

Agenda
Hailey Planning and Zoning Commission
Monday, February 2, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Phone Conference ID: 602 369 677#

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- [CA 1](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision for a Conditional Use Permit Application by Kimberly Sesnon for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**
- [CA 2](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision for the City-Initiated Text Amendment amending Hailey's Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools. **ACTION ITEM**
- [CA 3](#) Motion to approve meeting minutes dated January 5, 2026. **ACTION ITEM**
- [CA 4](#) Motion to approve meeting minutes dated January 20, 2026. **ACTION ITEM**

Public Hearing - ACTION ITEM

- [PH 1](#) Consideration of Design Review PreApplication submitted by Raised Bar Ventures, LLC, represented by Matt Smithman, Starhope Engineering PLLC, for the construction of a three (3) lot, detached townhouse development located at 216 W. Carbonate St. (Lot 2, Block 1, Lilac Subdivision) within the General Residential (GR) Zoning Districts. **ACTION ITEM**

- **PH 2** Continuation of a Design Review Application, submitted by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the construction of a new, mixed-use condominium project. Eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, with each unit offering 2,552 square feet of conditioned interior space and a 90 square foot, private exterior balcony. This project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2) within the Service Commercial Industrial - Industrial (SCI-I) Zoning District. **ACTION ITEM**
- **PH 3** Continuation of a Preliminary Plat Application by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium sublot with an accessory dwelling unit (ADU). This project, to be known as Della Mountain Suites, is located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District. **ACTION ITEM**

Administrative Review – NO ACTION ITEM

- **AR 1:** Greer Accessory Dwelling Unit

Staff Reports and Discussion

- Tuesday, February 17, 2026:
 - o PUD: St. Charles Borromeo Catholic Church

Adjourn by 8:00 PM - ACTION ITEM

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On January 20, 2026, the Hailey Planning and Zoning Commission considered and approved a Conditional Use Permit Application by Kimberly Sesnon, approving a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 31, 2025, and mailed to adjoining property owners on December 31, 2025. The onsite notice was posted to the property on January 10, 2026.

Background and Project Overview: The Applicant proposed an owner occupied four-room Bed and Breakfast lodging establishment within an existing single-family home. The residence was originally remodeled in early 2000 with the intent of functioning as a Bed and Breakfast, including ensuite guest rooms, appropriate safety updates, and expanded common areas, all of which remain intact today. Operations are proposed to be modest, quiet, and will remain residential in character, like that of the previous B&B hosted here – The FeatherBed Inn, a successful lodging accommodation for many years. The owner intends to reside onsite full-time.

The parcel is located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, which allow for lodging establishments, such as this, via an approved Conditional Use Permit (CUP) Application. The proposed use further aligns with the GR Zoning District's purpose. Specifically, **the purpose of the GR district is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood. (Ord. 1191, 2015)**

The proposed use aligns with the purpose of the General Residential District and complements the existing neighborhood via its residential character while offering a quaint lodging amenity. The Dandelion is proposed to be hosted by the owner in this private residence, offering a home away from home for travelers seeking a refreshing experience that provides overnight accommodation and breakfast, while preserving the intent of the Old Hailey residential character.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On January 20, 2026, the Commission unanimously approved the Conditional Use Permit Application by Kimberly Sesnon, approving the Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District.

General Requirements for all Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.020	<p>Complete Application: 17.11.020 The application shall include at least the following information:</p> <ol style="list-style-type: none"> Name, address, and phone number of the applicant. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. Legal description of the subject property, including street address. Description of existing use. Zoning district of subject property. Description of proposed conditional use. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. A fee established in a separate ordinance approved by the Council.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer:
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
				Parks: <i>No comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>

			<p>Staff Comments</p> <p><i>No signage is proposed at this time; however, if the Applicant decides to add signage, a Sign Permit Application shall be required prior to the installation of any signage.</i></p> <p><i>The Commission requested that the Applicant submit a Sign Permit for the Bed and Breakfast and that the sign be installed per city requirements prior to operating. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p> <p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> e. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> a. Overlighting; b. Energy waste; c. Glare; d. Light Trespass; e. Skyglow. f. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. g. Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator. h. All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in subsection 17.08C.040.02, Type of Luminaires, of this Chapter.
			<p>Staff Comments</p> <p><i>N/A, the Applicant is not proposing to install any additional exterior lighting. The existing lighting meets dark sky requirements and is compliant with city code.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.040 On-site Parking Req.</p> <p>See Section 17.09.040 for applicable code.</p>
			<p>Staff Comments</p> <p><i>Per the city's code, the Applicant is required to provide one (1) onsite parking space per 1,000 square feet of commercial space. While the dwelling unit is residential in nature, people will be reserving rooms, as needed, and be traveling to and from; therefore, commercial parking requirements apply.</i></p> <p><i>The total square footage of the residence is 3,966 square feet. The Applicant is required to provide four (4) onsite parking spaces for the use.</i></p> <p><i>The site currently has a two (2) car garage and expanded parking within the public right-of-way, which can be used for at least four (4) cars (along First Avenue and Spruce Street). As such, there are a total of six (6) available parking spaces on and around the site. Onsite parking requirements for the proposed use have been met.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>

				<p>LYNN McDONALD RESIDENCE LOTS 18 & 14, BLOCK 58 HAULEY SCALE: 1" = 10'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.020.08(B)</p>	<p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p> <p><i>Staff Comments</i> <i>The site is serviced by an alley; however, the existing parking configuration is located off Spruce Street and N 1st Avenue. Any additional onsite parking shall be accessed via the alley and not from Spruce Street or First Avenue. This has been made a Condition of Approval.</i> <i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.020.08(C)</p>	<p>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i> <i>The existing site access is achieved via Spruce Street and First Avenue, as shown below.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(D)	D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
			<i>Staff Comments</i>	<i>N/A, as no onsite loading spaces are required with this Conditional Use Application. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Staff Comments</i>	<i>N/A. No subdivision access will be impacted by this project. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Staff Comments</i>	<i>The existing configuration allows vehicles to back from the parking area into the public right-of-way from Spruce Street and First Avenue, which is permitted in the GR Zoning District. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Staff Comments</i>	<i>N/A, as the proposed project does not include any stacked parking for the existing development. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Chapter 17.05: Bulk Requirements	SCI-SO District: <ul style="list-style-type: none"> ● Maximum Building Height: 35 feet ● Minimum Setbacks: <ul style="list-style-type: none"> ○ Front Setback: 20 feet ○ Side and Rear Yard Setback: 8/side and 10/rear. ● Maximum Lot Coverage: 40
			<i>Staff Comments</i>	<i>The building is developed, and all bulk requirements have been met. The proposed Application does not alter nor change the existing bulk requirements. Findings: Compliance. This standard has been met.</i>
Chapter 17.11 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.010	Compliance with the Comprehensive Plan 17.11.010: Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and

				<p>promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.</p>
			<i>Staff Comments</i>	<p><i>The Comprehensive Plan calls for economic diversity to support a variety of projects and programs that meet the needs generated by various segments of the population. The proposed use aligns with the following Goals of Hailey' Comprehensive Plan:</i></p> <p>Goal 3.5.1 – Ensure that Hailey is a vibrant, dynamic, attractive, and affordable place to live, recreate, and operate businesses.</p> <ul style="list-style-type: none"> • Objective – Maintain the charm, character, and integrity of established neighborhoods while allowing for the gradual infill of similar and appropriate land uses. <ul style="list-style-type: none"> • <i>Develop and adopt zoning standards that allow for the development of neighborhood-serving commercial uses that do not detract from the vibrancy of the commercial core by establishing strict limits on the location, scale, intensity, and design of allowed uses.</i> <p><i>The proposed Application provides an attractive, compatible lodging amenity within Hailey that epitomizes economic diversity and fully embeds a neighborhood-serving commercial use into Old Hailey that does not detract from Downtown, nor the residential character of the neighborhood.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(a)	<p>17.11.040.01 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p>
			<i>Staff Comments</i>	<p><i>The City recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, use, and circulation. In order to protect public welfare, and to further ensure that there's conformance with our Comprehensive Plan, a Conditional Use Permit has been submitted.</i></p> <p><i>The proposed use provides an owner-occupied Bed and Breakfast within an existing single-family residence. The use allows for a small-scale lodging establishment that offers overnight accommodation and breakfast. The use is compatible with other uses in the GR Zoning District.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(b)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Staff Comments</i>	<p><i>The proposed use is located within an existing single-family development within the GR Zoning District. The proposed use does not change nor alter the character of the surrounding neighborhood.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(c)	<p>c. Will not be hazardous or disturbing to existing or future neighboring uses;</p> <p><i>Staff Comments</i> The proposed use will not have a negative impact on the surrounding properties. Vehicular traffic for the Bed and Breakfast will be minimal and comparable to other residential uses. There are four (4) rooms available for accommodation, and traffic from the use will be comparable to visiting friends or families at their residence. All activity will take place inside the building and property. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p> <p><i>Staff Comments</i> The site is currently serviced by essential public facilities and services. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p> <p><i>Staff Comments</i> At this time, no additional cost will be incurred from any public agencies or facilities for the operation of said use. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p> <p><i>Staff Comments</i> The effects of the proposed use on adjoining properties will not be hazardous or disturbing to existing or future neighboring uses. Vehicular traffic for the Bed and Breakfast will be minimal and comparable to other residential uses. Findings: Compliance. This standard has been met.</p>
			17.11.040.01(g)	<p>g. Will have vehicular approaches to the property which shall be</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		designed so as not to create an interference with traffic on surrounding public thoroughfares;
			<i>Staff Comments</i>	<i>All vehicular approaches to the property exist off Spruce Street and N. 1st Avenue. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(h)	h. Will not result in the destruction, loss or damage of a natural, scenic or historic feature.
			<i>Staff Comments</i>	<i>No trees or mature landscaping, scenic or historic features will be removed from the site as the site is developed. Findings: Compliance. This standard has been met.</i>

17.11.060 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 17.11.060(A) Require conformity to approved plans and specifications.
- 17.11.060(B) Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping, and lighting.
- 17.11.060(C) Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.
- 17.11.060(D) Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.
- 17.11.060(E) Limit time of day for the conduct of specified activities.
- 17.11.060(F) Require guarantees such as performance bonds or other security for compliance with the terms of the approval.
- 17.11.060(G) Require dedications and public improvements on property frontages.
- 17.11.060(H) Require irrigation ditches, laterals, and canals to be covered or fenced.
- 17.11.060(I) Minimize adverse impact on other development.
- 17.11.060(J) Control the sequence, timing and duration of development.
- 17.11.060(K) Assure that development is maintained properly.
- 17.11.060(L) Designate the exact location and nature of development.
- 17.11.060(M) Require the provision for on-site or off-site public services.
- 17.11.060(N) Require more restrictive standards than those generally found in this Ordinance.
- 17.11.060(O) Mitigate foreseeable social, economic, fiscal and environmental effects.
- 17.11.060(P) Set a limit on the duration of the permit when deemed necessary.
- 17.11.060(Q) Allow for subsequent periodic review.

Summary: Section 17.11.010 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 17.11.090 of the Hailey Municipal Code. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any Conditional Use Permit approved by the Commission.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.11, Conditional Use Permits, other Chapters of the Hailey Municipal Code and City Standards.

DECISION

The Planning and Zoning Commission considered and approved the Conditional Use Permit (CUP) Application submitted by Kimberly Sesnon, for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.11, Conditional Use Permits, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (d) are met:

The following Conditions are placed on approval of this Application:

- a) All Fire Department and Building Department requirements shall be met regarding all maintenance, administrative, and other functions of the proposed project.
- b) The Applicant shall submit a Sign Permit Application for the Bed and Breakfast, and the sign shall be installed per city requirements prior to operating.
- c) Any additional onsite parking shall be accessed via the alley and not from Spruce Street or First Avenue.
- d) The Applicant shall meet with the Fire Chief to determine the current load requirements based on the use and the design.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On January 20, 2026, the Hailey Planning and Zoning Commission recommended for approval by the Hailey City Council a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools.

FINDINGS OF FACT

Applicant: City Staff

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on December 31, 2026.

Background: During the 2025 Idaho State Legislative Session, the Idaho House Health and Welfare Committee introduced – and successfully passed - House Bill 202, which “Amends, repeals, and adds to existing law to remove provisions previously related to the Department of Health and Welfare that now assigned to other state agencies.” Specifically, the legislation removed responsibility for certain powers and duties regarding public health protections from the State Department of Public Health. One such power and duty removed was “The enforcement of minimum standards of health, safety, and sanitation for all public swimming pools within the state as established in rule of the board”. According to Josh Jensen, Environmental Health Director for the South Central Public Health District (SCPHD), at the time of this proposed Text Amendment, it is now up to the municipalities themselves to regulate public and commercial swimming pools for health and safety standards. This includes requirements for annual inspections and licensure/permitting to operate. Prior to 2025, such duty and authority to regulate rested with the Director of the Idaho State Department of Health and Welfare.

Since the passage of HB 202, representatives from SCPHD have been in active communication municipalities that have historically relied on SCPHD to perform required inspections/permitting for public and commercial swimming pools. SCPHD brought this regulatory matter to the attention of the City of Hailey in fall, 2025. Blaine County Recreation District (BCRD) – a primary stakeholder for matters regarding public swimming pool regulations – was also apprised of this legislative development at the same time. SCPHD has confirmed that they are supportive of, and readily equipped to, continue offering public/commercial swimming pool inspections and be named as the regulatory authority for permitting, facilitated through the passage of local ordinances at the discretion of individual municipalities. SCPHD has requested that interested municipalities adopt similar language and requirements in any new ordinances, ensuring uniformity and consistency across SCPHD's service area. This includes the application of the 2024 Model Aquatic Health Code (MAHC), a guidance document published by the U.S. Centers for Disease Control and Prevention that is aimed at preventing injury and illness at aquatic venues open to the public.

SCPHD has provided the City of Hailey with draft ordinance language for public/commercial swimming pool regulation that has already been adopted by peer communities in Idaho, incorporating applicable standards from the MAHC as well. The draft ordinance language forms the basis of the Text Amendment proposed herein. Additionally, City Staff have consulted with the Executive Director and the Aquatics Manager for the BCRD, regarding the proposed Text Amendment and any impacts it may have on for their operations. BCRD Staff had no feedback and offered their full support of the City's ordinance

proposal. In summary, the City of Hailey wishes to continue upholding best practices for safeguarding public health and safety at public and commercial swimming pool facilities, despite the recent removal of State requirements for inspections and permitting. Both the proposed Text Amendment and the strong partnership and support of SCPHD will help ensure best possible outcomes for public health and safety in our community.

Specific additions to be considered include, but are not limited to, the following sub-sections:

- A. Purpose
- B. Authority
- C. Codes Adopted
- D. Definitions
- E. Inspection Requirements
- F. Inspection Criteria
- G. Violations and Enforcement
- H. Permits and Fees
- I. Appeals

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

At the January 20, 2026, public hearing, the Commissioners offered very minor feedback on the proposed Text Amendment, limited to clarifying language between “commercial” and “public” pools and the need for annual inspections with any permitting process. These minor updates have been incorporated herein.

Section 1. Title 15 Buildings and Construction, Chapter 15.20 Special Code Requirements is hereby modified by the addition of the underlined language, as follows:

Section 15.20.020: Public and Commercial Swimming Pools

A. Purpose

The purpose of this ordinance is to establish health and safety standards for the licensing and inspection of public and commercial swimming pools within the City of Hailey ("City"), to ensure the protection of public health, safety, and welfare.

B. Authority

The City hereby authorizes South Central Public Health District, or the current public health district established pursuant to Idaho Code section 39-408 to serve the jurisdiction of the City, to enforce the provisions of this chapter and further delegates all powers necessary thereto to carry out the requirements of this chapter in its the best exercise of judgment to fulfill the purpose of this chapter; provided, such delegated discretion shall remain subject to the ultimate discretion of the City.'

C. Codes Adopted

1. All the rules, regulations, and ordinances of a general and permanent character relating and applying, without limitation, to regulation of the construction, maintenance, and/or operation of public pools and commercial pools, are printed and contained in Code book form designated and entitled:

a. The 2024 Model Aquatic Health Code (MAHC) with amendments, as adopted by the City.

b. Except as stated otherwise in this chapter, to the extent that there may exist any inconsistency between the requirements or standards set forth in the Hailey City Code and the requirements or standards set forth in any of the above-referenced codes, including such amendments or revisions as may be adopted by the City, the more restrictive requirement or standard shall apply.

D. Definitions

For the purposes of this chapter, the following definitions shall apply, and any term used therein shall have the meaning to the extent is defined or set forth in the MAHC:

1. **Private Pool:** Any pool which is constructed in connection with or appurtenant to single family dwellings, condominiums, apartment homes, short-term rentals, or neighborhoods within a homeowners association, and which is used solely by the persons maintaining their residence within such dwellings, condominiums, apartments, and neighborhoods and the guests of such persons.

2. **Commercial Pool:** Any pool, excepting Private Pools, whose use is in connection with or appurtenant to a business or commercial use or purpose including without limitation hotels, motels, and gyms, regardless of such use or if the purpose is private or public.

3. **Public Pool:** Any pool that is not a private pool or commercial pool as defined herein.

E. Inspection Requirements

1. Public Pools and Commercial Pools:

a. All public pools and commercial pools shall be open to inspection and water sample collection at any time they are in use, and at any other reasonable time, by agents of South Central Public Health District or other designee.

2. Private Pools:

a. Private Pools are not subject to these rules.

F. Inspection Criteria

Public pools and commercial pools shall comply with then-adopted version of the MAHC as set forth in this chapter.

G. Violations and Enforcement

1. Every person who violates any provision of this chapter shall be subject to closure of the violating pool, which may include without limitation the administrative license penalties of license denial, license revocation, or license suspension, as set forth in this chapter.

2. South Central Public Health District shall issue a written notice of violation if the subject pool fails to meet inspection requirements and resolve the violation at the time

of inspection or in a period of time otherwise specified by South Central Public Health District or its designee by either of the following methods:

a. The South Central Public Health District agent or designee mailing a copy of the notice of violation by certified mail, postage prepaid, return receipt requested, to such person at his/her last known address; or

b. The South Central Public Health District or designee affixing the notice of the violation to the premises.

3. Violations must be corrected within ten (10) business days of delivery of written notice unless otherwise specified by South Central Public Health District or its designee in writing.

4. If the violation presents an immediate health or safety hazard, South Central Public Health District or its designee may immediately order temporary pool closure until South Central Public Health District determines the pool is compliant with the standards of this chapter and any other applicable laws or regulations.

H. Permits and Fees

1. Operators of public pools or commercial pools must obtain an annual pool operation permit, including an approved annual inspection from South Central Public Health District, who shall ascribe a reasonable inspection permit fee. The fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414.

The permit fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414. The permit includes the cost of inspections, complaint investigations, and year-round consultation for pool operators.

3. Newly constructed public pools or commercial pools will incur a plan review fee prior to permitting. The fee shall be established by the local Board of Health in accordance with Idaho Code section 39-414.

4. No public pool or commercial pool may operate without a valid permit.

I. Appeals

Any person aggrieved by a notice of violation or enforcement action may appeal in writing to South Central Public Health District within thirty-five (35) days from the receipt of an adverse order or notice of decision.

Section 2. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 3. Repealer Clause. All City of Hailey Ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 4. Effective Date. This Ordinance shall be in full force and effect from and after passage, approval, and publication according to law.

Standards of Review:

Criteria for Review. Section 16.13.010 of the Hailey Municipal Code provides when evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed amendment will promote the public health, safety, and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan;

Hailey's Municipal Code should continue to address and promote the principles and lifestyle components that are most essential to our community's identity. Our code is the foundation from which our municipality and citizens begin a journey forward to a vibrant and thriving future. While Hailey's Comprehensive Plan does not go into the specificity that this code section contemplates, it is anticipated that the City will continue to update, modify, redefine, define, and/or clarify definitions to guide development, buildings and construction, and public health and safety. The following goals from the Comprehensive Plan are relevant to this text change:

Section 4: Recreation, Parks and Lands

- 4.1 Create and maintain interconnected systems of parks, recreation facilities, trails, green spaces and natural lands in order to provide divers recreation opportunities for Hailey residents.

Section 7: Demographics, cultural Vitality and Social Diversity and Well-Being

- 7.2 Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.

Section 9: Public Servies, Facilities and Utilities

- 9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

Finding: Compliance. This Standard has been met.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services. South Central Public Health District has initiated the process for drafting and adopting the proposed amendment, and the Health District has offered their full support for the provisioning of proposed inspection and permitting services, with no additional burden or extraneous costs placed on the City of Hailey.

Finding: Compliance. This Standard has been met.

3. The proposed amendment will promote public health, safety, and general welfare.

The proposed amendment will ensure the public and commercial swimming pools continue to receive annual inspections and only operate under approved permits, consistent with U.S. CDC-recommended best practices for public health and safety, as outlined in the 2024 Model Aquatic Health Code. The proposed amendment is consistent with the Hailey Comprehensive Plan, and it will have serve to enhance public health, safety, and general welfare, given the passage of House Bill 202 and compared to no action taken by the City of Hailey.

Finding: Compliance. This Standard has been met.

CONCLUSIONS OF LAW AND DECISION

Based on the above Findings of Fact, Conclusions of Law and Decision, the Commission, on a unanimous vote, concluded the adequate notice, pursuant Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, was given, and is proper. The Commission made the following recommendations:

An ordinance, Ordinance No. _____, amending Hailey’s Municipal Code, Title 15: Buildings and Construction, Chapter 15.20 Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, is hereby recommended for review and approval by the Hailey City Council.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda

Agenda
Hailey Planning and Zoning Commission
Monday, January 5, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1-469-206-8535: 602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

Present

Planning and Zoning Commission: Janet Fugte, Dan Smith, Mike Smith, Jordan Fitzgerald

Staff: Robyn Davis, Emily Brooks, and Ashley Dyer

5:30:34 PM Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Application by Daniel and Mia Ward wherein Lot 7A, Block 4, Woodside Subdivision #1 (1210 Baldy View Drive) is subdivided into two (2) lots; Lot 1, 7AA comprising of 8,906 square feet, and Lot 2, 7AAA comprising of 8,685 square feet. This project is proposed as 1210 Baldy View Drive Subdivision and is located within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**
5:31:27 PM Motion D. Smith, seconded Fitzgerald, all in favor M Smith Abstained.

