIDE).
- S05** INSTALL FENCE. REFER TO LANDSCAPE PLANS.
- S06** INSTALL BIKE RACK. REFER TO LANDSCAPE PLANS.
- S07** INSTALL CLUSTER MAILBOX. REFER TO ARCHITECTURAL PLAN.

UTILITY KEYNOTES

- (U) U01** INSTALL D3034 PVC STORM DRAIN PIPE. SEE DETAIL 6 / CO. 1 FOR TRENCHING.
 - a. 12" Ø @ SLOPE = 2.0% MIN.
 - b. 6" Ø @ SLOPE = 2.0% MIN.
 - c. 3" Ø @ SLOPE = 1.0% MIN. SEE DETAIL 5, SHEET C0.2 FOR DOWNSPOUT CONNECTIONS.
- U02** INSTALL CATCH BASIN. SEE DETAIL 5, SHEET C0.1.
 - RM ELEV. = 5304.86
 - INV. IN = 5301.01
 - INV. OUT = 5303.56
- U03** DRYWELL. SEE DETAIL 4, SHEET C0.1.
 - a. RM = 5305.15
 - b. INV. IN = 5300.7
 - c. RM = 5305.5
 - d. INV. IN = 5300.5 (EAST)
 - e. INV. IN = 5301.2 (SOUTH)
- U04** INSTALL 4" PVC SEWER SERVICE AT SLOPE = 2.0% MIN. SEE DETAIL 6 / CO. 1 FOR TRENCHING.
- U05** INSTALL 1-1/2" WATER SERVICE. SEE DETAIL 6 / CO. 1 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / CO. 2 FOR SERVICE CONNECTION. METER BOX AND INSULATION REQUIREMENTS. REFER TO DETAIL 4 / CO. 2.
- U06** APPROXIMATE LOCATION OF PROPOSED TRANSFORMER BY IDAHO POWER. CONTRACTOR SHALL COORDINATE WITH IDAHO POWER FOR EQUIPMENT DIMENSIONS AND REQUIRED SETBACKS / ADJACENT STRUCTURE MATERIALS.
- U07** INSTALL NDS MINI CHANNEL DRAIN OR APPROVED EQUAL WITH HEAT TAPES FROM TRENCH DRAIN TO STORM DRAIN PIPE WITH A MINIMUM OF 3" OF COVER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- U08** RETAIN AND PROTECT:
 - COMMUNICATIONS PEDESTAL.
 - WATER VALVE
 - FIRE HYDRANT
 - FENCE



REVISION NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

SITE LAYOUT, GRADING, AND DRAINAGE PLAN
SIX THIRTY SEVEN RIVER STREET

SNOW STORAGE CALCS.

TOTAL IMPROVED ON-SITE VEHICLE & PEDESTRIAN CIRCULATION AREAS NOT COVERED BY ROOFS, ROOF EAVES, & DECKS ABOVE:
2,297 S.F.

ON-SITE SNOW STOR. REQUIRED:
2,297 S.F. x 25% = 574 S.F.

ON-SITE SNOW STOR. PROVIDED:
ON-SITE SNOW STOR. AREA 'A': 319 S.F.
ON-SITE SNOW STOR. AREA 'B': 267 S.F.

TOTAL: 586 S.F.

SITE DATA

SITE ADDRESS:
637 S. RIVER STREET
HAILEY, IDAHO

LEGAL DESCRIPTION:
HAILEY LOT 2A BLK 1

PARCEL NUMBER:
RPH0452000002A

ZONING DISTRICT:
GR - GENERAL RESIDENTIAL

ZONING SUBDISTRICTS:
TOWNSITE OVERLAY DISTRICT
DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

LOT AREA:
TOTAL: ±0.20 ACRES (±8,840 S.F.)

LOT COVERAGE:
ALLOWED: 25%
PROVIDED: BUILDING FOOTPRINTS = 1,018 S.F./8,840 S.F. = 11.5%

MIN. OPEN SPACE:
REQUIRED: 10% OF TOTAL LOT AREA = 884 S.F.
PROVIDED: 2,903 S.F. = 33%

MIN. FRONT YARD SETBACK AT RIVER STREET:
REQUIRED: 12'-0"
PROVIDED: SEE SITE PLAN

MIN. REAR YARD SETBACK:
REQUIRED: 1'-0" FOR EVERY 2'-6" OF WALL HEIGHT (30'-0") = 12'-0"
PROVIDED: SEE SITE PLAN

MIN. SIDE YARD SETBACK AT SOUTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-6" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED:

MIN. SIDE YARD SETBACK AT NORTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-6" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED: SEE SITE PLAN