Public Hearing - ACTION ITEM

- **PH 1** Consideration of a Preliminary Plat Application by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, wherein Lot 3B, Block 4, Airport West (1611 Aviation Drive) is proposed to be subdivided into eleven (11) commercial condominium sublots and one (1) mixed-use condominium subplot. Each subplot is proposed to host 2,383 square feet of constructed condominium area, with 28,257 square feet of common area and easements across the one (1) acre parcel. This

project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West) within the Service Commercial Industrial - Industrial Subdistrict (SCI-I) Zoning Districts. **ACTION ITEM**

[5:33:32 PM](#) Brooks, introduced project. Identified that an amendment to a public access was not included in packet. In pre app commission wanted ADU approval before build out. Applicant put this in plat notes.

[5:36:07 PM](#) Applicant team, Richard Wilcott, introduces project. Wants to be novel with mixed use components. Greenway towards Broadford has a bench and path to light retail. Receiving Airport West approval has been very challenging after several attempts and even legal assistance. Described exterior building material and landscaping. Some on sight snow storage but most will be hauled off.

[5:45:04 PM](#) M Smith, the plans didn't show exterior lighting, has an issue with lumen level. Don't have exterior deck lights. Lumens clarification. Gross floor coverage clarification from staff. Mike struggles with square footage, numbers and 900 sq ft compliance. Applicant addressed it was meant to be a general idea of what "could be done". Vestibule space is commercial or residential clarification. Concerned by the number of discrepancies with external material. Discussion continued.

[5:57:54 PM](#) D. Smith, concerned by square footage and calculations. The clarification between commercial and residential needs to be more distinguished. Also, concerned by the external material and the discrepancies between written and visual, and physical material. Lighting is also a concern. Asked where mechanical system would be, applicant replied on the roof. Discussion continued. Suggested flipping the exterior design to face opposite to make building more appealing. Asked clarification about development agreement, park in lieu fees will be determined by agreement. Would like to see an oil water separator for drain system.

[6:15:23 PM](#) Fitzgerald, in the pre-app it was live/work now feels more mixed use. Applicant said intention is to be live/work. Suggested bringing living space down would be improvement. Discussion continued.

[6:42:16 PM](#) Fugate, what does the applicant see as the types of businesses? They see it as light industrial storage for contractors. Airport Way is in transition of management, will hopefully be short lived with difficult communication.

[6:49:27 PM](#) Noticed as public hearing.

[6:49:55 PM](#) Jay Cone wanted to clarify the fence location. Wanted to clarify the access, all parties agreed. Make sure the easement won't unintentionally be removed.

[6:52:11 PM](#) Public hearing closed.

[6:52:22 PM](#) Fugate mentioned more concerns than can be conditioned. Clarification needed: square footage, parking (Mike suggested providing different situations 3,6,9,12 etc.), division of residential and commercial, lighting needs to be addressed, need very clear colors and materials used and described in materials,

[6:59:56 PM](#) Jeff Leach described conversations and nuances from Airport Way. It is subject to their approval.

[7:02:45 PM](#) Final input from commission.

[7:10:00 PM](#) **Continuation:** Motion to continue the public hearing to February 2nd, 2026 [the for PH #1 and PH #2. Motion made by M Smith, 2nd D Smith, all in favor.

- [PH 2](#) Consideration of Design Review Application submitted by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the

construction of eleven (11) commercial condominium units and one (1) mixed-use condominium unit featuring a 900 square foot accessory dwelling unit. Each condominium unit is proposed with two (2) floors of usable area and an exterior balcony, totaling 2,383 square feet. This project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West) within the Service Commercial Industrial - Industrial Subdistrict (SCI-I) Zoning Districts. **ACTION ITEM**

[7:10:00 PM](#) **Continuation:** Motion to continue the public hearing to February 2nd, 2026 [the for PH #1 and PH #2. Motion made by M Smith, 2nd D Smith, all in favor.

[7:18:27 PM](#) Called back to order

- [PH 3](#) Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.06.080: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed-Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, refining and/or amending design standards for cottage and townhouse developments **ACTION ITEM**
- [7:19:26 PM](#) Dyer, introduced project.
- [7:20:35 PM](#) Davis mentioned this is focused on cottage and detached townhomes not a comprehensive design review update. Verbiage is too restrictive with current efforts. Discussion continued.
- [7:41:48 PM](#) Noticed as public hearing.
- [7:42:31 PM](#) Public Hearing closed.

Approval: Motion to recommend approval to the Hailey City Council the draft Ordinance, Ordinance No. TBD, amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.08.: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, as discussed, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

[7:43:58 PM](#) D. Smith Motion, seconded M. Smith, all in favor.

Staff Reports and Discussion

- Tuesday, January 20, 2026:
 - o CUP: The Dandelion (Bread and Breakfast)
 - o TA: Text Amendment Swimming Pools
 - o AR: AT&T

[7:48:58 PM](#) M. Smith motion to adjourn, D. Smith seconded, all in favor.

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda

Agenda
Hailey Planning and Zoning Commission
Tuesday, January 20, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Or call in (audio only)

[+1-469-206-8535: 602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Planning and Zoning Commission: Janet Fugate, Dan Smith, Mike Smith, Jordan Fitzgerald
Staff: Robyn Davis, Emily Brooks, and Ashley Dyer

5:30:24 PM Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

New Business

- **NB 1:** Elect Commission Chair and Vice Chair
- **5:32:09 PM** D. Smith motion to nominate Fugate for chair, second M. Smith, all in favor
- **5:32:40 PM** D. Smith would like to nominate M. Smith as vice chair, 2nd Fitzgerald, all in favor

Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve Findings of Fact, by James Josel, represented by Thomas Howland of Howland Architecture Studio, Inc., for the construction of a new 2,884 square foot single-family residence and 696 square foot Accessory Dwelling Unit (ADU) constructed above the detached garage, to be located at 220 N 2nd Avenue (Lot 13A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **CA 2** Motion to approve Findings of Fact, by the Hailey City Council a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.06 Design Review, Section 17.06.080: Design Standards, Item A: Nonresidential, Multi-Family Or Mixed-Use Building Development, Item E: Detached Townhouse Development, and Item F: Cottage Development, refining and/or amending design standards for cottage and townhouse developments. **ACTION ITEM**

- [CA 3](#) Motion to approve meeting minutes dated November 17, 2025. **ACTION ITEM**
- [CA 4](#) Motion to approve meeting minutes dated December 01, 2025. **ACTION ITEM**
- [CA 5](#) Motion to approve meeting minutes dated December 15, 2025. **ACTION ITEM**

[5:33:50 PM](#) CA2&CA4 Motion M. Smith, D. Smith second, all in favor
[5:34:06 PM](#) CA1&CA5 Motion D. Smith, second Fitzgerald, all in favor, M. Smith abstain.
[5:34:26 PM](#) Motion CA3 motion M. Smith, second D. Smith, all in favor Fugate abstain

Public Hearing - ACTION ITEM

- [PH 1](#) Consideration of a Conditional Use Permit Application by Kimberly Sesnon for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**
- [5:35:10 PM](#) Dyer introduce project. Applicant unable to attend due to medical emergency.
- [5:36:13 PM](#) Fugate asked if was previously a B&B. Wanted to ensure for guest parking winter restrictions. More parking discussion
- [5:43:25 PM](#) Applicant introduced herself Kimberly Senson. Clarified that she has parking for all requirements.
- [5:44:19 PM](#) Fitzgerald would like to require signage; it would help other homes in the area.
- [5:45:39 PM](#) Applicant is planning to have signage. Gave more information and will go through sign permit process.
- [5:47:15 PM](#) Fitzgerald wanted clarification on how she regulates stay length. Applicant wants to keep it to 2 weeks.
- [5:51:04 PM](#) Commission reflections and clarifications. More discussion with applicant.
- [5:57:05 PM](#) Noticed as a public hearing.
- [5:57:42 PM](#) Closed public hearing.
- [5:57:49 PM](#) Clarification with staff and commission with applicant and each other.

Approval: Motion to approve the Conditional Use Permit Application by Kimberly Sesnon, for the implementation of a Bed and Breakfast, to be known as The Dandelion SV, and located at 416 N 1st Avenue (Lots 13 & 14, Block 58), in the General Residential (GR) and Townsite Overlay (TO) Zoning District, finding that the application meets each of the Criteria for Review, (a) through (b) cited in the Hailey Municipal Code, that the Conditional Use Permit complies with the Comprehensive Plan, and that Conditions (a) through (d) will be met.

[6:03:15 PM](#) Motion D. Smith, second M. Smith, all in favor.

- [PH 2](#) Consideration of a City-Initiated Text Amendment amending Hailey’s Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools. **ACTION ITEM**

- [6:06:53 PM](#) Further staff discussion about the drafted text amendment. This has been spearheaded by south central health district.
- [6:18:35 PM](#) Noticed as public hearing.
- [6:18:48 PM](#) Josh Jenson from South Central Public Health District. Yearly permit clarification.
- [6:20:04 PM](#) Closed public hearing.

Approval: Motion to recommend approval by the Hailey City Council Ordinance No. _____, an Ordinance amending Hailey’s Municipal Code, Title 15: Buildings and Construction, Chapter 15.20 Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

[6:20:29 PM](#) M. Smith Motion, seconded D. Smith, all in favor

Administrative Review – NO ACTION ITEM

- [AR](#): AT&T

Staff Reports and Discussion

- Monday, February 02, 2026:
 - o Continuation: DR and PP: Della Mountain Suites
 - o Design Review Pre-Application Lilac Townhouses
 - o AR: Greer ADU

[6:23:39 PM](#) Motion to adjourn Fitzgerald, seconded D. Smith, all in favor

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda



Staff Report
Hailey Planning and Zoning Commission
Regular Meeting of February 2, 2026

To: Planning and Zoning Commission
From: Ashley Dyer, Community Development City Planner

Proposal: Consideration of a Design Review Pre-Application submitted by Raised Bar Ventures, LLC, represented by Matt Smithman with Starhope Engineering PLLC, for the construction of a three (3) lot, detached townhouse development. This project is located at 216 W. Carbonate Street (Lot 2, Block 1, Lilac Subdivision) within the General Residential (GR) Zoning District.

Hearing: February 2, 2026

Applicant: Raised Bar Ventures, LLC
Location: 216 W. Carbonate Street (Lot 2, Block 1, Lilac Subdivision)
Zoning & Lot Size: General Residential; Lot size 16,507 square feet

Notice: Notice for the public hearing was published in the Idaho Mountain Express on January 14, 2026, and mailed to adjoining property owners on January 14, 2026.

Background and Project Overview. The Applicant is proposing a new townhouse development project consisting of three (3), detached townhouse sublots located on Lot 2 of the Lilac Subdivision. The proposed site plan entails three (3), detached townhouse sublots ranging in size from 4,753 square feet to 6,055 square feet in size.

General Residential: The purpose of the GR district is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood. (Ord. 1191, 2015)

The proposed detached townhouse development project aligns with the purpose and intent of the GR Zoning District, as the building design, exterior features, and use characteristics support diverse residential development within the City of Hailey.

Chapter 17.06: Design Review. Section 17.06.050: Application:

C. Design Review Pre-Application:

- 1. Required:** An application for Preapplication Design Review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be made by at least one holder of any interest in the real property for which the Preapplication Design Review is proposed.
- 2. Information Required:** The following information is required with an Application for Preapplication Design Review:

- a. The Design Review Application form, including project name and location, and Applicant and representative names and contact information.
- b. One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:
 - i. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show the location of adjacent buildings and structures.
 - ii. Site plan, to scale, showing proposed parking, loading and general circulation.
 - iii. One color rendering of at least one side of the proposed building(s).
 - iv. General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)

1. Site Configuration: Townhouse Sublots:

- Sublot one (1) comprises 6,055 square feet
- Sublot two (2) comprises 4,753 square feet
- Sublot three (3) comprises 5,656 square feet



2. Detached Townhouse Square Footage:

- Each townhouse unit is proposed to be 1,864 square feet in size
- Each townhouse unit is proposed to have two (2) bedrooms, two and half (2.5) bathrooms, and a three (3) car garage.
- Potential for converting the single car garage component on one or more of the homes to a five hundred (500) square foot ADU.

3. Lot Coverage:

- Lot coverage ranges from 23%-29% for the three sublots
- The ground floor footprint of the proposed homes is 1,387 sq. ft.

4. Parking: Dwelling units larger than 1,000 square feet in size require one and half (1.5) parking spaces per dwelling.

- Three (3) onsite parking spaces are proposed in the garages and one additional onsite parking space is provided per townhouse. Four (4) onsite parking spaces are proposed per townhouse dwelling unit.
- In total, twelve (12) onsite parking spaces are proposed for the townhouse development.

5. **Site Access:** Access is provided off the Public Street, Carbonate Drive.

6. **Building Design, Materials, and Colors:** The overall building design and materials are proposed to have a combination of textured surfaces. Undulation and visual interest are further enhanced by the various-sized windows, garage doors, and other exterior elements such as the balconies and beams. The conceptual plans presented consist of horizontal composite or true wood lap siding in a natural stain/color, stained or painted black wood fascia and soffit, mono pitch-black metal roof, corrugated black metal panel wainscoting. The intent is to mix/match and vary colors/textures between the three (3) units. The Applicant seeks to provide tasteful design variation between the units, but also offer a level of consistency between each unit to tie the development together.



7. **Water, Sewer, and Fire:** This is a Preapplication Design Review. Final drawings that illustrate connection details & drainage will be required for full Design Review (to be determined), and no comments have been made by Staff at this time.

8. **ROW Improvements:** This is a Preapplication Design Review. Staff will work internally with the Streets and Public Works Departments to ensure all improvements comply with Hailey's Municipal Design Guidelines. Analysis will be provided at full Design Review for improvements to the public right-of-way, and/or development of landscaping, irrigation and sidewalks.

9. **Landscaping:** This is a Preapplication Design Review. Final drawings that illustrate a Landscaping Plan will be required for full Design Review (to be determined), and no comments have been made by Staff at this time.

10. **Easements:** The lot is approximately 16,507 square feet in size. There is an existing ten foot (10') wide Public Utility Easement centered upon all sides and rear lot lines, as well as a ten foot (10') wide snow removal easement adjacent to Carbonate Drive.

Action: No formal action is required at this time, as this is a Preapplication Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into their Design Review submittal.

Vicinity Map



12/22/2025, 1:22:40 PM

Roads
Highway
Road

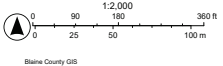
County Boundary
Parcels

Image

Blue: Band_3

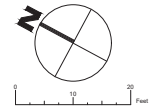
Red: Band_1

Green: Band_2





SITE LEGEND			
	EXISTING ASPHALT PAVEMENT (TO REMAIN)		PROPOSED ASPHALT DRIVE AISLE
	EXISTING GRAVEL ROAD		PROPOSED PROPERTY LINE
	SUBJECT PROPERTY LINE		BUILDING FOOTPRINT
	ADJACENT PROPERTY LINE		PROPOSED UTILITY EASEMENT
	EXISTING EASEMENT (PER SURVEY)		PROPOSED MAJOR CONTOUR
	SETBACK LINE		PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR		PROPOSED WATER MAIN
	EXISTING MINOR CONTOUR		PROPOSED WATER SERVICE
	EXISTING WATER MAIN		PROPOSED WATER SERVICE
	EXISTING SANITARY SEWER MAIN		PROPOSED FIRE HYDRANT
	EXISTING DITCH FLOWLINE		PROPOSED SANITARY SEWER MAIN
	EXISTING VEGETATION DRIFLINE		PROPOSED SANITARY SEWER SERVICE
			PROPOSED SANITARY SEWER MANHOLE



PREPARED BY
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ENGINEERING

PREPARED FOR
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STARHOPEENGINEERING.COM

PROJECT
ROTH HAILEY
SUBDIVISION
210 N. CARBONATE ST., PHOENIX, AZ 85013
ILAC SUBDIVISION, BLOCK 1, LOT 2

PRELIMINARY
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY DESIGN REVIEW SET	12/22/25	MS

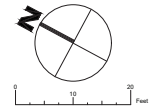
DRAWN BY: MS
REVIEWED BY: MS
DATE: 12/22/25

PROJECT NO.: 25274
TITLE: SITE PLAN - UTILITY OPTION A

SHEET NO.: C1.0



SITE LEGEND	
	EXISTING ASPHALT PAVEMENT (TO REMAIN)
	EXISTING GRAVEL ROAD
	SUBJECT PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT (PER SURVEY)
	SETBACK LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING DITCH FLOWLINE
	EXISTING VEGETATION DRIPLINE
	PROPOSED ASPHALT DRIVE AISLE
	PROPOSED PROPERTY LINE
	BUILDING FOOTPRINT
	PROPOSED UTILITY EASEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED SANITARY SEWER MANHOLE



PREPARED BY
STARHOPE
ENGINEERING
 124 S. MAIN ST., SUITE 404
 PARKER, CO. 80130
 STARHOPEENGINEERING.COM

PREPARED FOR
JASON ROTH
 PO BOX 85383
 PHOENIX, AZ 85068
 PHONE (602) 720-1262

PROJECT
ROTH HAILEY
SUBDIVISION
 210 N. CARBONATE DR. UNIT 101
 ILIAC SUBDIVISION, BLOCK 1, LOT 2

PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY DESIGN REVIEW SET	12/22/25	MS

DRAWN BY: MS
 REVIEWED BY: MS
 DATE: 12/22/25
 PROJECT NO.: 25274


TITLE
SITE PLAN -
UTILITY OPTION
B

SHEET NO.
C1.1

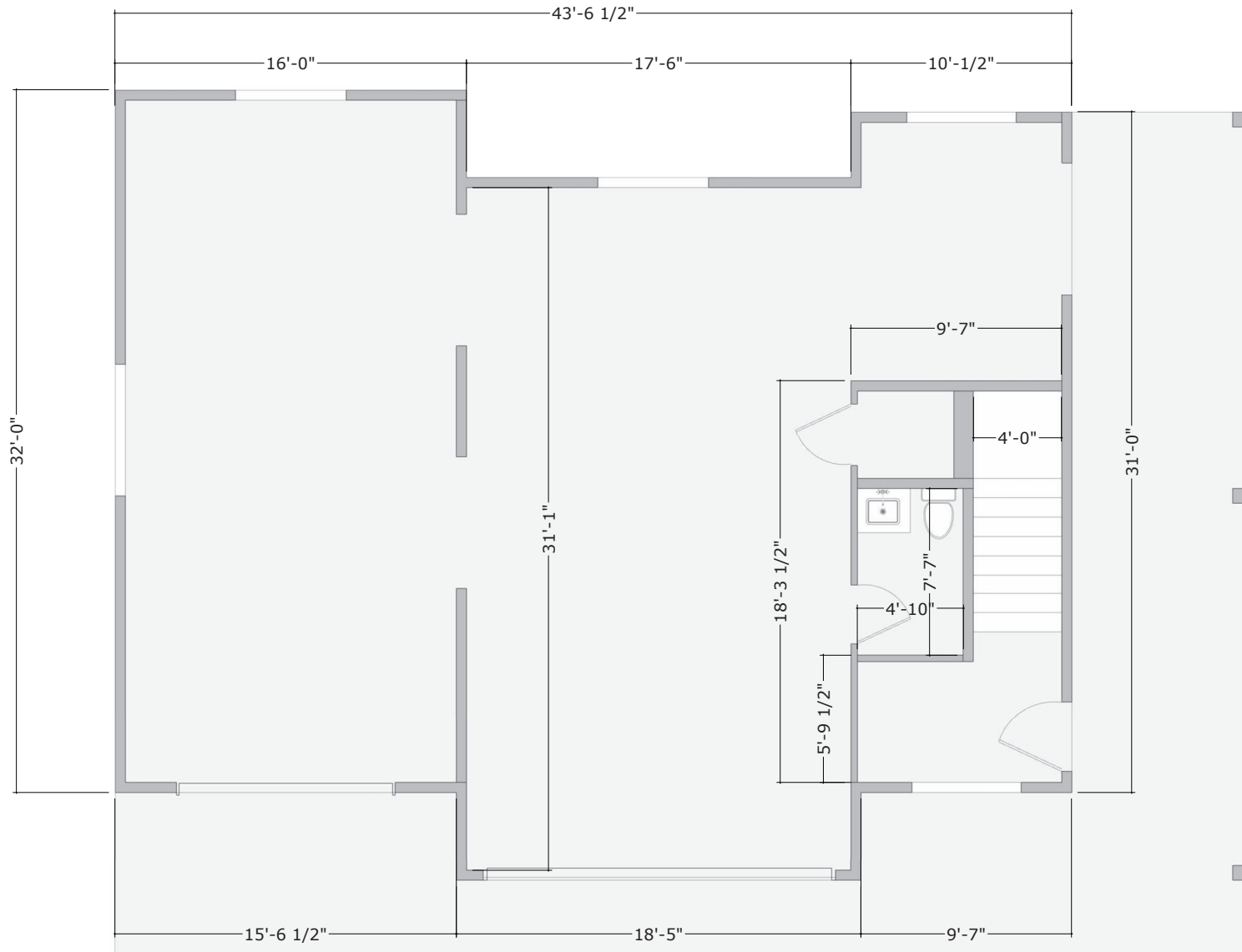


MONTAGUE GARAGE APARTMENT


ADDRESS HERE

	REVISION FOR REVIEW	ISSUE DATE September 4, 2025	CLIENT TO BE DETERMINED	FLOOR PLAN SKYLINE 400	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON	GENERAL CONTRACTOR TO BE DETERMINED	ADDRESS TO BE DETERMINED	SHEET TITLE COVER SHEET	SHEET A-1
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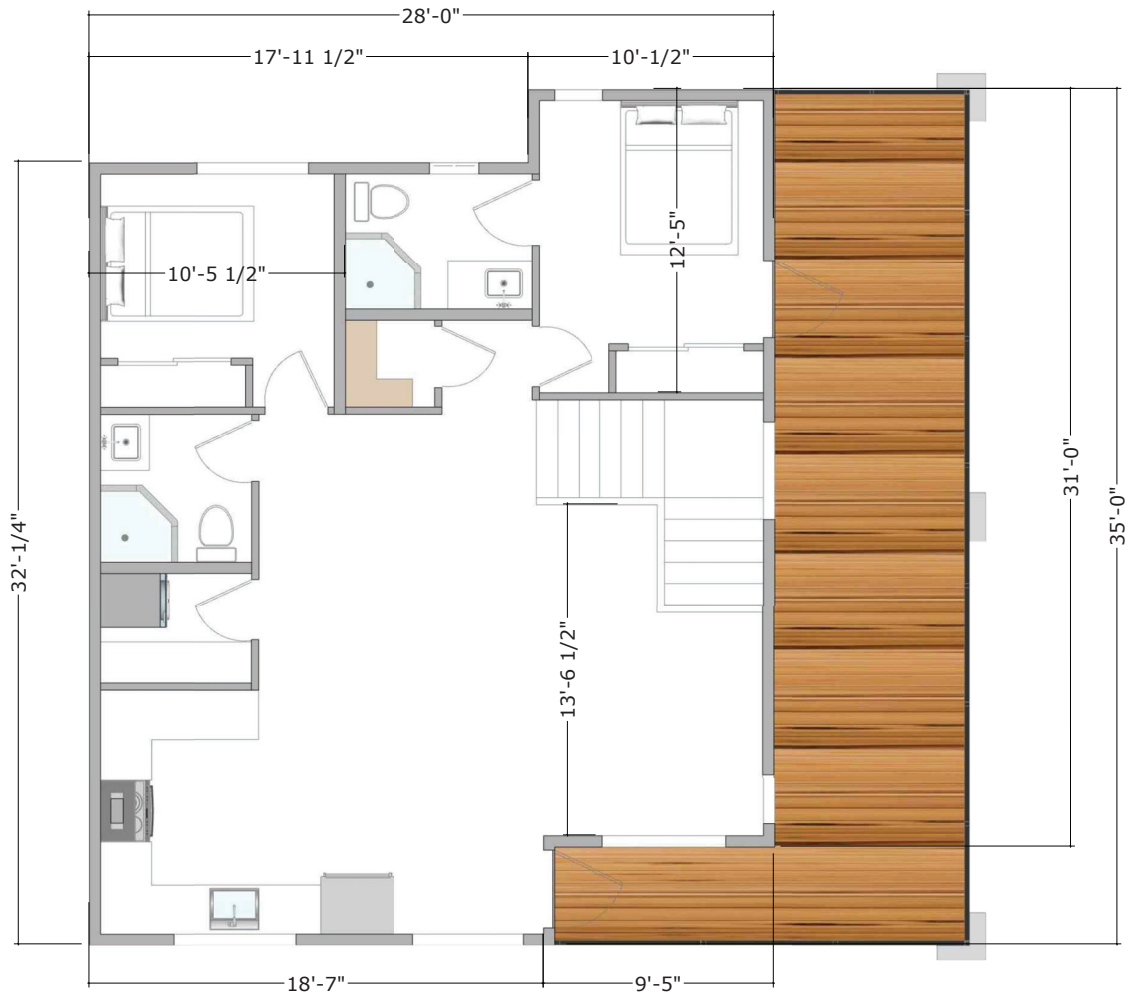
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MAIN FLOOR PLAN

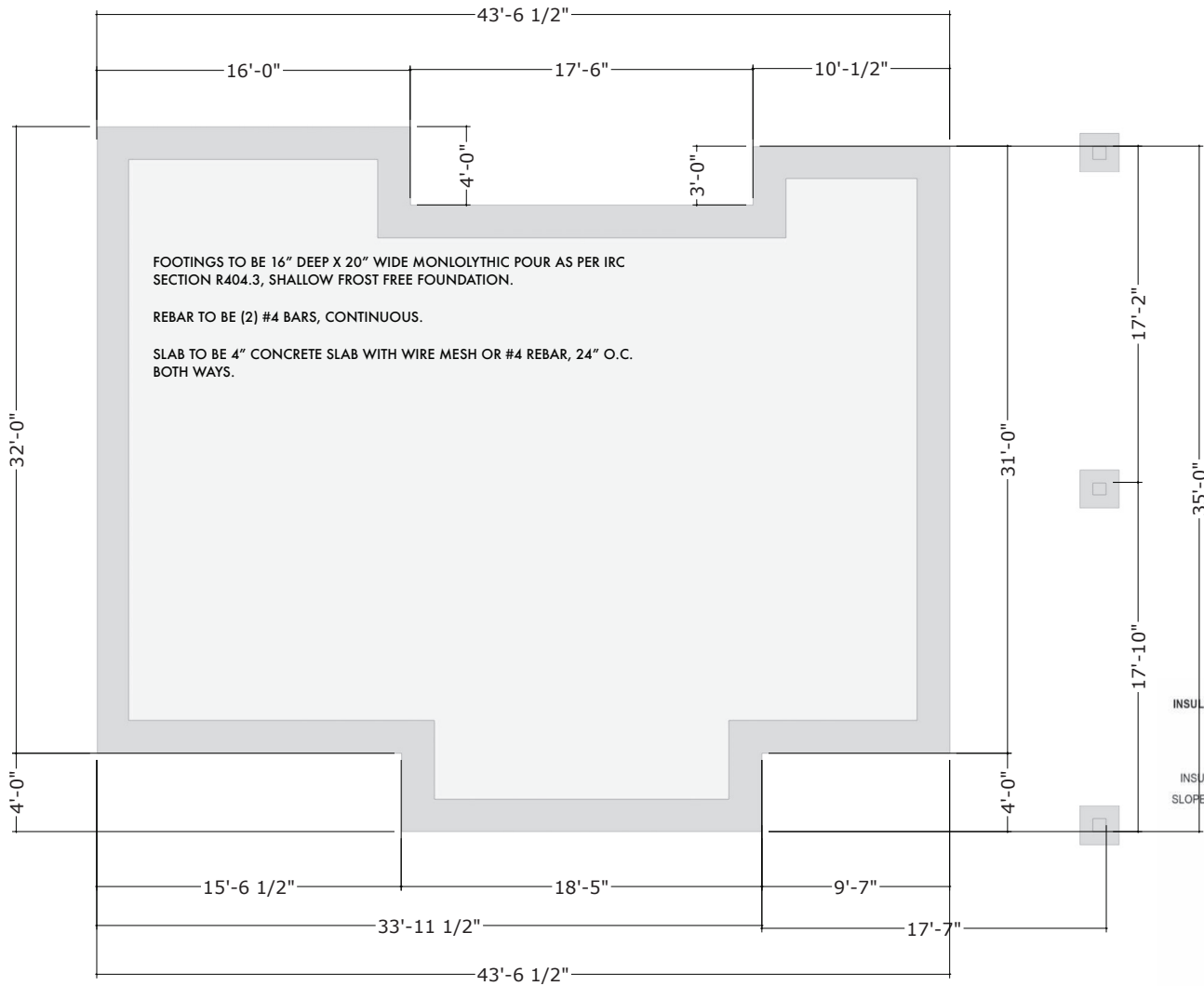
	REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	GENERAL CONTRACTOR	ADDRESS	SHEET TITLE	SHEET A-2
	FOR REVIEW	September 4, 2025	TO BE DETERMINED	SKYLINE 400	CHRIS JAUSSI BRIAN DAVIDSON	TO BE DETERMINED	TO BE DETERMINED	FLOOR PLAN	

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UPPER LEVEL FLOOR PLAN

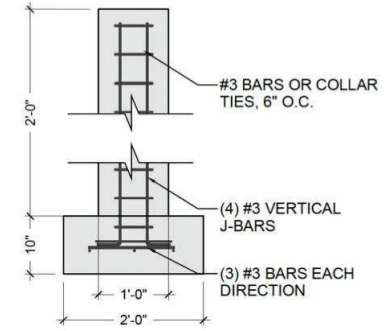
	REVISION FOR REVIEW	ISSUE DATE September 4, 2025	CLIENT TO BE DETERMINED	FLOOR PLAN SKYLINE 400	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON	GENERAL CONTRACTOR TO BE DETERMINED	ADDRESS TO BE DETERMINED	SHEET TITLE FLOOR PLAN 2	SHEET A-3
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FOOTINGS TO BE 16" DEEP X 20" WIDE MONOLYTHIC POUR AS PER IRC SECTION R404.3, SHALLOW FROST FREE FOUNDATION.

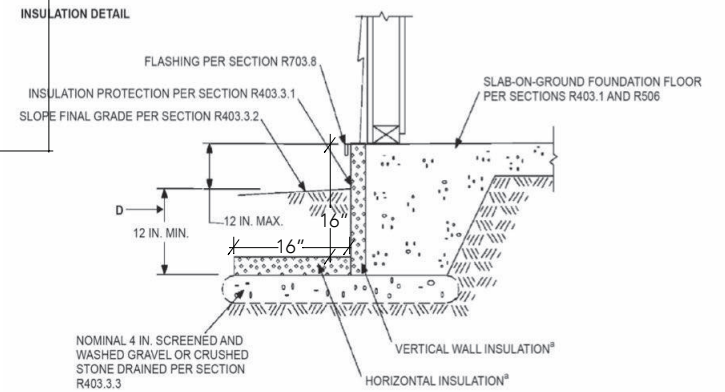
REBAR TO BE (2) #4 BARS, CONTINUOUS.

SLAB TO BE 4" CONCRETE SLAB WITH WIRE MESH OR #4 REBAR, 24" O.C. BOTH WAYS.



DETAIL: SPOT FOOTING
SCALE: 1" = 1'-0"

SHALLOW FROST FREE FOUNDATION DETAIL AS PER IRC CODE SECTION R403.3



FOUNDATION PLAN


	REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	GENERAL CONTRACTOR	ADDRESS	SHEET TITLE	SHEET A-4
	FOR REVIEW	September 4, 2025	TO BE DETERMINED	SKYLINE 400	CHRIS JAUSSI BRIAN DAVIDSON	TO BE DETERMINED	TO BE DETERMINED	FOUNDATION	



FRONT RIGHT PERSPECTIVE



FRONT LEFT PERSPECTIVE

	REVISION FOR REVIEW	ISSUE DATE September 4, 2025	CLIENT TO BE DETERMINED	FLOOR PLAN SKYLINE 400	DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON	GENERAL CONTRACTOR TO BE DETERMINED	ADDRESS TO BE DETERMINED	SHEET TITLE PERSPECTIVES 1	SHEET A-5
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BACK LEFT PERSPECTIVE



BACK RIGHT PERSPECTIVE



REVISION FOR REVIEW

ISSUE DATE September 4, 2025

CLIENT TO BE DETERMINED

FLOOR PLAN SKYLINE 400

DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON

GENERAL CONTRACTOR TO BE DETERMINED
--

ADDRESS TO BE DETERMINED

SHEET TITLE PERSPECTIVES 2



FRONT ELEVATION



BACK ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REVISION FOR REVIEW

ISSUE DATE September 4, 2025

CLIENT TO BE DETERMINED

FLOOR PLAN SKYLINE 400

DESIGNERS CHRIS JAUSSI BRIAN DAVIDSON

GENERAL CONTRACTOR TO BE DETERMINED
--

ADDRESS TO BE DETERMINED

SHEET TITLE ELEVATIONS



FRONT RENDERING #1



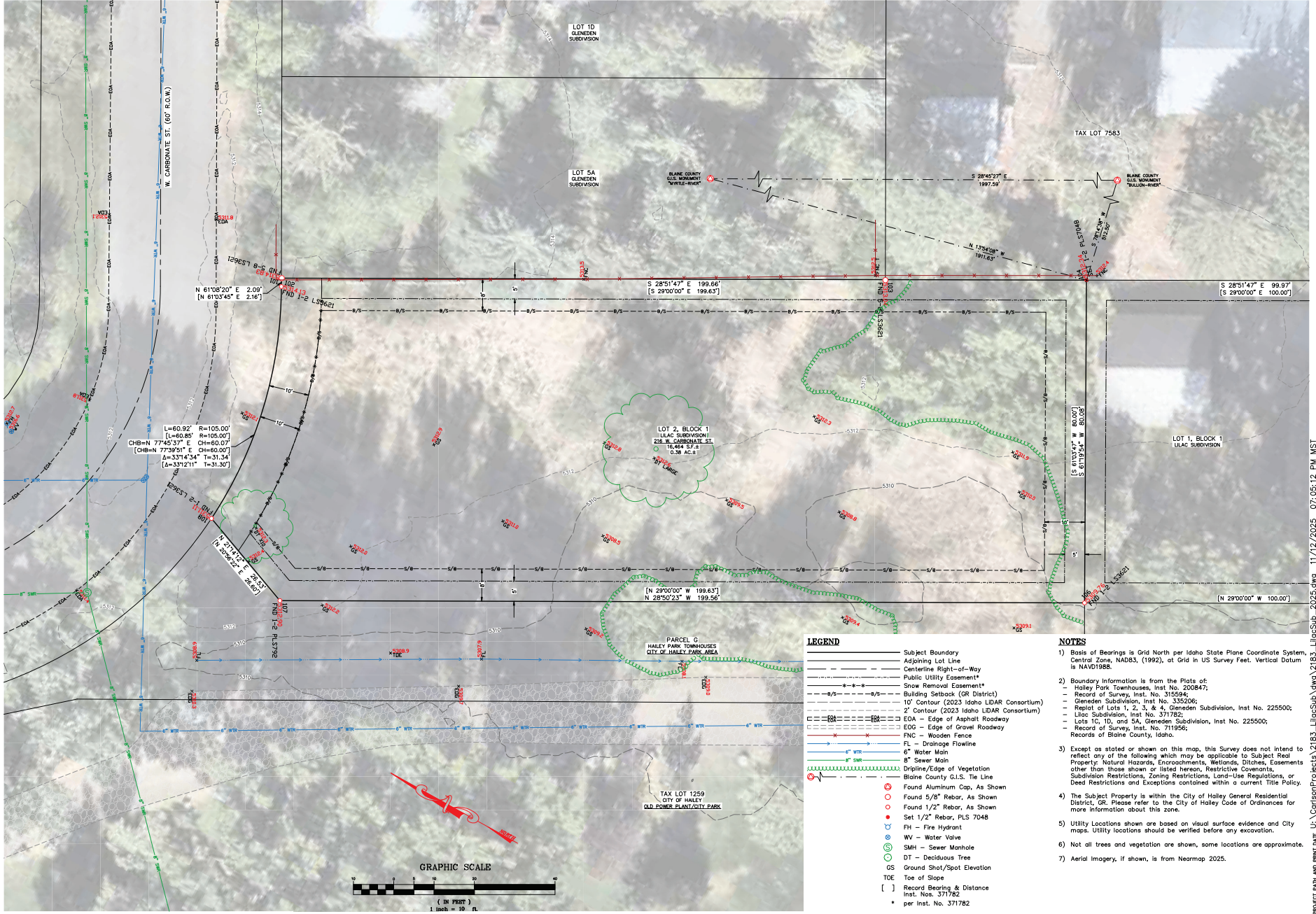
FRONT RENDERING #2



REAR RENDERING #1



REAR RENDERING #2



$L=60.92'$ $R=105.00'$
 $L=60.80'$ $R=105.00'$
 $CHD=N 77^{\circ}45'37'' E CH=60.07'$
 $CHB=N 77^{\circ}39'51'' E CH=60.00'$
 $\Delta=33^{\circ}14'34'' T=31.34'$
 $[\Delta=33^{\circ}12'21'' T=31.30']$



- LEGEND**
- Subject Boundary
 - - - Adjoining Lot Line
 - - - Centerline Right-of-Way
 - - - Public Utility Easement*
 - - - Snow Removal Easement*
 - - - Building Setback (GR District)
 - - - 10' Contour (2023 Idaho LIDAR Consortium)
 - - - 2' Contour (2023 Idaho LIDAR Consortium)
 - EOA - Edge of Asphalt Roadway
 - EOG - Edge of Gravel Roadway
 - - - FNC - Wooden Fence
 - - - FL - Drainage Flowline
 - 6" WTR - 6" Water Main
 - 8" WTR - 8" Sewer Main
 - Blaine County G.I.S. Tie Line
 - Found Aluminum Cap, As Shown
 - Found 5/8" Rebar, As Shown
 - Found 1/2" Rebar, As Shown
 - Set 1/2" Rebar, PLS 7048
 - ⊕ FH - Fire Hydrant
 - ⊕ WV - Water Valve
 - ⊕ SMH - Sewer Manhole
 - DT - Deciduous Tree
 - GS - Ground Shot/Spot Elevation
 - TOE - Toe of Slope
 - [] Record Bearing & Distance
Inst. Nos. 371782
* per Inst. No. 371782

- NOTES**
- Basis of Bearings is Grid North per Idaho State Plane Coordinate System, Central Zone, NAD83, (1992), at Grid in US Survey Feet. Vertical Datum is NAVD1988.
 - Boundary Information is from the Plots of:
 - Haley Park Townhouses, Inst. No. 200847;
 - Record of Survey, Inst. No. 315594;
 - Gleneden Subdivision, Inst. No. 335206;
 - Replat of Lots 1, 2, 3, & 4, Gleneden Subdivision, Inst. No. 225500;
 - Lilac Subdivision, Inst. No. 371782;
 - Lots 10, 10, and 5A, Gleneden Subdivision, Inst. No. 225500;
 - Record of Survey, Inst. No. 711956;
 - Records of Blaine County, Idaho.
 - Except as stated or shown on this map, this Survey does not intend to reflect any of the following which may be applicable to Subject Real Property: Natural Hazards, Encroachments, Wetlands, Ditches, Easements other than those shown or listed hereon, Restrictive Covenants, Subdivision Restrictions, Zoning Restrictions, Land-Use Regulations, or Deed Restrictions and Exceptions contained within a current Title Policy.
 - The Subject Property is within the City of Haley General Residential District, GR. Please refer to the City of Haley Code of Ordinances for more information about this zone.
 - Utility locations shown are based on visual surface evidence and City maps. Utility locations should be verified before any excavation.
 - Not all trees and vegetation are shown, some locations are approximate.
 - Aerial Imagery, if shown, is from Nearmap 2025.

A SITE SURVEY SHOWING
 LOT 2, BLOCK 1, LILAC SUBDIVISION
 WITHIN S.9, T.2N., R.18E., B.M., CITY OF HALEY, BLAINE COUNTY, IDAHO
 PREPARED FOR JASON ROTH

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 666 Bell St., Unit L1440, USA
 P.O. Box 277-1988, Teton, WY 83425
 (208) 277-1988, Fax (208) 277-1987
 email: alpine@alpineenterprisesinc.com

PROJECT PATH AND PRINT DATE: U:\CorporationProjects\2183_LilacSub\2025-02gwg_11/12/2025_07:05:12 PM.MST
 NO. DATE BY
 1 11/02/2025 SWE/SZ
 BOUNDARY SURVEY CONDUCTED
 REVISIONS
 SHEET 1 OF 1

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of February 2, 2026

To: Hailey Planning and Zoning Commission
From: Emily Brooks, Community Development City Planner/Resilience Planner

Overview: Continuation of a Design Review Application, submitted by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the construction of a new, mixed-use condominium project. Eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, with each unit offering approximately 2,552 square feet of conditioned interior space and a 90 square foot, private exterior balcony. This project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2) within the Service Commercial Industrial - Industrial (SCI-I) Zoning District.

Hearing: February 2, 2026

Applicant: 1611 Aviation LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning
Location: 1611 Aviation Drive (Lot 3B, Block 4- Airport West Subdivision #2)
Zoning & Lot Size: SCI-Industrial (SCI-I); Lot size 43,554 square feet

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on December 17, 2025. The project was noticed jointly with a corresponding condominium preliminary plat application. No public comments were received for either application during the public comment period. The Application was continued on the record at the January 5th, 2026 Public Hearing.

Background and Application: The Applicant is proposing a new, mixed-use condominium development on an un-built parcel in the Airport West Subdivision. Currently, the property is being used for long-term equipment and material storage for nearby business owners. A Design Review Pre-Application was first submitted by the Applicant Team and reviewed by the Planning and Zoning Commission in April, 2025. The Applicant requested that the Commission consider their unique development proposal, which called for a series of twelve (12) identical condominium units, each offering 2,293 square feet of developable interior space and 90 square feet of private, exterior patio area. Three (3) separate buildings were proposed to host the twelve (12) units.

Most notably, the Applicant proposed architectural and site designs that could support future conversion of each unit's second-level commercial space into a two-bedroom Accessory Dwelling Unit (ADU), at the discretion of future unit owners. ADUs are permitted within live/work developments within the SCI-I Zoning District, although they must be owner or employee-occupied. Code compliant private outdoor space and parking capacity requirements for each unit (inclusive of all uses) were met with the Applicant's Pre-Application proposal. These project components have been retained for all iterations of the Design Review process.

On January 5, 2026, the Commission conducted a public hearing for the Applicant's full Design Review Application (a Condominium Preliminary Plat Application was also reviewed concurrently). The Design Review proposal included one (1) of the twelve (12) condominium units as a full ADU build-out in. The 900 square foot ADU was proposed for the second level of the condominium unit, featuring two (2) bedrooms, one (1) bathroom, and a kitchen/living area. Three hundred (300) square feet of additional commercial space was also proposed for the second level, as well as access to the ninety (90) square foot exterior patio (ADU outdoor space requirement). Interior and site perimeter sidewalk connections were proposed, as well as a trash enclosure, privacy fence on the northern property boundary, and site landscaping. Twenty-two (22) surface parking spaces and eleven (11) individual garage parking spaces were proposed (33 total), with twenty-eight (28) parking spaces required (commercial and hypothetical residential uses).

Park space dedication/in-lieu requirements for the condominium subdivision will be addressed through a Development Agreement between the property owner and the City of Hailey, as discussed at the January 5, 2026 Public Hearing and captured within the proposed Conditions of Approval. Park requirements become active at the proposal of three (3) or more residential units. The Applicant is currently proposing one (1) formal condominium unit with a residential component. Given the highly flexible and uncertain nature of future additional residential components, which would trigger park requirements, Staff and the Hailey City Attorney have concurred that the Development Agreement approach - providing park-in-lieu fees, specifically – will ensure that all necessary Code requirements and impacts of potential future development are addressed. The Development Agreement will be brought to the Hailey City Council at future date for review and approval.

At the January 5, 2026 Public Hearing, Commissioners shared a number of concerns with the Design Review proposal. Some of these concerns centered around exterior façade design, while others concerned floor layout sizing, lighting, and minimizing energy consumption. The Applicant has provided a revised Justification Letter for the project, which catalogues the Commissioner's comments from January 5th and provides further explanation of how the comment has been addressed in the Applicant's revised submittal. These comments are summarized as follows:

- **Exterior Lighting:** Lighting plans were submitted by the Applicant after Application materials had been distributed to the Commissioners for pre-Hearing review. As such, Commissioners expressed uncertainty over the proposed lighting scheme, and they asked the Applicant to consider lumen outputs, color temperature, and light throw distances that were as unobtrusive as possible.

The Applicant submitted a revised photometric plan that shows an average parking lot illumination of less than 1.5 foot-candles on average, according to the Applicant. The Applicant also clarified their selected lighting fixtures as having the appropriate lumen output and requested color temperature, per re-submitted lighting cut sheets.

- **Exterior Building Colors and Materials:** There were numerous inconsistencies in the presented building materials and colors, both within architectural elevations and photo renderings, as well as with physical samples. The Commission requested that the Applicant return with an aligned exterior building design proposal.