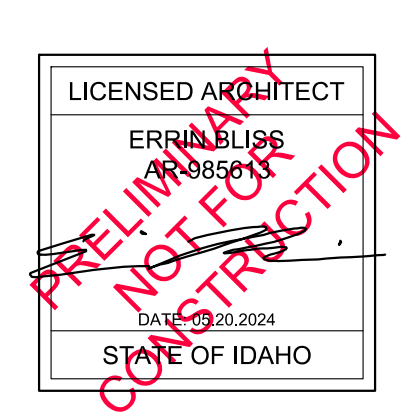
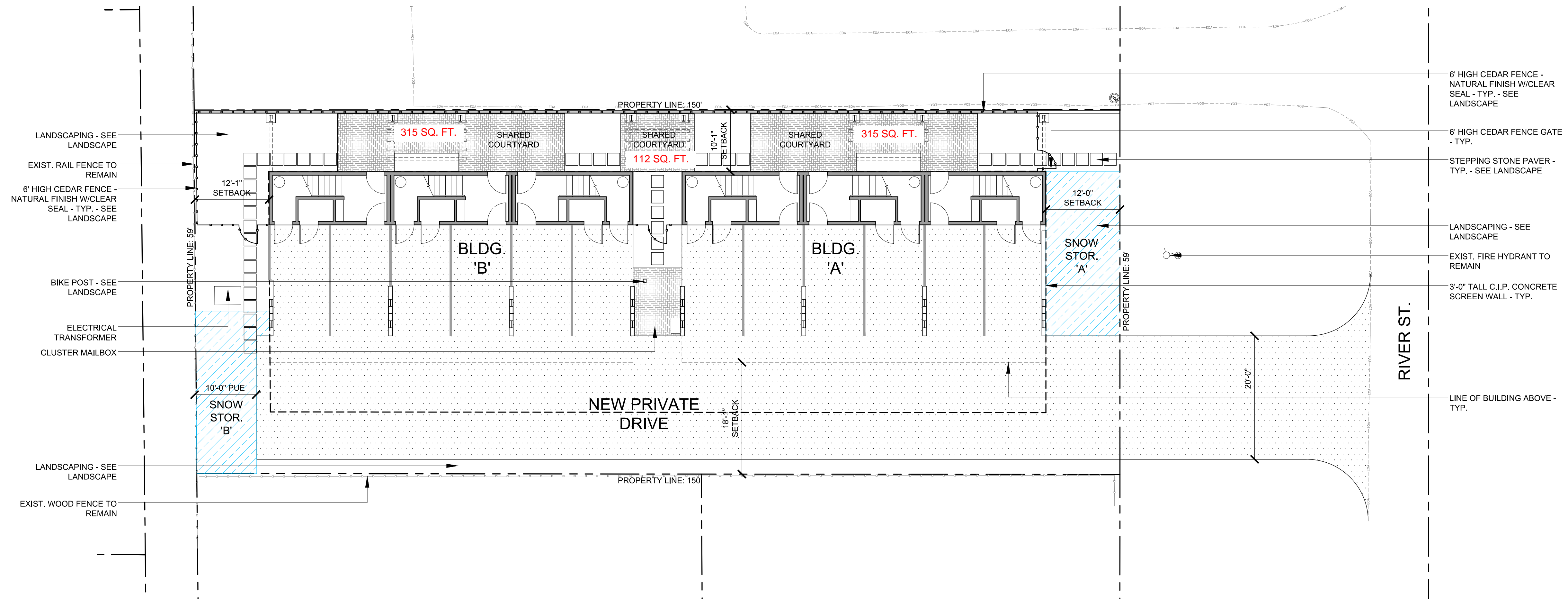
MAX. BUILDING HEIGHT:
ALLOWED: 30'-0"
PROVIDED:

BUILDING GROSS AREA:
BUILDING A: 3,609 S.F.
UNIT 1: 1,203 S.F.
UNIT 2: 1,203 S.F.
UNIT 3: 1,203 S.F.

BUILDING B: 3,609 S.F.
UNIT 4: 1,203 S.F.
UNIT 5: 1,203 S.F.
UNIT 6: 1,203 S.F.

ON-SITE PARKING:
REQUIRED: 1 SPACE PER UNIT = 6 SPACES
PROVIDED: 12 COVERED SPACES

BIKE PARKING:
REQUIRED: 25% OF THE REQ'D NUMBER OF SPACES = 2 SPACES
PROVIDED: 1 BIKE POST = 2 SPACES



SIX THIRTY SEVEN TOWNHOMES
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

PROJECT NO. | 202401

DRAWN BY | EMB
CHECKED BY | EMB

CITY OF HAILEY
DESIGN REVIEW
DATE | 05 20 2024

ARCHITECTURAL
SITE PLAN

AS101

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6" LED Square Cylinder Down Wall Lantern Wall mounted • Wet location listed **PROGRESS LED**

Description:

6" LED Square Cylinder with heavy-duty aluminum construction, die-cast aluminum wall bracket. UL listed for wet locations. Powder coat for chipping and fading resistance. **Dark Sky compliant for down light only.** The P5643 is ideal for indoor/outdoor applications. It can be used in residential or light commercial installations.

Specifications:

- Black (-31) (painted)
- Die-cast aluminum Construction
- Ideal for a wide variety of interior and exterior applications.
- Die-cast aluminum construction with durable powder coated finish
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

Number of Modules	1
Input Power	29w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Source)	
Lumens/LPW (Delivered)	1800/60 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cULus Wet location listed
	Meets California Title 24 high efficacy requirements for outdoor use only

P5643-31-30K

Images:



Dimensions:

Width: 6"
 Height: 12"
 H/CTR: 7-1/2"



6" LED Square Cylinder Down Wall Lantern Wall mounted • Wet location listed **PROGRESS LED**

P5643-31-30K

Dimming Notes:

P5643 is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls

Lutron Diva DVELV-300P

Lutron Nova_T NTELV-300

Lutron Maestro MAELV-600

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation. Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

Return to Agenda