The Applicant has amended their design plans to consistently reflect the colors and materials that they have selected for their buildings. This also includes a change in lap siding color to “Summer Wheat”, which was a preferred option by the Commission at the January 5th, 2026 Public Hearing. A material sample of the “Summer Wheat” siding has been provided for this Hearing.

- **Minimizing Energy Consumption:** The Commission noted that the Applicant only met two (2) out of the three (3) required energy conservation measures required in section 17.06.080(A)2i. These included double-glazed windows and low emissivity glazing

The Applicant has stated that Building #2 does in fact meet at least three (3) measures, with additional measures noted as favorable solar orientation (longer wall plane on east-west axis) and southmost-facing windows with eave coverage. Staff conclude that these additional measures for Building #2 are in fact met.

Building #1 and Building #3 do not include these design standards. The Applicant has proposed the addition of an exterior light shelf to the stairwell window on the south face of each of the buildings. The two (2) remaining windows on Building #1 and #2's southern elevation are located in bathroom areas and are meant to be used as ventilation windows. Light shelves would disable this function, according to the Applicant.

The Applicant is requesting that the Commission consider removing exterior light shelf requirements for these smaller bathroom windows, which would make all other proposed energy conservation measures as compliant with Code.

- **Floor Drain Oil/Sand Separators:** The Commission recommended that the Applicant install oil/sand separators within each of the proposed floor drains in each of the commercial units. Oil/sand separators are not a specific design review requirement in Hailey Municipal Code, although approval of the project from the Wastewater Division Manager is a required Condition of Approval before issuance of a Building Permit.

The Applicant has initiated discussions with the Wastewater Division Manager on any pre-treatment requirements that may be imposed for this property and its potential uses. These requirements may include oil/sand separators. If pre-treatment requirements are deemed unfeasible to be incorporated into project, according to the Applicant, then the Applicant will eliminate the proposed floor drains from the project design. Approval from the Wastewater Division Manager will be secured for the final system design, according to the Applicant.

- **Eastern façade (Aviation Drive) of Building #1:** The Commission expressed a desire for an enhanced eastern façade of Building #1 that included more architectural detailing and/or visual appeal. Additions of textures, materials, visual breaks, and undulations were suggested, as well as the consideration for flipping the building orientation.

The Applicant deemed flipping the building orientation unfeasible for a variety of reasons, including easement restrictions, decreasing parking and drive aisle space, and snow-shedding

into the parking area. Instead, the Applicant has responded to the Commission’s suggestions by adding visual interest through indentations at the building corners and in the middle of the building façade, adding additional awnings over the windows within the indented areas, and adding Coreten wainscoting to the ground level, matching the Coreten wainscoting proposed for the lower areas around garage doors at the interior of the site.

- **Parking Assessment at different usage scenarios:** The Commission requested that the Applicant provide parking breakdowns for potential ADU build-outs at various levels. See response provided by Applicant below (via Justification Letter document):

Number of ADUs	ADU Sq Ft	Commercial Sq Ft	Commercial Parking	ADU Parking	Required Parking	Excess (Deficient)
1	900	29596	29.6	1	30.6	2.4
3	2700	27796	27.8	3	30.8	2.2
6	5400	25096	25.1	6	31.1	1.9
9	8100	22396	22.4	9	31.4	1.6
12	10800	19696	19.7	12	31.7	1.3

- **Building Height:** The Commission asked the Applicant to consider a lower building height, due to the scale of massing proposed for 3 buildings. The Applicant has proposed a building height that adheres with the bulk requirements of the zoning district; a lower building height is not required, and the Applicant intends to keep their proposed building height of 34.5 feet.
- **Landscaping:** The Commission requested that the Applicant consider adding more plant material to the northern property boundary, adding more trees, and adding more plant material along the drive aisle and sidewalk at the corner of Building #2.

According to the Applicant, they have responded to this request by adding six (6) additional trees on the northern property boundary and adding additional landscaping at the southeast corner of Building #2.

- **Retaining Wall:** The Applicant provided design clarifications that more clearly define the nature and size of the concrete curb on the northern edge of the parking area. While originally referred to as a retaining wall by Staff, the Applicant has clarified that this is in fact a concrete curb and not a retaining wall, by nature of the size and backslope design of the curb.
- **Parapet as Safety Railing:** The Commission noted that a safety railing may be needed on Building #1-3’s roofs, due to rood-mounted HVAC equipment and possible needs for servicing. Debate was had at the January 5th meeting if the proposed roof parapets could serve as Code-compliant safety railings, and no conclusion was reached.

The Applicant has clarified the parapet height on the building plans and has stated that they will install safety railings on the roofs during the building permit process, should inspection and building code requirements warrant such a feature.

- Square footage of proposed ADU units:** A primary concern of the Commission at the January 5th, 2026 public hearing was the discrepancy and possible oversizing of the proposed ADU unit spaces. Per Hailey Municipal Code, the maximum gross square footage of the proposed ADU units is nine hundred (900) square feet. This includes interior staircases providing access to the ADU. The Applicant’s proposed floor plan did not show a clear delineation on the second level of each unit between the proposed three hundred (300) square feet of commercial space, plus the nine hundred (900) square feet of ADU living space. It was also unclear if this square footage calculation included the interior staircase in each unit that is proposed to provide access to both of these spaces.

The Applicant has stated that while they do not believe that Hailey Municipal Code actually requires physical separation between the ADU and commercial space, they have provided a floor plan layout for Unit 112 (singular mixed-use unit, as proposed) that provides walls and doorways to delineate these different uses. They have also assessed stairwell area within their square footage calculations. The new ADU size is 892 square feet, including a portion of ADU stairwell at level 2, and the second-level commercial space is sized at 384 square feet and includes the other portion of the stair/hallway area on the second level. It appears that the Applicant has met the requirements for ADU maximum square footage with this amended floor plan proposal.


This Design Review Application is being considered concurrently with a submitted Preliminary Plat Application. Public Hearings for both Applications were continued at the January 5th, 2026 Public Hearing. No changes to the submitted Preliminary Plat materials have been proposed at this time.



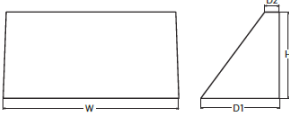
Procedural History: The Design Review Application was submitted on November 21, 2025, and certified complete on November 25, 2025. An initial public hearing before the Planning and Zoning Commission was held on January 5, 2026, in the Hailey City Council Chambers and virtually via Microsoft Teams. A continuation of the public hearing will be held on February 2nd, 2026 in the Hailey City Council Chambers and virtually via Microsoft Teams.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i> Life/Safety: <i>No comments</i> Water and Sewer: <u>Water:</u> <ul style="list-style-type: none"> • <i>All water mains shall be looped at the end of the main.</i> • <i>Each unit shall have its own water service, with no double meter vaults permitted.</i> • <i>Any unused water services located during construction shall be abandoned at the water main.</i>

				<ul style="list-style-type: none"> • <i>Water services located in asphalt areas shall have blue board installed over the service.</i> • <i>Water main connections on Lear Lane and Dornier Way shall be hot-tapped.</i> <p><i>These have been made Conditions of Approval.</i></p> <p><u>Sewer:</u></p> <ul style="list-style-type: none"> • <i>The Applicant shall submit finalized sewer plans and utility plans to the City of Hailey Engineer and Wastewater Division Manager and receive design approval, prior to issuance of a Building Permit. Final Plans shall include:</i> <ul style="list-style-type: none"> - <i>All identified clean-outs on the Sewer Plan (Sheet C4.1, Key Note #4) shall be switched to sewer manholes.</i> - <i>All Applicable City of Hailey and Idaho Standards for Public Works Construction (ISPWC) standards for sewer system design shall be observed and reflected through utility plan notations, as needed.</i> - <i>Sewer connection to existing manhole shall be plugged upon successful connection to the manhole to prevent unwanted flow from entering either direction.</i> - <i>Any pre-treatment features required by the Wastewater Division Manager, which also fit within the Applicant’s desired scope of work, shall be installed.</i> <p><i>This has been made a Condition of Approval.</i></p> <p>Building: <i>No comments</i></p> <p>Streets, Landscaping, Other:</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p>17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i></p> <p>Staff Comments</p> <p><i>The Applicant is aware of sign permit requirements for the proposed monument signage. The Applicant shall refrain from installing any signage until sign permit approval has been granted.</i></p> <p><i>This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p> <p>Staff Comments</p> <p><i>The proposed project is located in the SCI- Industrial (SC-I) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of commercial use. The project proposes approximately 29,604square feet of commercial space, requiring at minimum thirty (30) parking spaces. Additionally, the Applicant is proposing one (1) ADU unit, requiring one (1) dedicated parking space.</i></p> <p><i>The minimum parking requirement for the proposed mixed-use development is thirty-one (31) spaces. The Applicant is proposing twelve (12) individual garage parking spaces, plus twenty-one (21) surface parking spaces, for a</i></p>

			<p><i>total of thirty-three (33) onsite parking spaces. The minimum parking requirements have been met.</i></p> <p><i>Any future conversion of commercial space into an ADU unit (as designed for by the Applicant) will result in an overall decrease in commercial area, thus lessening the minimum commercial parking requirement. If all twelve (12) condominium units are eventually converted to include an ADU, the total commercial area decreases from 29,604 square feet (as proposed) to 19,792 square feet. The new, hypothetical parking requirement would be twenty (20) spaces for the commercial use, plus twelve (12) spaces for the ADU use, resulting in an overall mixed-use parking requirement of thirty-two) spaces. In any mixed-use configuration (as currently permitted by the Hailey Municipal Code and planned for by the Applicant), the parking requirement will remain as met.</i></p> <p><i>At the Commission’s request, the Applicant provided a table of parking requirement breakdowns at various ADU build-out levels. This can be found in the submitted justification letter. While this table still reflects a parking space excess under any ADU build-out scenario, rounding and ADU square footage assumptions made by the Applicant (i.e. 900 square feet vs. actual 892 square foot proposal for Unit 112) reflect slightly different parking space totals. Regardless, parking requirements have been, and will be, met for this project under any proposed ADU build-out scenario, as permitted by Hailey Municipal Code.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.09.040.06: EXCESS OF PERMITTED PARKING:</p> <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission.</p> <p>Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> <p><i>N/A- Site parking meets requirement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p> <p>17.08C.040 General Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p>

				<p style="text-align: center;">e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p> <p><i>Staff Comments</i></p> <p><i>The Applicant is proposing two (2) different exterior lighting fixtures, both to be mounted to the exterior of each building. No freestanding light fixtures are proposed. Both proposed fixture types will utilize LED luminaires, reducing energy waste.</i></p> <p><i>Lighting fixture Type 1 (Luminis brand) is proposed to have eight (8) installments per building, each placed at approximately 8.75' feet above finished grade and affixed to the building's exterior, placed adjacent to primary and secondary human entry doors. Type 1 fixtures are proposed to be fully shielded and downcast, with a max lumen output of 3,732 lumens. This exceeds Hailey Municipal Code's lumen output recommendations for mounting height (max lumen output of 1,600 installed at eight (8) feet).</i></p> <p><i>Lighting fixture Type 2 (Lithonia WDGE3) is proposed to have five (5) installments per building, each placed at approximately fourteen (14) feet above finished grade and affixed to the building's exterior. Type 2 fixtures will be placed at the shared wall of each adjoining unit, just below the exterior balconies, as well as at the rear corners of each building (non-garage side). Type 2 fixtures are also proposed to be full shielded and downcast, with a max lumen output of 6,000 lumens. This meets the Code recommendation for mounting height (max lumen output of 2,400 at twelve (12) feet, and 6,000 at sixteen (16) feet).</i></p> <p><i>Type 1:</i></p>  <p><i>Type 2:</i></p>
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				<div style="text-align: center;">  <p>WDGE3 LED Architectural Wall Sconce</p>  </div> <p>Specifications Depth (D1): 8" Depth (D2): 1.5" Height: 9" Width: 18" Weight: 19.5 lbs (without options)</p>  <p><i>Lighting details and a photometric plan were not available for Commissioner review, prior to the January 5th, 2026 Public Hearing. Therefore, Commissioners expressed uncertainty over lighting compliance, not having been able to review specific plans and specifications themselves.</i></p> <p><i>While maximum lumen output for specific mounting heights are recommendations, per Hailey Municipal Code, the Applicant has provided additional details that show the lighting fixtures as fully shielded and downcast and lower in color temperature. The Hailey Municipal Code does, however, impose maximum requirements for average foot-candle illumination for parking areas. With a maximum of 1.5 foot-candles permitted, the Applicant has submitted a photometric plan that shows parking area and overall property illumination at an average of 1.4 foot-candles. Compliance with the Outdoor Lighting Ordinance is met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p>	<p>Zoning District: SCI-I Industrial Zoning District. Maximum Height: 35' within the SCI District Required Setbacks:</p> <ul style="list-style-type: none"> - Front Yard: 10 feet - Side Yards: 10 feet - Rear Yard: 10 feet - Lot Coverage: 70%
			<p>Staff Comments</p>	<p><i>Zoning District(s): SCI-I- Industrial Zoning District</i> <i>Proposed Height: 33'</i> <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> - <i>Front (East/Airport Way): 10 feet</i> - <i>Rear: 10 feet</i> - <i>Side (north): 10 feet</i> - <i>Side (South): 17 feet</i> - <i>Lot coverage: 5%</i> <p><i>Lot Coverage: 15,297 square feet of building footprint, with 43,554 square feet of lot area, equaling approximately 35% of lot coverage (70% maximum permitted).</i></p> <p><i>All bulk requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(A)1 Street Improvements Required</p>	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<p>Staff Comments</p>	<p><i>The Applicant is proposing to construct a new, publicly accessible sidewalk along the property's southern boundary on Lear Lane/Dornier Way,</i></p>

				<p><i>accommodating for two (2) curb cuts that facilitate vehicular access to the onsite parking area. This sidewalk will also provide connection to the public open space (Parcel A) that is located between 1611 Aviation Drive and Broadford Road.</i></p> <p><i>Public sidewalk along the majority of the eastern property boundary is existing, although a small portion in the northeast corner is incomplete, due to a previously developed shared access easement with 1551 Aviation Drive. This easement is proposed to be vacated, in conjunction with the Applicant's corresponding Preliminary Plat Application. Sidewalks along each building's interior frontage are also proposed for further site connectivity.</i></p> <p><i>The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive. This has been made a Condition of Approval.</i></p> <p><i>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate. The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<i>N/A - No alley access is proposed.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p>
			<i>Staff Comments</i>	<p><i>Across the three (3) buildings, each of the twelve (12) units features a ninety (90) square foot covered balcony/outdoor deck space on the second level. Buildings 1 and 3 feature deck spaces that face interior to the site, while Building 2 features deck spaces that face outward from the property, towards the south. Sun exposure will be gained within each of the deck orientations, depending on the time of day and seasonal exposures. The garage doors also follow the same orientation patterns on the first level, which will allow for natural lighting</i></p>

				<p><i>opportunities and prevent excessive build-up of ice/snow in the winter months. Transom windows on each garage door further enhance sun exposure and safe access to buildings.</i></p> <p><i>Each unit features two (2) human entry doors on the first level, each on opposite sides of the building elevation. Safe access to the units is enhanced through multiple options for entry points. Eaves, roof gutters, and snow clips are also proposed, which will protect pedestrian access points and walkways from precipitation and snow build-up.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing to retain the mature tree along Aviation Drive, which is in the City right-of-way. The only other existing plant material (visible in satellite imagery but not delineated on submitted surveys) appears to be located along the western property boundary. The Applicant has stated that these mature shrubs will be removed and replaced with new landscaping features.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>The site design includes perimeter landscaping with new sidewalk connections along Lear Lane/Dornier Way. The proposed sidewalk along the southern property boundary will technically be located on private property, but the Applicant has stated that it will be publicly accessible. This sidewalk will provide new connection from existing sidewalk along Aviation Drive, to the public grass pathway along Broadford Road and located directly west of the property. Staff have also requested that the Applicant complete the missing sidewalk section along the northeast corner of the property, providing continuous pedestrian access along the property's Aviation Drive frontage.</i></p> <p><i>Interior to the site, the Applicant is proposing interconnected sidewalks along each building frontage with garage access. These sidewalks provide dedicated pedestrian travel areas amongst various points of potential vehicle egress/ingress, enhancing visibility and safety for pedestrians. All units can be accessed with a human entry door that is directly adjacent to a sidewalk (interior or exterior), and additional human doors on opposite building sides of each unit provide further access points to the buildings and through the site.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1d</p> <p><i>Staff Comments</i></p>	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>The Applicant is proposing an enclosed, screened trash receptacle towards the rear of the site, providing plenty of space for trash services. A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>The Applicant has stated that they intend to construct a six (6) foot tall fence along the property's northern boundary, further shielding the trash enclosure. While the Commission discussed some concern about Building 2's garage doors facing Lear Lane and Dornier Way at the Applicant's previous Design Review Pre-Application public hearing, Staff believe that the dead-end nature of Dornier Way will produce limited street traffic, and thus, limited conflicts with vehicles backing out of the garages and into traffic. The externally-facing garage doors of Building 2 also allow for additional on-site parking spaces to be provided, and it prevents excessive concentration of garage doors in one interior site location. Vehicular traffic patterns for both surface parking and garage access needs are balanced with the proposed site planning. All snow is proposed to be hauled offsite, preventing conflicts with snow storage and building services.</i></p> <p><i>Any necessary additional utilities, including transformers, electrical meters, and irrigation controls, shall be screened from view. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)1e</p> <p><i>Staff Comments</i></p>	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>N/A. There is no existing alley to be utilized for building services.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)1f</p> <p><i>Staff Comments</i></p>	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>N/A. No Vending Machines are proposed with this project.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>The proposed parking will be accessed via two (2) new entrances located off Dornier Way/Lear Lane. The onsite parking is located at the rear of the site, screened from view by the proposed buildings. A six-foot tall fence along the northern property boundary is proposed and will further screen the parking area from the adjoining property to the north.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</p> <ul style="list-style-type: none"> a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12’.
			<i>Staff Comments</i>	<i>The Applicant is proposing one (1), 600 square foot loading space at the northeast corner of Building 2. This loading space will facilitate trash removal services, as well as larger delivery loading needs for the various units. The Applicant has listed retail, wholesale, and storage as potential occupancies/uses of the twelve (12) condominium units, although the units will be owned individually and may not consistently share a single use or occupancy. Therefore, Staff believe that site layout will support the anticipated diversity of use and support the single proposed loading area, as proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<p><i>The Commission previously discussed the property's vehicular approaches at the April 2025 Design Review Pre-Application public hearing. Concerns about garages and backing onto Dornier Way were discussed, as well as the two (2) curb cuts on Dornier Way, although no formal alternatives for site planning were proposed.</i></p> <p><i>The limited traffic potential for Dornier Way (dead end street), and the ability for pedestrian access of on-site parking to be achieved via dedicated interior sidewalks each limit potential conflict for pedestrians and vehicles. The Applicant is proposing sidewalk infrastructure along the entirety of the property's Dornier Way/Lear Lane frontage (aside from curb cut areas). The current site planning also allows for complete buffering of the onsite parking area.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>N/A The Applicant is proposing to haul all snow offsite.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<p><i>The proposed buildings accommodate the surrounding industrial and mixed-use properties with both north/south and east/west orientations, respecting existing street corridors and the potential viewing perspectives from the ground level. The articulation of the rooflines, inclusion of parapet features, the diverse materials, and various sized windows complement the surrounding area.</i></p>  <p><i>The Applicant also provided additional examples in their submitted Justification Letter of existing buildings in the surrounding area, further highlighting this proposal's compatibility.</i></p>



1630 Aviation Drive (Existing Building Immediately across the street)




New Construction at approximately 1120 Airport Way (Aviation Drive)




East Elevation of Approved 1511 Aviation Drive

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2b</p> <p><i>Staff Comments</i></p>	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>N/A, as the proposed building design is not a standardized corporate building design.</i></p>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</p>
			<i>Staff Comments</i>	<p><i>The Applicant has integrated the building to the surrounding site and greater area. Separated human entry doors for each unit feature extensive glazing surface and provide a step down in scale to the pedestrian level, compared to the fourteen (14) foot tall garage doors for each unit. Each unit is proposed to have a covered balcony on the second level, clearly visible from the ground level. Three-paneglass doors on the balcony further emphasize the human scale of this architectural element.</i></p> <p><i>The Applicant is proposing sidewalks in both the interior and perimeter of the site. A pedestrian bench is proposed for the southwestern corner of the site, encouraging use of the southern sidewalk and access to the public greenspace and grass pathway to the west of the property, along Bradford Road. Eight (8) bicycle parking stalls are also proposed at the northeast corner of Building 2, adjacent to unit owner mailboxes.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>
			<i>Staff Comments</i>	<p><i>Various materials and colors have been incorporated along all of the elevations, which are primarily visible from Aviation Drive and Dornier Way/Lear Lane. Wood-toned, painted fiber cement board lap siding is proposed for the bottom portion of the building, providing both visual interest and lasting material durability for the most heavily-impacted areas (moisture, snow, irrigation, etc.).</i></p> <p><i>The middle portion of the building is highlighted by a dark gray metal trim bellyband, transitioning into a slightly lighter gray batten and board siding, vertically oriented and made of painted fiber-cement. Along Dornier Way/Lear Lane, Building 2 showcases four (4) covered balcony areas with blackened steel guardrails, a sunken building offset with both floor-level and clerestory windows, and horizontal weathered wood planking, above each balcony. Buildings 1 and 3 are simpler in design when viewed from Dornier Way/Lear Lane, carrying forward the same primary material types and orientations as Building 2, but featuring a large vertical window and two (2) small horizontal windows. The angling of each building still allows for the street-facing façade to showcase the unit balconies and building projections that are interior to the site.</i></p> <p><i>At the January 5th, 2026 Public Hearing, the Commission expressed a desire for an enhanced eastern façade of Building #1 that included more architectural detailing and/or visual appeal. Additions of textures, materials, visual breaks, and undulations were suggested, as well as the consideration for flipping the building orientation.</i></p> <p><i>The Applicant deemed flipping the building orientation unfeasible for a variety of reasons, including easement restrictions, decreasing parking and drive aisle space, and snow-shedding into the parking area. Instead, the Applicant has responded to the Commission's suggestions by adding visual interest through</i></p>

			<p><i>indentations at the building corners and in the middle of the building façade, adding additional awnings over the windows within the indented areas, and adding Coreten wainscoting to the ground level, matching the Coreten wainscoting proposed for the lower areas around garage doors at the interior of the site.</i></p> <p><i>Building 1 also shows the same wood-toned, painted fiber cement board lap siding and dark/light gray color palette and vertical material orientation, although no balconies are visible from this elevation. Instead, eight (8) large square windows are featured on the second level, with four (4) separate, covered glass door entrances on the ground level. Each pedestrian entrance along Aviation Drive is also proposed to have a concrete stoop with sidewalk connections.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2e</p> <p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2f</p> <p>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2g</p> <p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2h</p> <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i> The proposed buildings are not flat-roofed, although they do feature parapets and balconies.</p>

				 <p><i>Building 3, viewed from the north.</i></p> <p><i>Although Building 1 as viewed from Aviation Drive gives a somewhat stronger appearance of being flat-roofed, the Applicant has added design enhancements (indentations, additional awnings over windows, wainscoting) that draw attention away from the roof area.</i></p>  <p><i>Proposed Building 1, viewed from Aviation Drive.</i></p>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2i</p>	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>Staff Comments</i> <i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> - All windows will be double glazed - Low E Glazing

				<p>- <i>Exterior light shelves will be installed for all windows on the southernmost facing side of Building 2. South-facing windows on Building 2 are located in fully-conditioned spaces, and as such, light shelves will help minimize energy demand for cooling during intense solar exposure.</i></p> <p><i>At the January 5th, 2026 Public Hearing, the Commission noted that the Applicant only met two (2) out of the three (3) required energy conservation measures required in section 17.06.080(A)2i. These included double-glazed windows and low emissivity glazing</i></p> <p><i>The Applicant has stated that Building #2 does in fact meet at least three (3) measures, with additional measures noted as favorable solar orientation (longer wall plane on east-west axis) and southmost-facing windows with eave coverage. Staff conclude that these additional measures for Building #2 are in fact met.</i></p> <p><i>Building #1 and Building #3 do not include these design standards. The Applicant has proposed the addition of an exterior light shelf to the stairwell window on the south face of each of the buildings. The two (2) remaining windows on Building #1 and #2's southern elevation are located in bathroom areas and are meant to be used as ventilation windows. Light shelves would disable this function, according to the Applicant.</i></p> <p><i>The Applicant is requesting that the Commission consider removing exterior light shelf requirements for these smaller bathroom windows, which would make all other proposed energy conservation measures as compliant with Code. The Commission may wish to consider this request.</i></p>  <p><i>Exterior light shelf addition and bathroom windows.</i></p>
☒	☐	☐	<p>17.06.080(A)2j</p> <p><i>Staff Comments</i></p>	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>The Applicant has stated that all roof eaves over paving surfaces shall receive a continuous, pre-finished gutter that is connected to a roof leader directing all</i></p>

				<i>water towards a landscape swale area. Snow clips are also shown on roof plans over pedestrian entrances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Downspouts from the building appear to be routed underground to drywells. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>The Applicant has provided a Master Sign Plan. All unit sizes are the same, will equal amounts of signage area allocated to each unit. Signage decal locations have also been identified on the architectural elevations for each building.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The Applicant is proposing to construct a trash enclosure comprised of a concrete masonry unit (CMU) material that will match the proposed building colors, according to the Applicant's submitted narrative statement. A six (6) foot fence is also proposed by the Applicant in their narrative statement, to be constructed along the northern property boundary. However, no specific materials have been identified at this time.</i> <i>The Applicant shall submit a Fence Permit Application and receive approval for the proposed design, prior to any permanent fence installation. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The Applicant is proposing a six-foot-tall fence along the property's northern boundary. This fence will only provide shielding from the north and thus, will not dominate the buildings or landscape.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be

				shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A- No alternative energy sources are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>The Applicant is proposing 6.75’ foot tall CMU screening and enclosure structure for the trash receptacle area, with material color to match the proposed building elevations. The Applicant has also stated that all mechanical equipment will be roof-mounted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite: Trees - Three (3) new 2.5” caliper Silver Linden - Six (6) new six foot to eight-foot tall Vanderwolf’s Pyramid Limber Pine - The existing tree along the property’s frontage will remain in place Shrubs - Forty-seven (47) new Karl Forester Feather Reed Grass at 1 gallon - Forty-four (44) new Kelsey’s Dwarf Red Twig Dogwood at 3 gallons - Five (5) new Purple-Leaf Wintercreeper at 3 gallons - Eight (8) new Little Lime Panicile Hydrangea at 5 gallons - Nineteen (19) new Walkers Low Catmint at 1 gallon - Fifty (50) new Dark Towers Beardtongue at 1 gallon</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the Zone 4 environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>An automatic drip irrigation system will be installed according to City Standards. The automatically controlled system will include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles will also be</i>

				<i>installed in grass spaces. The irrigation system will be positioned in a way where it will minimize the spray of water on the pavement or other hardscape areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p> <p><i>Staff Comments</i> N/A. The proposed development is located within the SCI-I Zoning District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> Crushed rock beds will be installed around all shrubs. A variety of colors will be used. Planted areas and planters will be professionally maintained.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> N/A. The proposed development is within the SCI-I Zoning District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> An internal storm drainage system will capture and retain all storm water onsite. Roof leaders will direct runoffs to landscape swales onsite, where accessible.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> N/A. The Applicant provided design clarifications that more clearly define the nature and size of the concrete curb on the northern edge of the parking area. While originally referred to as a retaining wall by Staff, the Applicant has clarified that this is in fact a concrete curb and not a retaining wall, by nature of the size and backslope design of the curb.</p> <p>The location of the proposed curb is not in a pedestrian circulation area or prominently visible from the rest of the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> See Standard 17.06.080(A)4i for further detail.</p> <p>The Applicant shall construct any proposed retaining walls with similar project materials used elsewhere, or natural or decorative materials. This has been made a Condition of Approval.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A See Standard 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>See Standard 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>See Standard 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>See Standard 17.06.080(A)4i for further detail.</i>

General Requirements for Accessory Dwelling Units

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	Applicability. A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	General Provisions. A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	<i>The Applicant is proposing one (1) ADU, to be located within Unit 112 of Building 2. The ADU will comprise the majority of the second floor of the commercial condominium unit.</i> <i>Staff would like to note that the Applicant is proposing a site plan and architectural framing that supports the hypothetical future construction of one (1) ADU unit to be located within each of the remaining eleven (11) commercial units. Each potential future ADU will be no larger than 900 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Only one (1) Accessory Dwelling Unit is permitted on a lot.
			<i>Staff Comments</i>	<i>Only one (1) ADU is proposed for the individual condominium lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.
			<i>Staff Comments</i>	<i>The proposed ADU is in conjunction with a commercial condominium unit, and both are located within the SCI - Industrial (SCI-I) Zoning District. Any potential additional ADU units will be located within other individual condominium units onsite.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.
			<i>Staff Comments</i>	<i>The proposed development is not located in the SFHA.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.040: Registration of Accessory Dwelling Units Required</p>	<p>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</p>
			<p><i>Staff Comments</i></p>	<p><i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.050: Occupancy Restrictions -Short Term Occupancy</p>	<p>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</p>
			<p><i>Staff Comments</i></p>	<p><i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant. This standard shall be met and has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</p>
			<p><i>Staff Comments</i></p>	<p><i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i></p>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.060: Subordinate Scale and Size</p>	<p>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</p>
			<p><i>Staff Comments</i></p>	<p><i>Pursuant Hailey’s Municipal Code, Gross Floor Area is defined as:</i></p> <ul style="list-style-type: none"> - <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> - <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i> - <i>The basement of any other building is included as floor area.</i> <p><i>The gross floor area for the primary building (unit) and use is approximately 2,293 square feet in size. 66% of this gross floor area equals 1,513 square feet – the maximum permitted ADU floor area, based on principal building square footage. The lot size of the condominium subplot is also approximately 2,293 square feet. Based on lot size, the maximum gross floor area for ADU’s is 900 square feet.</i></p> <p><i>As the smaller value, 900 square feet is the maximum gross floor area permitted for Della Mountain Suites. The Applicant is proposing 892 square feet of gross floor area for Unit 112’s ADU.</i></p> <p><i>A primary concern of the Commission at the January 5th, 2026 public hearing was the discrepancy and possible oversizing of the proposed ADU unit spaces. Per Hailey Municipal Code, the maximum gross square footage of the proposed ADU units is nine hundred (900) square feet. This includes interior staircases providing access to the ADU. The Applicant’s proposed floor plan did not show a clear delineation on the second level of each unit between the proposed three hundred (300) square feet of commercial space, plus the nine hundred (900) square feet of ADU living space. It was also unclear if this square footage calculation included the interior staircase in each unit that is proposed to provide access to both of these spaces.</i></p>

				<p>The Applicant has stated that while they do not believe that Hailey Municipal Code actually requires physical separation between the ADU and commercial space, they have provided a floor plan layout for Unit 112 (singular mixed-use unit, as proposed) that provides walls and doorways to delineate these different uses. They have also assessed stairwell area within their square footage calculations. The new ADU size is 892 square feet, including a portion of ADU stairwell at level 2, and the second-level commercial space is sized at 384 square feet and includes the other portion of the stair/hallway area on the second level. It appears that the Applicant has met the requirements for ADU maximum square footage with this amended floor plan proposal. However, the Commission may wish to discuss the Applicant's proposal to ensure that Hailey's ADU code requirements are met.</p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. Maximum Floor Area:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Lot Size (square feet)</th> <th style="text-align: left;">Minimum Gross Floor Area (square feet)¹</th> <th style="text-align: left;">Maximum Gross Floor Area (square feet)¹</th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td>300</td> <td>900</td> </tr> <tr> <td>7,001 – 8,000</td> <td>300</td> <td>950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td>300</td> <td>1,000</td> </tr> </tbody> </table> <p>Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
			<i>Staff Comments</i>	Please refer to Section 17.08D.060A, noted above, for further details.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</p>												
			<i>Staff Comments</i>	The proposed ADU has one (1) bedroom.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.070: Livability	<p>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</p>												
			<i>Staff Comments</i>	<p>The Applicant is proposing a 90 square foot balcony of private outdoor space for the ADU unit.</p> <p>Additionally, each condominium unit is proposed to offer the same 90 square feet of private outdoor balcony space, upon initial site development. Should any future potential ADU's be constructed, the standard for outdoor access will have been previously met.</p>												
Chapter 17.09: Parking and Loading																
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09 020.05.B	<p>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</p>												
			<i>Staff Comments</i>	<p>Parking for the ADU may be achieved either in the single oversized garage space below the unit, or in one (1) of the twenty-one (21) surface parking spaces that are located within the asphalt parking area. Condominium CC&R's may assign specific parking spaces, based on units.</p>												

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.
			<i>Staff Comments</i>	<i>All onsite parking is located either inside of garage spaces, or at the rear interior of the site. Proposed fencing and building orientation will prevent any light trespass. .</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.
			<i>Staff Comments</i>	<i>This standard has been met. A single-car parking space is proposed to service the ADU and is in conjunction with the required commercial parking for the mixed-use building.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 - 1. The project does not jeopardize the health, safety or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.
 - 2. Require conformity to approved plans and specifications.
 - 3. Require security for compliance with the terms of the approval.
 - 4. Minimize adverse impact on other development.
 - 5. Control the sequence, timing, and duration of development.
 - 6. Assure that development and landscaping are maintained properly.
 - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water**
 - All water mains shall be looped at the end of the main.
 - Each unit shall have its own water service, with no double meter vaults permitted.
 - Any unused water services located during construction shall be abandoned at the water main.
 - Water services located in asphalt areas shall have blue board installed over the service.
 - Water main connections on Lear Lane and Dornier Way shall be hot-tapped.
 - iii. **Wastewater:**
 - The Applicant shall submit finalized sewer plans and utility plans to the City of Hailey Engineer and Wastewater Division Manager and receive design approval, prior to issuance of a Building Permit. Final Plans shall include:
 - o All identified clean-outs on the Sewer Plan (Sheet C4.1, Key Note #4) shall be switched to sewer manholes.
 - o All Applicable City of Hailey and Idaho Standards for Public Works Construction (ISPWC) standards for sewer system design shall be observed and reflected through utility plan notations, as needed.
 - o Sewer connection to existing manhole shall be plugged upon successful connection to the manhole to prevent unwanted flow from entering either direction.
 - o Any pre-treatment features required by the Wastewater Division Manager, which also fit within the Applicant's desired scope of work, shall be installed.
- d) The Applicant shall submit a Fence Permit Application and receive approval for the proposed design, prior to any permanent fence installation.
- e) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- f) Any necessary additional utilities, including transformers, electrical meters, and irrigation controls, shall be screened from view.

- g) The Applicant shall construct any proposed retaining walls with similar project materials used elsewhere, or natural or decorative materials.
- h) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- i) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- m) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- n) The residential unit(s) shall be owner or employee occupied.
- o) The residential unit(s) shall not be sold as a condominium or separate legal parcel from the principal building(s).
- p) A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit.
- q) All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.
- r) To ensure compliance with all FAA regulations, the Applicant shall apply for the proper permitting via the FAA and receive approval by the FAA to construct the project as proposed. This approval shall be supplied to the City prior to issuance of any Building Permit.

Motion Language:

Approval: Motion to approve a Design Review Application, submitted by 1611 Aviation LLC, for the construction of a new, mixed-use condominium project, where eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed. This project is to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (r) are met.

Denial: Motion to deny the Design Review Application, submitted by 1611 Aviation LLC, , for the construction of a new, mixed-use condominium project, where eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date]



November 11, 2025
January 21, 2026 (Revised)

City of Hailey
c/o Ms. Emily Brooks
Community Development Department
115 Main Street South
Hailey, Idaho 83333

Re: Design Review and Condominium Plat – **Project Description – Della Mountain Suites**

Dear Emily,

Thank you for the opportunity to present our Design Review Application for the Della Mountain Suites project. Della Mountain Suites is comprised of (12) commercial / light industrial units, with planning accommodations for (12) future accessory dwelling units. The project includes (3) 2-story buildings totaling approximately 30,500 square feet between the first and second stories. Each building provides for 4 units with the intent to plat each unit into a condominium.

The property is +/- 1.00 acres in the SCI-I zone of the Airport West development, is currently undeveloped grassland, bordered by an un-developed SCI-I property to the North, Aviation Drive to the East, Grassy parkway to the West and another un-developed SCI-I property to the South. In addition to submitting a design review application to the city of Hailey, we are also required by the CCR's to allow for review by the Airport West design review committee, their approval has been granted via lack of timely (30 day) response, a stipulation within the Architectural Review Committee guidelines. For context, please refer to enclosed Collins Law letter, acknowledging approval from the Airport West review board. We wish to maintain the existing SCI-I zoning which allows for future entitlement of attached accessory dwelling units, per city of Hailey code section 17.05.040, amended in 2011 to specifically include Accessory Dwelling Unit (ADU's). Lastly, we have submitted for FAA review, the applications have been approved and for reference the application numbers are: ASN 2025-ANM-5308-OE, ASN 2025-ANM-5311-OE, ASN 2025-ANM-5312-OE.

We feel our proposal of (12) commercial / light industrial units is unique given the opportunity that each unit is planned and designed to accommodate a future accessory dwelling unit (ADU) – in compliance with the City's ADU requirements. Once an ADU is permitted, per City of Hailey requirements, the proposed commercial units will represent an excellent live-work option for business owners and residents within the city of Hailey. We are asking for approval of (12) commercial / light industrial units but have included the planning necessary to meet the City of Hailey code requirements for future ADU's. The planning included with our application, that allows for future ADU's, is inclusive of private outdoor space (section 17.08D.070), enclosed parking within the unit, ground level storage, access to public green space / parkway, and living space with square footage that is subordinate to the principal commercial use (section 17.02.020). Size and design of the floor plan accommodates for future ADU's with a maximum of 2 bedrooms and no more than 66% of principal building (section 17.08D.060) which makes future ADU conversion a simple administrative review / approval process through the City of Hailey Planning Department. Our proposed commercial square footage allocation per building varies from 9,316 to 10,208 square feet which includes parking within the garage on Level 1. If the project were fully built with each unit including an (ADU), the square footage allocation for ADU's would be 10,800 square feet, this is 35% of the total square footage of the project which less than the 66% permitted by (section 17.02.020).

In an effort to support a successful Mixed Use development with ADU's, the buildings are designed to accommodate commercial uses on the ground floor and commercial and living area on the second floor. Each ground floor unit is provided with either small storefront, reminiscent of a retail entrance, or an entry door serving a shared vestibule - similar to a common lobby in a mixed-use office building. In either case both entrance types are served from a public sidewalk and can be accessed from the central parking area. Considering our anticipated owners will be "trade work and manufacturing centered" each unit is provided with a large overhead door (12'-0" tall) which would allow for materials to be

delivered via truck and trailer, to be easily stored, and loaded within the unit boundaries. Additionally, the ground floor ceiling height is 13'-7 1/8". This ceiling height is especially necessary in the case of an owner needing storage racks and shelving, allowing for full utilization of the unit volume.

It must be noted that our proposal does not intend to limit or reduce the current list of allowed uses within the SCI-I zone (matrix 17.05.040). However, as the Della Mountain Suites development takes shape and the market begins to dictate the creativity and vision of the individual owners, there are some uses that we see being more successful than others. These uses are contractor offices, artist studios, photography studio, light manufacturing, professional office, warehouse and storage spaces, garages, wholesale (trade, distribution and sales), technological development and Hailey airport supportive uses. Even though the Della Mountain Suites development is taking into account the intent that future ADU's will likely be requested as each unit is sold, the buyers will be notified through the Della Mountain Suites CCR's that each unit must be permitted through the city of Hailey administrative review process. This review process will ensure alignment to City of Hailey guidelines.

The buildings are currently planned to be wood-framed with pre-engineered flat roof and sloped roof trusses. The flat roof trusses form a portion of the building with a parapet and single ply roofing membrane while the sloped roof trusses form a low slope shed roof design with a pre-finished standing seam roofing system. The chosen roof designs will allow for fallen snow over the building area to accumulate and be held on the roof, reducing, but not eliminating, the impact of site snow removal. As such we are planning for all snow that accumulates in non-landscaped areas to be removed by a snow removal company (at this stage we are considering Whiteheads Landscaping for this service) as allowed by city code. Having the snow removed from the site preserves all parking for tenants, business owners, and their employees throughout the year, as well as keeping all sidewalks and pathways clear for pedestrians. Keeping the site clear of snow makes for a safer, more functional site during all portions of the year, especially considering the potential owners will need free and clear circulation and access to keep their businesses operating and responsive.

Exterior walls are comprised of well insulated wood studs, wood sheathing, water-proof membrane protecting from moisture intrusion and air/water vapor. The exterior wall cladding is a variety of painted fiber-cement lap and batten and board siding, with a coreten metal wainscot. The coreten will undergo a natural oxidation or aging process. When coreten is installed (unless it is pre-oxidized, which our panel is not pre-oxidized), the metal is a shiny silver color, only after it oxidizes will the color take on the rusted orange characteristic that is traditionally expected. We have chosen to use a pre-finished metal wainscot because of the durable material properties and interesting lasting color. The wainscot will occur around the overhead doors at the bottom portion of the building. This area receive the most contact with moisture, snow, irrigation and daily user functions, therefore it is necessary to use a durable lasting material. Our physical sample board will be provided to city staff prior to, or brought to the design review hearing meeting.

We have 2 different flooring systems within the building. The second level is comprised of pre-engineered floor trusses which allow for clear span with low deflection and high usability. The floor trusses eliminate the need for internal structural columns resulting in maximum functionality of the ground level commercial space. The first level is a sloped concrete slab with internal floor drainage for nuisance water. The floor drainage also encourages good maintenance and user cleanliness. Each of the units are provided with their own power / gas meters, sewer connection and mechanical system. All ground level electrical systems and gas meters are landscape screened.

The site design includes perimeter landscaping with sidewalk and pathway connections. These connections primarily occur to the public grass way located along our western boundary and to the public sidewalk along our eastern boundary. We are providing a publicly accessible sidewalk along our southern boundary. Our northern boundary will be landscaped and fenced with a 6'-0" tall solid fence. At our grass way connection in the southwestern corner of the property we are providing a pedestrian bench to encourage public use of existing greenspaces. The property will be provided with a durable, centrally located, trash enclosure constructed from colored concrete masonry units to match the building colors. Within the parking lot is a striped loading zone and bike parking area provided with secure parking hoops. The parking lot is provided with an internal storm drainage system, eliminating site run-off and capturing all storm water on-site. We anticipate the parking to be paved with an impermeable asphalt concrete pavement. All landscaping will be hardy and of species zoned for the 4 season weather in Hailey. The design also includes the addition of a fire hydrant on the Northwest corner of the property, providing additional fire coverage for both future owners and adjacent properties. Currently the site shares access with the property to the North through a driveway curb cut from Aviation Drive. We have

discussed removing the cross access from our property and the northern property with the owner of the northern property and the City of Hailey planning staff, both are in agreement to vacate the existing cross access agreement. As such we have signed a vacation document ratifying this removal of the cross access. The cross access vacation will be shown for reference on the condominium plat application and as such our landscape improvements indicate proposed landscaping, curbing and sidewalk with the anticipation of the shared cross access being removed from our property. All other easements on the property for the purposes and benefit of Airport West and City of Hailey. Our development does not adversely effect the restrictions of the existing easements.

During construction activities we intend for the contractor to fully fence the site to the property boundaries. We expect all contractor parking and staging to occur within the fenced construction area. In instances where the construction sequence does not allow for parking on-site, we intend to reach agreement with adjacent property owners for potential contractor parking accommodations.

In an effort to clearly communicate the concerns we heard from the Planning Commissioners during our January 5th hearing, we have outlined the commissioners concerns, cited (where applicable) the city of Hailey code section, and outlined our proposed solution. We hope this will help in making clear our intended solutions.

Concerns raised at January 5th hearing are as follows :

1. Lighting Plans

- Board Comment: As the board had not received the full lighting plan ahead of the meeting, they did not feel that they had adequate information to approve design. They asked us to consider the lighting that is provided on the balcony of each unit and the parking lot lighting. The board recommended that particular attention be paid to the lumen output, color temperature (3000K recommended), and the light throw distance, especially toward the residences across from Broadford Road.
- Applicable Code: 17.08C
- Proposed Solution: We have included a photometric site plan (E1.1) for the boards review, which we believe meets with the request and recommendations. We have also included additional information on the proposed light fixtures. We believe our presented design aligns with the Applicable code.

2. Colors/Materials Clarification

- Board Comment: The board noted incongruities between the elevations, material samples, and renderings presented in the design review. Because of these inconsistencies, they felt that they were not properly able to assess and approve the design. Aside from recommending resolution to the inconsistencies between presentation materials, the board expressed a preference for the lap siding color and requested to see renderings that show the Coreten in it's fully weathered state.
- Applicable Code: 17.06 Design Review
- Proposed Solution: We have updated our presentation materials to consistently present the intended design for the building. We have updated the renderings to align with the elevations and materials selections to provide the most accurate representation of the proposed design. In regards to the lap siding, we have changed our selected color to Summer Wheat, which we feel better aligns with the board's preference and the design intention of our project. An update material sample in Summer Wheat has been provided to the city. Additionally, we are providing alternative renderings showing the Coreten wainscoting in a weathered state.

3. Code to Minimize Energy Consumption

- Board Comment: The board noted that our design only met two of the allowed techniques for energy cost savings, while three are required. The agreed that double glazed windows and windows with low emissivity glazing were applicable, but that the awnings over south facing windows did not qualify as "Exterior Light Shelves".
- Applicable Code: 17.06.080(A)2i

- Proposed Solution: After review, we propose that Building #2 already qualifies for this design standard as in addition to double glazed windows and low emissivity glazing, it meets the requirements for both Solar Orientation and South Facing Windows with Eave Coverage. As Building #1 and Building #3 do not include these design standards, we propose the addition of an exterior light shelf to the stairwell window on the Southern face of each of these buildings. This light shelf will minimize energy demand by providing additional reflective lighting into the stairwell and help control temperature through shading. We would propose that the other two South facing windows on Building #1 and Building #3 are too small to feasibly include a light shelf. These two windows in proposed bathroom locations are intended for ventilation and would become non-functioning if requiring light shelves. Alternatively, these windows could be removed if so recommended by the board as they cannot meet the light shelf requirement, but that is not our preference.
- Justification:
 - i. In Jan 5th, 2026 design review, the board agreed that all buildings met with two out of three requirements from 17.06.080(A)2i – double glazed windows and low emissivity glazing.
 - ii. We believe that Building #2 meets at least three of the elements prescribed in 17.06.080(A)2i – by the inclusion of double glazed windows, low emissivity glazing, Solar Orientation, and South Facing Windows with Eave Coverage
 - iii. With the addition of a light shelf to the Southmost facing window on Building #1 and #3, both of those buildings would meet three requirements of 17.06.080(A)2i, if the board agrees that the small bathroom windows are not applicable.

4. Floor Drain Oil/Sand Separators

- Board Comment – The board noted that each unit has a planned floor drain on the first floor. The board noted that Oil/Sand separators are used in the stormwater plan and recommended that they also be used for the garage drains. The board identified the concern that oil would be introduced into the soil or groundwater.
- Proposed Solution – We have identified that the plans call for the drain to connect to the wastewater (sanitary sewer) system, not to the stormwater system, therefore not having a risk of contaminating the soil or groundwater. As part of the wastewater system, we have referred the discussion to the City of Hailey Wastewater department, and they are helping us assess the requirements and needs for pre-treatment based on the planned uses and risks for these drains. After conferring and reviewing the plans, if the city of Hailey Wastewater department requires pre-treatment measures for these drains, we will include them in the system design or we will eliminate the drains from our plans.
- Justification – as part of the wastewater system, we will defer to the City of Hailey Wastewater department for their recommendations. Approval from the Wastewater Division Manager is a required condition before building permits can be issued. We have already begun the discussion about required pre-treatment with the Wastewater Manager so he is aware of the topic. Upon receiving the pre-treatment recommendations from the Wastewater manager, we will assess the feasibility of integrating them into our plans. If we determine that the pretreatment required is not feasible from our project, we will eliminate the floor drains from our design. If we determine they are feasible, we will integrate the required pretreatment. We believe the approval required from wastewater as a condition of approval adequately addresses this issue.

5. Design of Building 1 facing Aviation Drive

- Board Comment: The board noted that the East facing side of building 1 (visible from Aviation Drive) does not meet their recommendations for general appearance compatible with the area. They requested that design changes be made to create a more appealing and interesting appearance from Aviation Drive. They recommended this could be achieved by the addition of more textures/materials, visual breaks, undulation to the façade/footprint, and even possibly inverting the building.

- Applicable Code: 17.06 Design Review
- Proposed Solution:

We reviewed the Board's recommendation that the building be turned around to face Aviation Drive, while maintaining garage entrances on the West side of the building. Unfortunately, we deemed this solution to not be feasible for several reasons:

- There is a utilities and snow easement with Airport West Owners Association that runs parallel to Aviation Drive. The easement, and applicable Airport West design guidelines limit overhangs into the easement to 3 feet and therefore would now allow the balcony (Outdoor Living Space) to be present on the East side of the building. Moving the entire building to accommodate this outdoor living space outside of the easement would remove parking and limit drive access and is not feasible.
- The entire building cannot be turned around because the roof slope would then deposit snow into the parking lot, directly in front of the garage doors.

As we have not been able to revert the entire building, we have integrated the board's other suggestions into our design. We have added indents to both the middle of the building and the corners, added additional awnings over the windows, and added Coreten wainscoting trim around the commercial storefronts. The following design changes have been integrated from the Board's recommendations:

- Changes made after Preliminary Design Review:
 - Eliminated all mechanical from East side of building (HVAC to roof, electrical and gas to end of building)
 - Added storefronts
 - Added second siding orientation (lap siding and board-and-batten)
 - Enlarged existing windows and added additional windows
 - Added awnings over the storefronts
- Changes made after January 5th, 2026 Design Review:
 - Created variations in the plane by indenting corners and the middle of the building
 - Added additional awnings over windows in the indents (on parapet sections)
 - Added coreten wainscoting
- Support for the Proposed Solution: The design changes resulted in 3 different finishes, textures, and colors: woodgrain/painted lap siding, painted board-and-batten, and coreten wainscoting. We have integrated several visual breaks (wainscoting, awnings, fiber cement trim board, metal fascia) and 15.7% of glazing to this side of the building. We feel this meets or exceeds the general appearance and character of the buildings in the neighborhood and new projects in the area as viewed from Aviation Drive (examples included below).

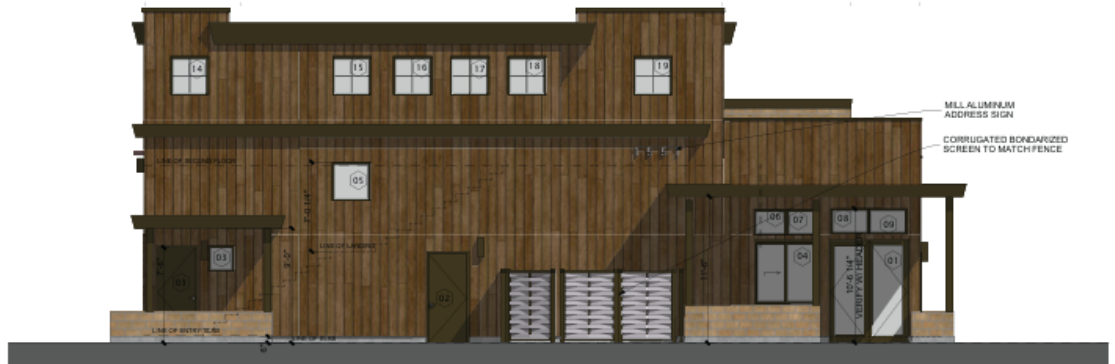
Examples of character of other buildings in the neighborhood as viewed from Aviation Drive/Airport Way:



1630 Aviation Drive (Existing Building Immediately across the street)



New Construction at approximately 1120 Airport Way (Aviation Drive)



East Elevation of Approved 1511 Aviation Drive

6. Parking Assessment

- Board Comment:** The ultimate parking requirement for the project is indeterminant at this time due to the variety of future allowed uses including a variable amount of ADU space that may ultimately be built. The Staff Comments highlighted that the proposal currently requires 28 parking spaces to be in compliance with code, but has a proposed 33 parking spaces. The Staff Comments further outline that any further conversion of commercial square footage to ADUs has the potential to lessen the number of parking spaces required. The board recommended that this change in parking

requirement be illustrated through several scenarios to make this more clear. The board recommended showing the parking required with 3, 6, 9, and 12 ADUs at an assumed ADU square footage.

- Applicable Code: 17.09.040 On-site Parking Req
- Solution : Please refer to our understanding of the parking requirements under various ADU scenarios (assumed at 900 sq ft ADUs):

Number of ADUs	ADU Sq Ft	Commercial Sq Ft	Commercial Parking	ADU Parking	Required Parking	Excess (Deficient)
1	900	29596	29.6	1	30.6	2.4
3	2700	27796	27.8	3	30.8	2.2
6	5400	25096	25.1	6	31.1	1.9
9	8100	22396	22.4	9	31.4	1.6
12	10800	19696	19.7	12	31.7	1.3

7. Building Height

- Board Comment: Members of the board asked that we consider the height of our building and explore the opportunity for a lower building height.
- Applicable Code: 17.04L.030: INDUSTRIAL SUBDISTRICT (SCI-I) and 17.05.040: DISTRICT USE MATRIX
- Action: We reviewed the zoning, applicable city code, allowed uses, and marketability of our project and determined that the current proposed building height best aligns with our project and is allowed by city code.
- Justification:
 - The maximum allowed building height per the city code within this zoning is 35 feet and our proposed design is 34'-6" at its highest point.
 - FAA Guidelines also regulate the building height in this area and all three of our buildings are approved by the FAA as proposed.
 - A specific factor to the marketability of our project is maintaining a 13'-7 1/8" clear height within the downstairs area of our project for commercial uses. This allows for full use of vehicle height (12" garage door) as well still accommodating overhead fire suppression, HVAC, and storage as needed. Lowering the downstairs clear height would be a severe impact to the project.

8. Landscaping

- Board Comment: Members of the board made recommendations on several elements surrounding landscaping:
 - Investigate the addition of more plant materials to the area at the North of Property
 - Consider the addition of more trees to the proposed landscaping plan
 - Consider the addition of more plant materials and landscaping along the driveway and sidewalk at the Southeast corner of Building 2
- Applicable Code: 17.06.080(A)4
- Proposed Solution: we have revised our landscape and curbing plan for this design review consideration. We have added additional trees to the Northern edge of the property and revised our curb cut to add more landscaping at the Southeast corner of Building 2.
- Justification: we feel that the changes on the North of the property integrate the board's recommendations for more plant materials and trees. We have elected to not convert that section from gravel to sod though because of the difficulty of maintenance between the parking lot and fence. We feel this will not have a high impact on the public as it is within the

property and not visible from the main thoroughfares or neighboring properties. We have integrated the board's recommendations for more landscaping along the driveway facing Dornier, which is more visible from outside the property.

9. Curb on Northern Boundary (referred to as retaining wall)

- Board Comment: Staff report and the Board noted that the plans did not contain dimensions for a retaining wall on the Northern Boundary of the property. During the meeting, it was clarified that this is a concrete curb rather than retaining wall. The Board asked for this to be clarified in the plans.
- Applicable Code: 17.06.080(A)4i.
- Proposed Solution: plans have been updated to properly reflect the definition and dimensions of this curb.

10. Parapet as safety railing

- Board Comment: The Board noted the presence of a roof hatch for access of the roof-mounted HVAC equipment. The Board identified that due to roof access, a safety railing may be necessary due to code. The board was informed that the parapet should meet this criteria, but after scaling the plans, the board disagreed.
- Applicable Code: 16.07.050 and applicable IBC, IRC, IFC
- Proposed Solution: we have clarified the parapet height on the plans. Additionally, this requirement will be checked through the building permit process and inspection, for conformity to code. Should the finished parapet height not meet code requirements based on HVAC equipment placement, railing will be added to meet code requirements.

11. Square Footage Allocations for Commercial vs ADU

- Board Comment:
 - i. The Board would like clarity on our calculation of ADU Square Footage in relation to Commercial and Total Square Footage. The Board commented that the calculation and allocation of this square footage was unclear. The Board also would like clarification on how stair square footage is being treated in this calculation.
 - ii. The Board asked how the upstairs Commercial space would be delineated from ADU Space while still providing livability.
 - iii. The Board expressed that they are supportive of the ADU and Live/Work concept overall as a positive contribution to the City of Hailey
- Applicable Code:
 - i. 17.08D.060
 - ii. 17.04L.030.03D.4
 - iii. 17.04L.030.03
 - iv. 17.08D.070
 - v. 17.08D.030A
- Proposed Solution: we don't believe that the code requires physical separation between the ADU and Commercial spaces, however we have proposed a layout for the ADU unit within this design review (unit 112) that we believe embodies the requests from the board – namely, a separation between the upstairs Commercial space from the ADU space, limiting the ADU space to no more than 900 square feet, and maintaining the livability of the ADU space.

We feel our proposal, incorporating the Planning Commissioners comments provides, the residents and business owners of Hailey with a unique live-work opportunity in a zone that specifically accommodates this use. We have developed our plans for the 12 commercial suites with compliance to the City of Hailey ADU guidelines – which we hope will facilitate the straightforward administrative review/approval of ADUs when applied for in the future. Thank you for the consideration and we look forward to your decision regarding our Design Review and Condominium Plat Application for the Della Mountain Suites.

Please contact our office if you have any further questions.

Sincerely,

CHRYSALIS ARCHITECTURE + PLANNING


Richard Wainwright – Director of Design

Encl. : 11/05/25 - Collins Law, Airport West Business Park Owner's Association Letter of Approval

01/21/26 - Light Fixture Cut Sheets – Luminis and Wdge3



Brindee L. Collins
Collins Law PLLC
6126 W. State Street
Boise, ID 83703
208-254-7699
Brindee@CollinsLawIdaho.com

November 5, 2025

**Airport West Business
Park Owner's Association, Inc.**
c/o Engel & Associates, LLC
Derrick Georgiades
101 Bullion Ste. E, Ste 3C
Hailey, ID 83333

Via email to Derrick@englassociates.com

Re: Della Mountain Developers – 1611 Aviation Drive

Dear Mr. Georgiades

I am contacting you on behalf of my client, Della Mountain Developers, LLC and 1611 Aviation LLC. The owners of Della Mountain Developers and 1611 Aviation LLC have asked for my assistance in relation to their development of the property located at 1611 Aviation Drive, in the Airport West Business Park Subdivision. As you are aware, they are planning to develop their property into a condominium development for industrial/business uses, with the option for ADUs to be constructed in each Unit. They have diligently worked through each of the required steps of the process, and have submitted an application to the Airport West Business Park Owner's Association, Inc. (the "Association") as required by the restrictive covenants that already govern the property.

I have reviewed the materials that they have submitted, as well as all of the follow up information that has been requested of them and very timely supplied to the Association. Taking into consideration their agreement to modify the plans to be in compliance with the landscape/utility easement, I can see nothing in their application that falls short of the requirements of the restrictive covenants or the Architectural Guidelines of the Association and the Board has failed to identify any other specific areas of concern. Under the terms of the restrictive covenants and the Architectural Guidelines, if the Board fails to approve or deny a submitted application within thirty (30) days' of its receipt, it is considered to be automatically approved. While that automatic approval is still subject to the restrictions of Article III of the covenants, my clients' proposal meets each and every one of those requirements, as well as the broader standards of the Architectural Guidelines. Their application was submitted in June of 2025 and they have yet to receive an approval or a denial, and even the most recent communication requesting further information from the Association was more than thirty (30) days ago. The covenants specifically state that no application for approval can be denied or delayed arbitrarily or without reason. Your clients have been given repeated and extended

opportunities to provide a justification for the delay and have not done so. Most recently, you assured my clients that they would have a list of “concerns” by the end of business on October 31, 2025, yet no information or follow up has been provided. Despite their patience and good faith efforts, they have been unable to achieve a resolution to this matter, and it cannot continue. Their application was properly submitted and well-supported, and they have quickly provided all requested information and resolved any outstanding matters in a thorough manner. Their records are well-organized and detailed and demonstrate that they have done all that can be expected of them and more.

Accordingly, my clients will be moving forward with their plans as if the project had been affirmatively approved by the Board. They will plan on submitting their application to the City of Hailey, with assurance that their project has the Association’s approval. Should the Association attempt to interfere with this process in any way that results in further delay or loss to my clients, I am prepared to take immediate legal action against the Association. We are optimistic that this will not be necessary, and that the parties can move forward amicably to ensure that a good working relationship can be established in the future as the project is developed and units are sold. Should you have any questions or concerns, feel free to contact me directly.

Sincerely,

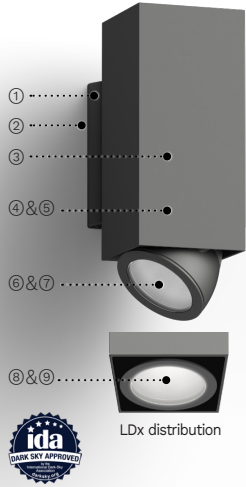
Collins Law PLLC

A handwritten signature in cursive script, appearing to read "Brindee L. Collins", written in black ink.

Brindee L. Collins

PROJECT NAME: _____ QUANTITY: _____ TYPE: _____

ORDERING CODE: _____



- ① Robust cast aluminum wall mounting box.
- ② Sturdy galvanized steel mounting plate.
- ③ Seamless extruded aluminum square housing.
- ④ Asymmetric heatsink for perfect blend of clean aesthetic and efficient heat dissipation.
- ⑤ Sleek and durable sealed cast aluminum up or down light assembly.
- ⑥ 30° tilt and 355° rotation for light adjustability.
- ⑦ Faceted specular aluminum reflector offers smooth lighting and reduced glare (NR/FLD/VWD). While TIR collimator lens focuses light in a very narrow beam.
- ⑧ High efficiency silicone lens.
- ⑨ The module is fixed in a horizontal position for optimal lighting performance and to meet IDA certification.



SQP600

MATERIALS

Syrios Pro is made of corrosion resistant 360 aluminum alloy with a copper (CU) content of less than 0.1%. The main housing is made of seamless 6063 extruded aluminum with an integrally sealed LED light module designed for optimal heat dissipation and lighting performance.

ELECTRICAL DRIVER

Driver is 0-10V dimming-ready (dims to 1%) with: 120-277 multi-volt (50-60Hz) or 347-480 high-volt (50-60Hz), operating temperature range of -30°C/-22°F to 45°C/113°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED LIGHT ENGINE

Offered in 2700K/3000K/3500K/4000K CCT with 80 CRI. 70% LED lumen maintenance at 60,000 hours (L70/B50) based on IESNA LM-80-08 LED extrapolated life, calculated per IESNA TM-21-21. Optional true amber LED for turtle sensitive areas.

Wavelengths: 585nm to 597nm.

RGBW with white CCT available in 3000K and 4000K.

Quad chip technology, enabling optimal color mixing under each individual optic.

FINISH

Five-stage preparation process including preheating of cast aluminum parts for air extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

CERTIFICATION

UL Certified to Canadian and U.S. safety standards. Certified for use in wet locations. Rated IP65. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Actual performance may differ as a result of end-user environment and application.

WARRANTY

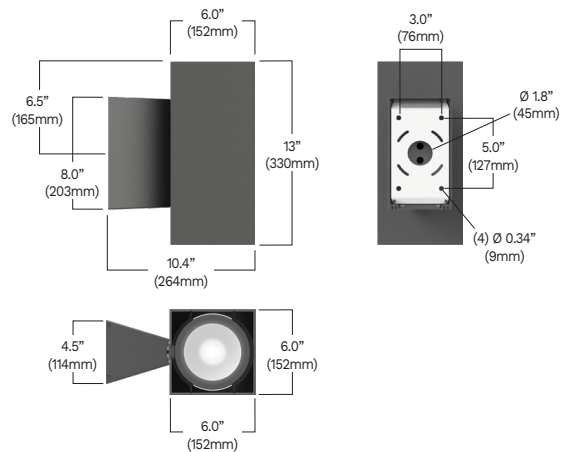
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: <https://www.acuitybrands.com/support/warranty/terms-and-conditions>

MOUNTING


The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes. Additional mounting holes are provided as per site requirements.

MEASUREMENTS

Maximum weight: 13.6 lbs (6.2 kg)



ORDERING CODE

*SERIES	*DOWNLIGHT OUTPUT	*DOWNLIGHT DISTRIBUTION	CCT ³	*VOLTAGE	DOWNLIGHT LENS	
SQP600 	<u>Static White</u> L1L20 2249 lm / 21w L1L35 3732 lm / 39w L1L50 4900 lm / 58w <u>RGBW</u> L1RGBW 349 lm / 24w ^{1,6} <u>True Amber</u> L1LK2A 562 lm / 9w ⁶ Delivered lumens calculated at 4000K/80CRI except for RGBW and amber. Flood optic distribution. Typical power consumption. Refer to LCF table for outputs at other CCTs.	NR Narrow optic 11° FLD Flood optic 30° VWD Very wide optic 55°	27K 2700K 30K 3000K 35K 3500K 40K 4000K	120 120V 277 277V 347 347V 480 480V HVOLT 347V-480V MVOLT 120V-277V	ESL Elliptical spread lens ^{4,6} SL Solite lens ^{5,6}	
	<u>Static White</u> L1L25 2403 lm / 19w L1L45 4400 lm / 39w L1L60 6105 lm / 63w <u>True Amber</u> L1LK3A 662 lm / 9w ⁶ Delivered lumens calculated at 4000K/80CRI except for amber. Type V distribution. Typical power consumption. Refer to LCF table for outputs at other CCTs.	LD1 Type I distribution ² LD2 Type II distribution ² LD3 Type III distribution ² LD5 Type V distribution ²				
	<u>Very Narrow Distribution</u> L1L06 661 lm / 15w Delivered lumens calculated at 4000K/80CRI. Very narrow optic distribution. Typical power consumption. Refer to LCF table for outputs at other CCTs.	VNR Very narrow optic 6°		Required field for all outputs except True amber.		

LOUVERS	CONDUIT COVER	MOUNTING DIRECTION	PHOTOCELL	SURGE PROTECTOR	EMERGENCY
HL Hexcell louver	SWK Decorative cover for 3/4" conduit junction box ⁷	UP Required for uplight installation	PH Photocell ^{8,9}	SP Surge protector	REM7 Remote emergency battery, 90 min, 7W ¹⁰

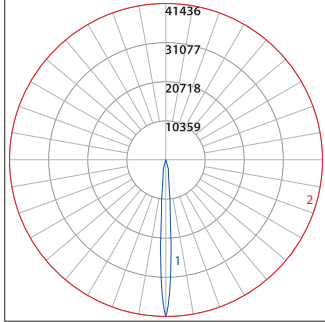
CONTROLS	*FINISH	WOOD FINISH ¹³	ENVIRONMENT	HEIGHT MATCHING
NLTAIR-MS nLight AIR 2.0 wireless control with occupancy detection ⁹ NLTAIR2 nLight AIR 2.0 wireless control ⁹	BKT Jet black BZT Bronze CHT Champagne CNT Corten DGT Gun metal GRT Titanium gray MST Matte silver SGT Steel gray WHT Snow white CMC Custom matched color ¹¹ RAL RAL color ¹²	ADG American douglas BRC Birch CHN Chestnut CRY Cherry KNP Knotty pine MPL Maple OFL Oak RSW Rosewood TEK Teak WLN Walnut	MG Marine grade paint ¹⁴ NT Natatorium suitable ¹⁵	UH Uniform height matching 18" (457mm) housing

NOTES

- *- Denotes a required field
- 1- Delivered lumens with all channels turned on. RGBW uses DMX512/RDM as a control input. Available only with 30K, 40K. Not available with 347, 480, HVOLT, NLTAIR-MS, NLTAIR2, REM7.
- 2- Not available with ESL, SL, HL, UP.
- 3- For IDA certification compliance, luminaire must be ordered with 3000K or warmer.
- 4- 37° x 80°.
- 5- Lumen conversion factor (LCF) 0.9.
- 6- Not available with HL.
- 7- Painted to match fixture color.
- 8- Not available with 480V, HVOLT.
- 9- Not available with NLTAIR2, NLTAIR-MS, REM7.
- 10- Remote mount 50ft - 12" (305mm) square enclosure with access cover. Powers downlight only. The remote enclosure must be interior (cable by others). Not available with 347V, 480V, HVOLT, PH, NLTAIR-MS, NLTAIR2.
- 11- Contact factory to coordinate custom matching color.
- 12- Specify RAL number.
- 13- Faux wood finish not applied to driver housing, lens frame or accessories. Additional delay required. Not compatible with marine grade paint or natatorium suitable.
- 14- Marine grade paint for harsh, coastal environment and exposure to salt water. Additional delay required.
- 15- Available only in WHT and BKT.

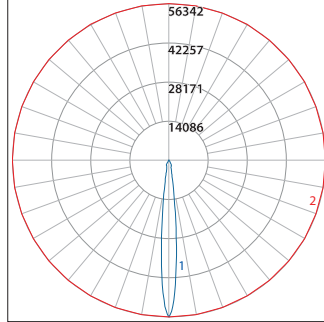
TYPICAL PHOTOMETRY SUMMARY

SQP600-L1L06-VNR



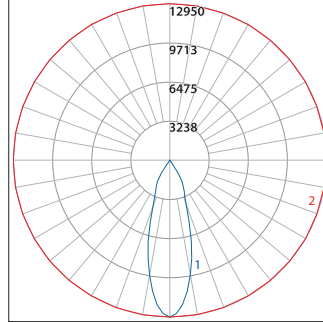
Total Lms: 661 Lumens
Total Input Watts: 15 W
Efficacy: 44.1 Lumens/Watt
BUG: B1-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 41436 @ 0°

SQP600-L1L50-NR



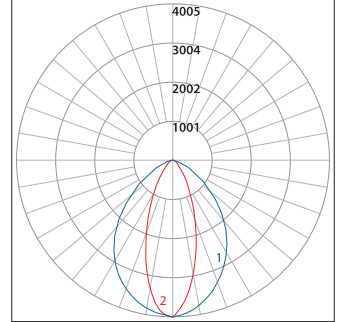
Total Lms: 4771 Lumens
Total Input Watts: 58 W
Efficacy: 82.3 Lumens/Watt
BUG: B3-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 56342 @ 0°

SQP600-L1L50-FLD



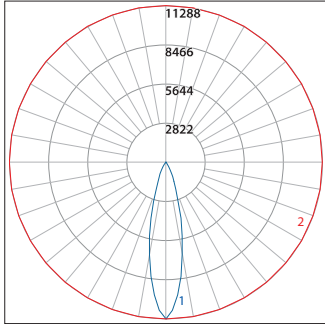
Total Lms: 4900 Lumens
Total Input Watts: 58 W
Efficacy: 84.5 Lumens/Watt
BUG: B3-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 12950 @ 0°

SQP600-L1L50-FLD-ESL



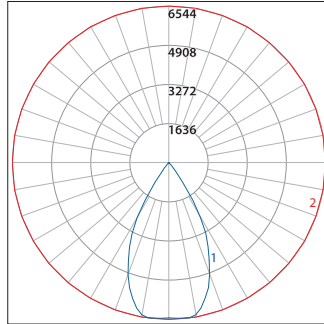
Total Lms: 4459 Lumens
Total Input Watts: 58 W
Efficacy: 76.9 Lumens/Watt
BUG: B3-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 4004 @ 0°

SQP600-L1L50-FLD-HL



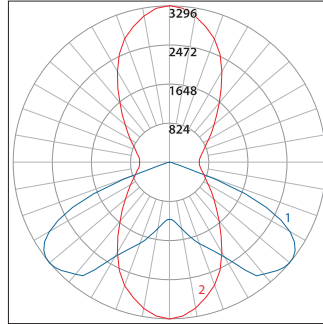
Total Lms: 2807 Lumens
Total Input Watts: 58 W
Efficacy: 48.4 Lumens/Watt
BUG: B3-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 11288 @ 0°

SQP600-L1L50-VWD



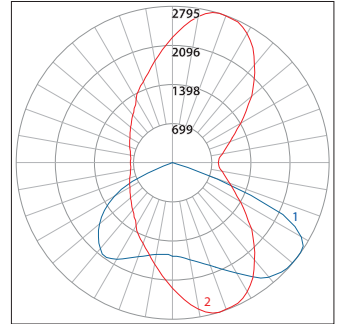
Total Lms: 5050 Lumens
Total Input Watts: 58 W
Efficacy: 87.1 Lumens/Watt
BUG: B3-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 6544 @ 0°H/7.5°V

SQP600-L1L60-LD1



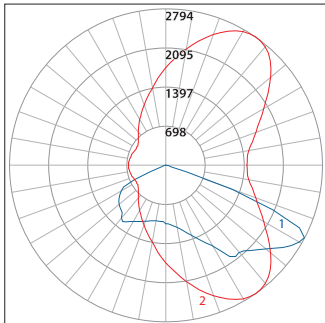
Total Lms: 6457 Lumens
Total Input Watts: 63 W
Efficacy: 102.5 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 3296 @ 90°H/50°V

SQP600-L1L60-LD2



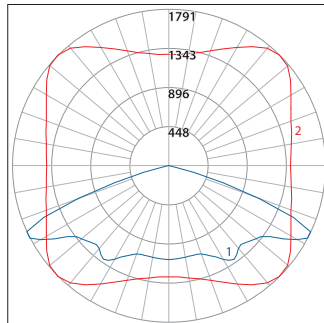
Total Lms: 6586 Lumens
Total Input Watts: 63 W
Efficacy: 104.5 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 2795 @ 72.5°H/52.5°V

SQP600-L1L60-LD3



Total Lms: 6407 Lumens
Total Input Watts: 63 W
Efficacy: 101.7 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 2794 @ 55°H/62.5°V

SQP600-L1L60-LD5

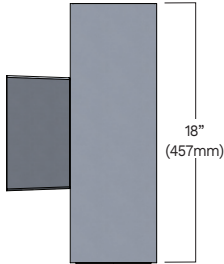


Total Lms: 6105 Lumens
Total Input Watts: 63 W
Efficacy: 96.9 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1791 @ 135°H/62.5°V

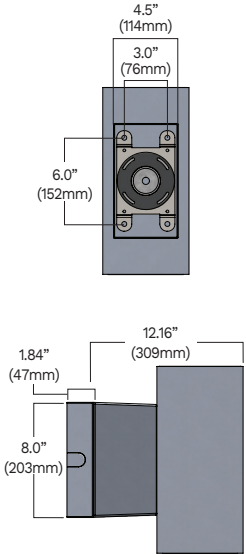
LUMEN CONVERSION FACTOR (LCF)		
CCT	CRI	LCF
2700K	80	0.91
3000K	80	0.94
3500K	80	0.98
4000K	80	1.00

All Photometry shown use the 80CRI 4000K LEDs.
 Please visit our web site www.luminis.com for complete I.E.S. file.

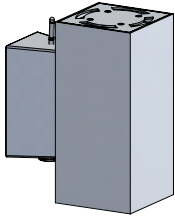
OPTION DETAILS



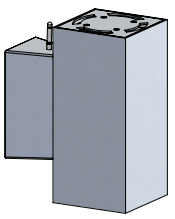
UH
 Tall housing to match SQP602 or SQP606.



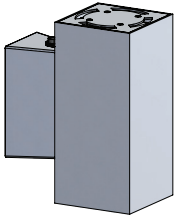
SWK
 Adaptor box for surface 3/4" conduit feed (4 sides plus back entry).



NLTAIR-MS
 nLight AIR 2.0 wireless control with occupancy detection mounted on the wall box.



NLTAIR2
 nLight AIR 2.0 wireless control mounted on the wall box.



PH
 Thermal button photocell mounted on wallbox. Instant turn-on. Standard 5-10 second turn-off time delay.



WEDGE3 LED Architectural Wall Sconce



Catalog Number

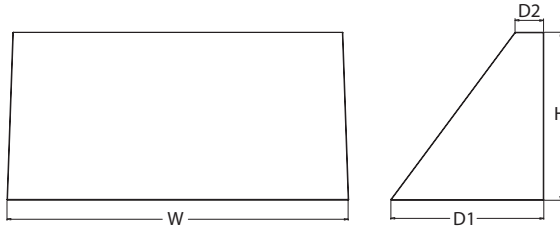
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1):	8"
Depth (D2):	1.5"
Height:	9"
Width:	18"
Weight: (without options)	19.5 lbs



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WEDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WEDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WEDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WEDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WEDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE3 LED	P0 P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	70CRI 80CRI	R2 Type 2 R3 Type 3 R4 Type 4 RFT Forward Throw	MVOLT 347 ¹ 480 ¹	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ² Shipped separately AWS 3/8 inch Architectural wall spacer ³ PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available. ³

Options	Finish
E15WH Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE Photocell, Button Type ⁴ DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁵ BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points. SPD10KV 10kV Surge pack ⁶ CCE Coastal Construction ³	Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights. NLTAIR2 PIRH Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15'-30' mounting heights. NLTAIREM2 PIR Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights ⁷ NLTAIREM2 PIRH Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15'-30' mounting heights See page 4 for out of box functionality
	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DBBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

WEDGEAWS DDBXD	WEDGE 3/8inch Architectural Wall Spacer (specify finish)
WEDGE3PBBW DDBXD U	WEDGE3 surface-mounted back box (specify finish)

NOTES

- 347V and 480V not available with E15WH and E20WC.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- For PBBW and AWS with CCE option, require an RFA.
- PE not available in 480V and with sensors/controls.
- DMG option not available with sensors/controls.
- Not available with E20WC option.
- Available with MVOLT only and only rated to 25C ambient.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WEDGE3 LED
Rev. 02/24/25

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	41W	R2	6,172	151	1	0	1	6,104	149	2	0	1	6,394	156	2	0	1
		R3	6,071	148	1	0	2	6,004	146	1	0	2	6,290	153	1	0	2
		R4	6,256	153	1	0	2	6,187	151	1	0	2	6,481	158	1	0	2
		RFT	6,126	149	1	0	2	6,058	148	1	0	2	6,347	155	1	0	2
P1	52W	R2	7,037	136	1	0	1	7,649	148	2	0	1	7,649	148	2	0	1
		R3	6,922	134	1	0	2	7,524	145	1	0	2	7,524	145	1	0	2
		R4	7,133	138	1	0	2	7,753	150	1	0	2	7,753	150	1	0	2
		RFT	6,985	135	1	0	2	7,592	147	1	0	2	7,592	147	1	0	2
P2	59W	R2	7,968	135	2	0	1	8,661	147	2	0	1	8,661	147	2	0	1
		R3	7,838	133	1	0	2	8,519	144	1	0	2	8,519	144	1	0	2
		R4	8,077	137	1	0	2	8,779	149	1	0	2	8,779	149	1	0	2
		RFT	7,909	134	1	0	2	8,597	146	2	0	2	8,597	146	2	0	2
P3	71W	R2	9,404	132	2	0	1	10,221	143	2	0	1	10,221	143	2	0	1
		R3	9,250	130	2	0	2	10,054	141	2	0	2	10,054	141	2	0	2
		R4	9,532	134	2	0	2	10,361	145	2	0	2	10,361	145	2	0	2
		RFT	9,334	131	2	0	2	10,146	142	2	0	2	10,146	142	2	0	2
P4	88W	R2	11,380	129	2	0	1	12,369	140	2	0	1	12,369	140	2	0	1
		R3	11,194	127	2	0	2	12,167	138	2	0	2	12,167	138	2	0	2
		R4	11,535	131	2	0	2	12,538	142	2	0	2	12,538	142	2	0	2
		RFT	11,295	128	2	0	2	12,277	139	2	0	2	12,277	139	2	0	2

Lumen Output in Emergency Mode (4000K, 70 CRI)

Option	Dist. Type	Lumens
E15WH	R2	3,185
	R3	3,133
	R4	3,229
	RFT	3,162
E20WC	R2	3,669
	R3	3,609
	R4	3,719
	RFT	3,642

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	52W	0.437	0.246	0.213	0.186	0.150	0.110
P2	59W	0.498	0.287	0.251	0.220	0.175	0.126
P3	71W	0.598	0.344	0.300	0.262	0.210	0.152
P4	88W	0.727	0.424	0.373	0.333	0.260	0.190

Lumen Multiplier for 80CRI

CCT	Multiplier
30K	0.891
40K	0.906
50K	0.906

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.05
10°C / 50°F	1.03
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

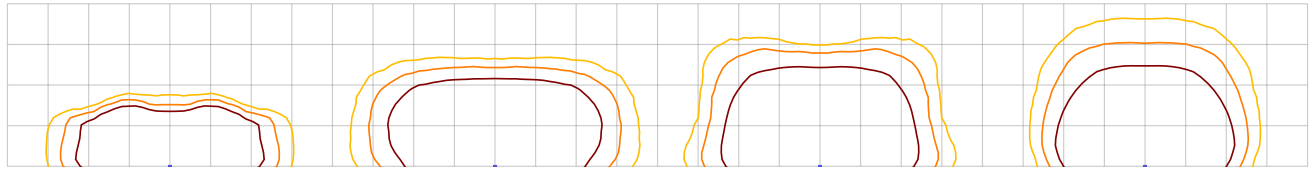
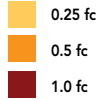
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.98	>0.97	>0.92

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 15ft
Grid = 15ft x 15ft

WDGE3 LED P3 40K 70CRI R2

WDGE3 LED P3 40K 70CRI R3

WDGE3 LED P3 40K 70CRI R4

WDGE3 LED P3 40K 70CRI RFT

Emergency Egress Options

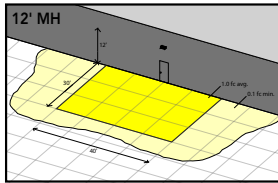
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain, minimum of 60% of the light output at the end of 90minutes.

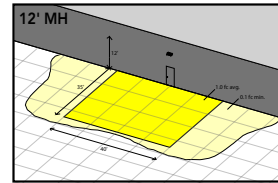
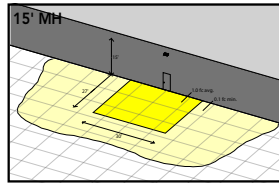
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E15WH or E20WC and R4 distribution.

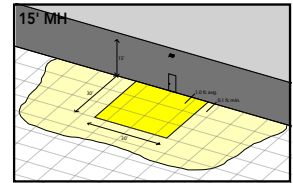
Grid = 10ft x 10ft



WDGE3 LED xx 40K 70CRI R4 MVOLT E15WH



WDGE3 LED xx 40K 70CRI R4 MVOLT E20WC



Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)

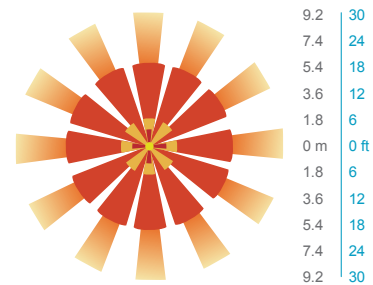
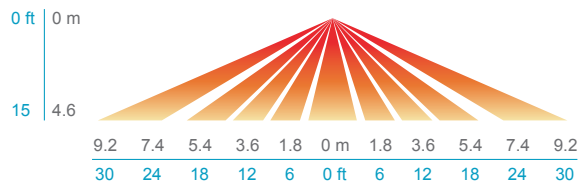
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

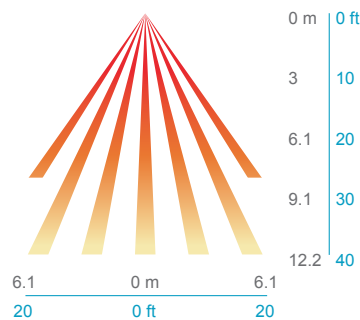
PIR

HIGH VIEW

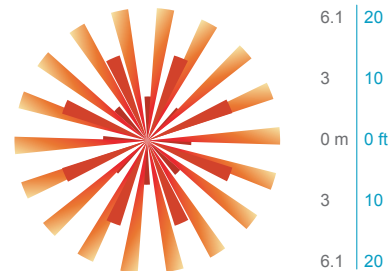


PIRH

SIDE VIEW



TOP VIEW



Motion/Ambient Sensor Default Settings

Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH, NLTAIREM2 PIR, NLTAIREM2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

UL 924 Response - nLight AIR Devices with EM Option

- NLTAIREM2 devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, NLTAIREM2 devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- The non-emergency devices, NLTAIR2 PIR and NLTAIR2 PIRH, with version 3.4 or later firmware can be used for normal power sensing.



**NLTAIR2 PIR – nLight AIR
Motion/Ambient Sensor**

D = 8"
H = 11"
W = 18"



PBBW – Surface-Mounted Back Box
Use when there is no junction box available.

D = 1.75"
H = 9"
W = 18"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature and SRM mounting only.

GOVERNMENT PROCUREMENT

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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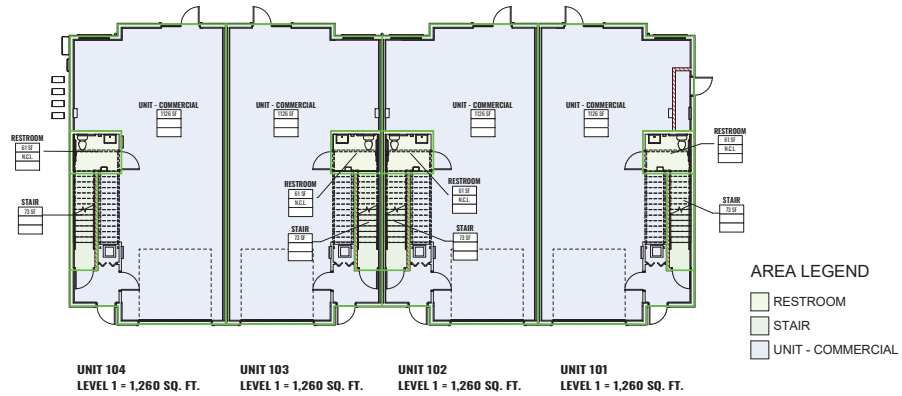
NO.	REVISION	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 1

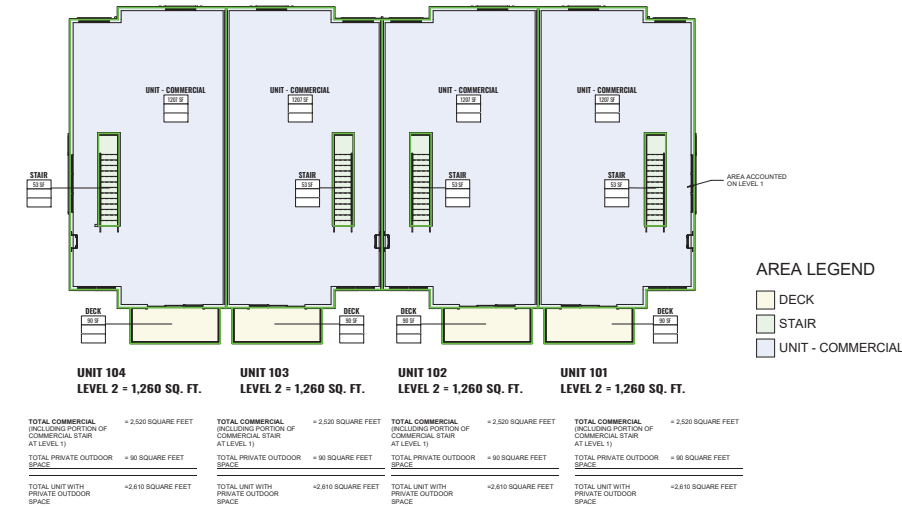
BY: JAVIER BORG, UNARY (08/04/2022)
AREA ANALYSIS - BUILDING 1

DATE: 07/20/22
DRAWN BY: JAVIER BORG
CHECKED BY: JAVIER BORG
PROJECT NUMBER: 22-0001

CONSTRUCTION DRAWINGS
SHEET NUMBER: 00.08



AREA ANALYSIS - LEVEL 1



AREA ANALYSIS - LEVEL 2

CONSTRUCTION
 DRAWINGS
 PROJECT NUMBER :
 DATE :
 DRAWN :
 CHECKED :
 11/17/13
 JMS
 AZZ

PHOTOMETRIC SITE PLAN
 1611 AVATION DRIVE, HALLET, IDAHO 83333

DELLA MOUNTAIN SUITES - BUILDING 1

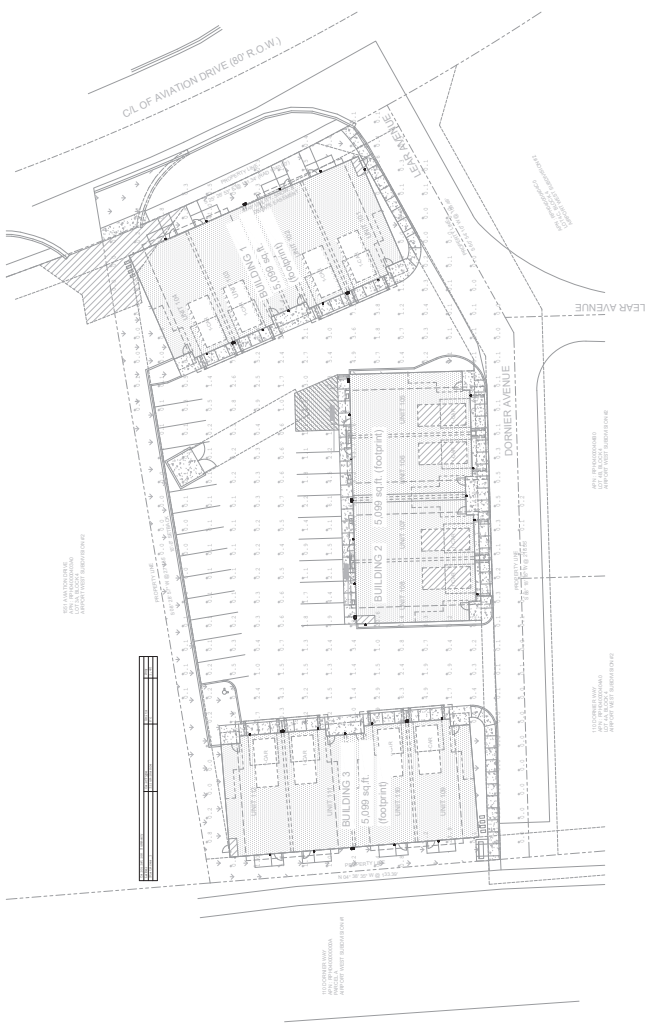
NO.	REVISION	DATE

CONTRACTOR :
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 ARCHITECTS
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 W: ChrysalisArchitecture.com



PHOTOMETRIC SITE PLAN
 11/17/13



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REVISION	DATE	DESCRIPTION

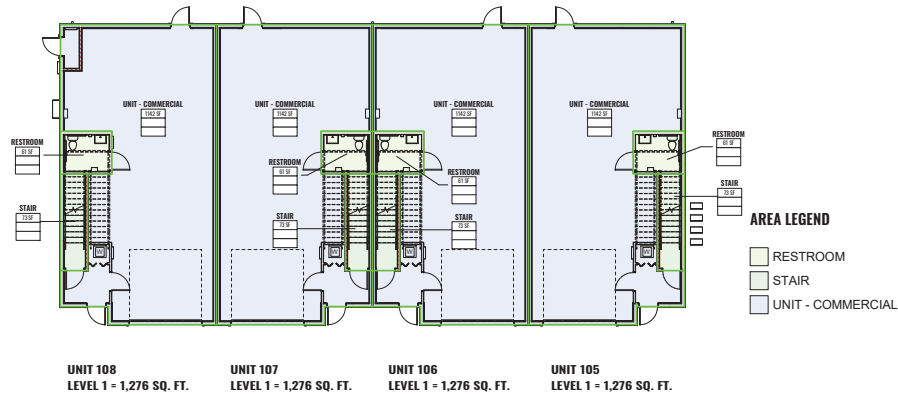
DELLA MOUNTAIN SUITES - BUILDING 2

WITH JAVIER BORGES, UNARY, UNARY ARCHITECTS
AREA ANALYSIS - BUILDING 2

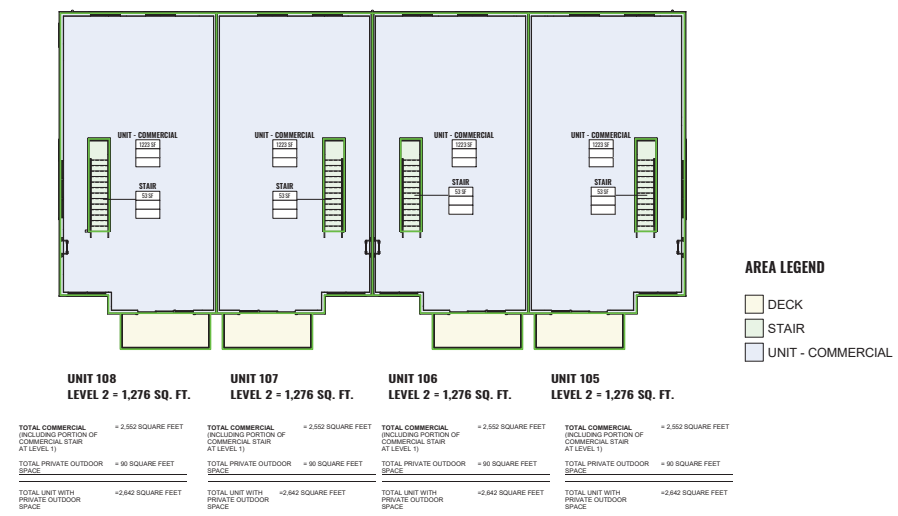
DATE: 07/26/24
DRAWN BY: JAVIER BORGES
CHECKED BY: UNARY
PROJECT NUMBER: 24-001

CONSTRUCTION DRAWINGS

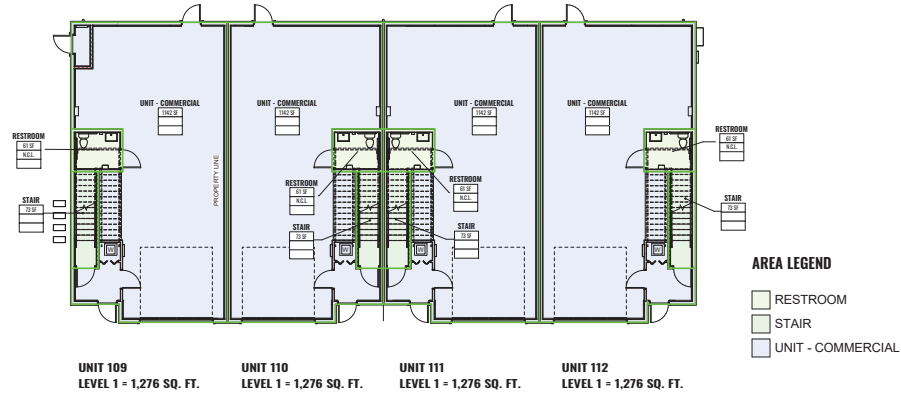
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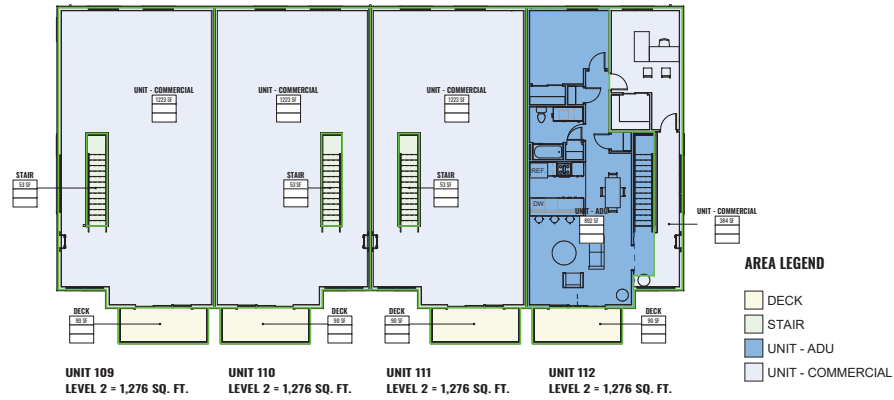
AREA ANALYSIS - LEVEL 1



AREA ANALYSIS - LEVEL 2



AREA ANALYSIS - LEVEL 1



UNIT	TOTAL COMMERCIAL (INCLUDING PORTION OF COMMERCIAL STAIR AT LEVEL 1)	TOTAL PRIVATE OUTDOOR SPACE	TOTAL UNIT WITH PRIVATE OUTDOOR SPACE
UNIT 109	+ 2,552 SQUARE FEET	+ 90 SQUARE FEET	+ 2,642 SQUARE FEET
UNIT 110	+ 2,552 SQUARE FEET	+ 90 SQUARE FEET	+ 2,642 SQUARE FEET
UNIT 111	+ 2,552 SQUARE FEET	+ 90 SQUARE FEET	+ 2,642 SQUARE FEET
UNIT 112	+ 1,880 SQUARE FEET	+ 90 SQUARE FEET	+ 1,970 SQUARE FEET
TOTAL UNIT WITH ADU AND PRIVATE OUTDOOR SPACE			+ 2,842 SQUARE FEET

AREA ANALYSIS - LEVEL 2



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DATE: 07/26/23

REVISION	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 3
AREA ANALYSIS - BUILDING 3

DATE: 07/26/23

DATE: 07/26/23



REVISION	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES

110 DORNIER WAY, UNIT 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112
 07/20/22

CONSTRUCTION DRAWINGS

AS1.00

SITE ANALYSIS

ADDRESS: 161 AVIATION DRIVE
 HAILEY, IDAHO 83403
 ASSESSORS PARCEL NUMBER: RPH040000480
 JURISDICTION: CITY OF HAILEY
 ZONING: SC4
 LAND-USE (PROPOSED): MIXED-USE DEVELOPMENT WITH OFFICE, RETAIL, MANUFACTURING, RETAIL STORAGE OR TRADE
 (FUTURE ACCESSORY DWELLING UNITS TO BE SUBMITTED UNDER SEPARATE APPLICATION)
 LEGAL DESCRIPTION: LOT 38, BLOCK 4 AIRPORT WEST SUBDIVISION #2
 SUBDIVISION: AIRPORT WEST SUBDIVISION #2
 SITE AREA: 43.554 ACRES
 ACERAGE: 43,554 SQUARE FEET
 LANDSCAPE AREA: 0.23 ACRES
 ACERAGE: 2,096 SQUARE FEET
 BUILDING AREA: 30,498 SQUARE FEET
 BUILDING 1: 5,040 SQUARE FEET
 LEVEL 1: 5,040 SQUARE FEET
 TOTAL: 10,080 SQUARE FEET
 PATIO (LEVEL 2): 360 SQUARE FEET
 BUILDING 2: 5,104 SQUARE FEET
 LEVEL 1: 5,104 SQUARE FEET
 TOTAL: 10,208 SQUARE FEET
 PATIO (LEVEL 2): 360 SQUARE FEET
 BUILDING 3: 5,104 SQUARE FEET
 LEVEL 1: 5,104 SQUARE FEET
 TOTAL: 10,208 SQUARE FEET
 PATIO (LEVEL 2): 360 SQUARE FEET
 TOTAL BUILDING = 30,498 SQUARE FEET
 DENSITY: NA
 SETBACKS: REQUIRED 15'-0" FRONT, 10'-0" SIDE (INTERIOR), 15'-0" SIDE (STREET), 15'-0" REAR
 PARKING: REQUIRED 31-79 SPACES, PROVIDED 22 UNCOVERED, 12 GARAGE
 SNOW STORAGE: HAIL-AWAY
 MAXIMUM BUILDING HEIGHT: ALLOWED 30'-0" PROVIDED 30'-0"

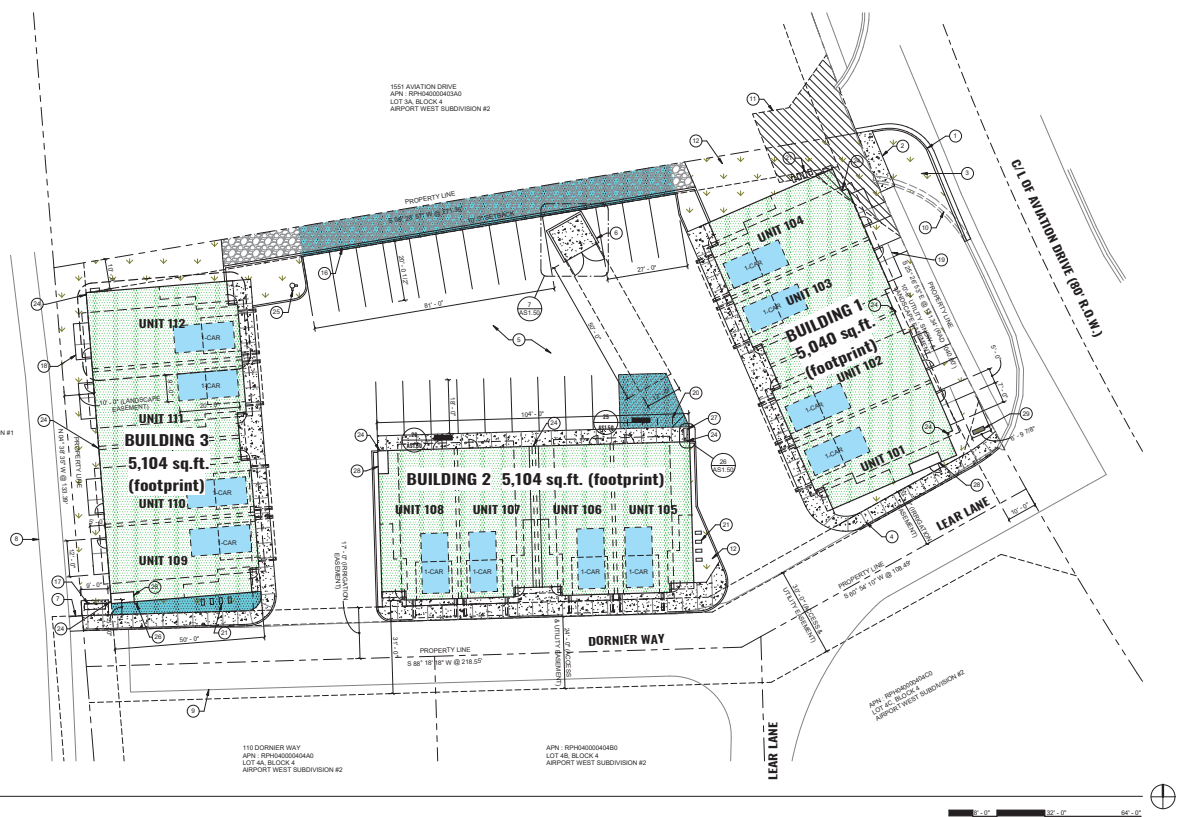
ALLOWED USES WITHIN SC4 ZONE:

- *ACCESSORY DWELLING UNITS
- *MIXED USE DEVELOPMENTS
- *TINY HOMES ON WHEELS
- *GOVERNMENT OFFICES AND PUBLIC ADMINISTRATION, EXCLUDING CORRECTIONAL INSTITUTIONS (CONDITIONAL USE)
- *PARKS AND PATHWAYS
- *PUBLIC FACILITY UTILITIES (CONDITIONAL USE)
- *SCHOOLS (CONDITIONAL USE)
- *SENIOR PUBLIC USES (CONDITIONAL USE)
- *SOCIAL SERVICES (CONDITIONAL USE)
- *WATER STORAGE AND WELLS FACILITIES
- *WIRELESS COMMUNICATION FACILITIES (WIFI) ATTACHED TO FREESTANDING TOWERS (CONDITIONAL USE)
- *WIRELESS COMMUNICATION FACILITIES (WIFI) ATTACHED TO STREET LIGHTS OR MOUNTED ON EXISTING STRUCTURES
- *ARTIST STUDIOS WITH ASSOCIATED GALLERIES
- *ARTIST STUDIOS WITHOUT ASSOCIATED GALLERIES
- *ARTIST TOWNS
- *AUTOMOTIVE REPAIR AND MAINTENANCE
- *FOOD PREPARATION FOR OFF-SITE CATERING, DINING, AND RETAIL TRADE, EXCLUDING THE PRODUCTION OF ALCOHOLIC BEVERAGES
- *FOOD SERVICE (CONDITIONAL USE)
- *GAMING STATIONS (CONDITIONAL USE)
- *GUIDES AND OUTFITTER SERVICES WITH NO MORE THAN 20% OF THE FLOOR AREA DEDICATED TO RETAIL SALES
- *HANDMADE ETCHES
- *HYBRID PRODUCTION FACILITIES FOR EDIBLE GOODS, INCLUDING BREADWERIES, COFFEES, DISTILLERIES, AND WINERIES
- *LANDSCAPE SERVICES
- *LAUNDRY SERVICES LIMITED TO DRY CLEANING, MID-SCALE COMMERCIAL, AND LARGE-SCALE INDUSTRIAL LAUNDRY SERVICES, EXCLUDING PERSONAL SERVICES SUCH AS SERVICING LAUNDROMATS AND SMALL-SCALE WASH AND FOLD SERVICES
- *LIGHT MANUFACTURING, INCLUDING THE FABRICATION OF BUILDING MATERIALS AND TECHNOLOGY
- *OFFICES
- *TRUCK EXHIBIT TERMINALS
- *PARKING LOTS AND STRUCTURES
- *PRINTING AND RELATED SERVICES
- *RETAIL TRADE
- *SMAILED CONSTRUCTION AND INDUSTRIAL TRADES
- *TECHNOLOGICAL DEVELOPMENT
- *TRANSPORTATION STORAGE FACILITIES
- *WHOLESALE TRADE AND DISTRIBUTORS
- *WATER SUPPLY SYSTEMS, FRESHWATER AND SUBJECT TO A CHARGE
- *WIND ENERGY SYSTEMS, ROOF MOUNTED AND SUBJECT TO A FIVE FEET (5') ABOVE THE MAXIMUM BUILDING HEIGHT FOR THE APPLICABLE DISTRICT
- *WIND ENERGY SYSTEMS THAT ARE SMALL SCALE, ROOF MOUNTED OR FREE STANDING (CONDITIONAL USE)
- *FUEL TANKS (CONDITIONAL USE)
- *STORAGE STRUCTURES AND/OR ACCESSORY STRUCTURES
- *TEMPORARY STRUCTURES (CONDITIONAL USE)

VICINITY MAP



SITE



SITE PLAN
 1/8" = 1'-0"

PARKING ANALYSIS

3 ADU SCENARIO
 AREA OF COMMERCIAL = 27,892
 27,892 / 1,000 = 27.89 SPACES
 AREA OF ADU = 2,676
 3 ADU * 1 SPACE / ADU = 3 SPACES
 TOTAL PROVIDED = 34 SPACES
 TOTAL REQUIRED = 30.89 SPACES

6 ADU SCENARIO
 AREA OF COMMERCIAL = 25,144
 25,144 / 1,000 = 25.14 SPACES
 AREA OF ADU = 6,352
 6 ADU * 1 SPACE / ADU = 6 SPACES
 TOTAL PROVIDED = 34 SPACES
 TOTAL REQUIRED = 31.14 SPACES

9 ADU SCENARIO
 AREA OF COMMERCIAL = 22,468
 22,468 / 1,000 = 22.47 SPACES
 AREA OF ADU = 8,028
 9 ADU * 1 SPACE / ADU = 9 SPACES
 TOTAL PROVIDED = 34 SPACES
 TOTAL REQUIRED = 31.47 SPACES

FULL ADU
 AREA OF COMMERCIAL = 19,792
 19,792 / 1,000 = 19.79 SPACES
 AREA OF ADU = 10,704
 12 ADU * 1 SPACE / ADU = 12 SPACES
 TOTAL PROVIDED = 34 SPACES
 TOTAL REQUIRED = 31.79 SPACES

SITE PLAN NOTES

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- UNLESS NOTED OTHERWISE, SLOPE GRADE MAXIMUM 2% WITHIN 5' OF BUILDING. THEN 5% TO MATCH EXISTING GRADE. ELEVATIONS, SLOPE AND WALKING SURFACES MAXIMUM 0% IN THE DIRECTION OF TRAVEL AND MAXIMUM 2% AT LANDING. CHANGE OF DIRECTION, AND PERPENDICULAR TO DIRECTION OF TRAVEL.
- UNLESS NOTED OTHERWISE FOR ALL EXTERIOR CONCRETE PAVEMENT PROVIDE MINIMUM 4" TYPE II, COMPACTED 95%.
- REFER TO GEO-TECHNICAL REPORT FOR RECOMMENDATIONS OF FILL WITHIN THE EXISTING 10 YEAR FLOOD PLAIN.
- SEE LANDSCAPE PLANS FOR PLANTING AND IRRIGATION INFORMATION.
- SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE AND UTILITIES.

AREA ANALYSIS

BUILDING 1 UNITS	BUILDING 2 UNITS	BUILDING 3 UNITS w/o ADU
LEVEL 1 UNIT - COMMERCIAL = 1,260 SQUARE FEET	LEVEL 1 UNIT - COMMERCIAL = 1,276 SQUARE FEET	LEVEL 1 UNIT - COMMERCIAL = 1,276 SQUARE FEET
LEVEL 1 - SUB-TOTAL = 5,040 SQUARE FEET (1,260 * 4 UNITS)	LEVEL 1 - SUB-TOTAL = 5,104 SQUARE FEET (1,276 * 4 UNITS)	LEVEL 1 - SUB-TOTAL = 3,828 SQUARE FEET (1,276 * 3 UNITS)
LEVEL 2 - COMMERCIAL = 1,260 SQUARE FEET	LEVEL 2 - COMMERCIAL = 1,276 SQUARE FEET	LEVEL 2 - COMMERCIAL = 1,276 SQUARE FEET
LEVEL 2 - SUB-TOTAL = 5,040 SQUARE FEET (1,260 * 4 UNITS)	LEVEL 2 - SUB-TOTAL = 5,104 SQUARE FEET (1,276 * 4 UNITS)	LEVEL 2 - SUB-TOTAL = 3,828 SQUARE FEET (1,276 * 3 UNITS)
LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET	LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET	LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET
TOTAL UNIT = 2,520 SQUARE FEET	TOTAL UNIT = 2,552 SQUARE FEET	TOTAL UNIT = 2,552 SQUARE FEET
TOTAL BUILDING = 10,080 SQUARE FEET (2,520 * 4 UNITS)	TOTAL BUILDING = 10,208 SQUARE FEET (2,552 * 4 UNITS)	TOTAL BUILDING = 10,208 SQUARE FEET (2,552 * 4 UNITS)
TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)	TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)	TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)

AREA LEGEND

- AREA OF COMMERCIAL / SHOP SPACE
- (1) 9' x 20' INTERIOR PARKING SPACE
- AREA OF ACCESSORY DWELLING UNIT
- AREA OF PRIVATE OUTDOOR SPACE

KEYNOTES - SITE PLAN

MARK	DESCRIPTION
1	NEW CONCRETE OUTLET
2	NEW CONCRETE SIDEWALK
3	NEW LANDSCAPE AT VACATED CROSS ACCESS EASEMENT
4	CONCRETE SIDEWALK ATTACHED
5	ASPHALT / CONCRETE PAVEMENT WITH BITUMEN ENCASEMENT WITH BITUMEN GATES
6	EXISTING CONCRETION TO EXISTING MOVED PATHWAY
7	EXISTING MOVED PATHWAY
8	EXISTING LOT OF ASPHALT PAVEMENT
9	REMOVE EXISTING CURB AND GUTTER
10	RELOCATE EXISTING ACCESS EASEMENT
11	NEW LANDSCAPE
12	PRE-FABRICATED METAL DECK
13	AREA OF ACCESSORY DWELLING UNIT
14	CONCRETE SPACE ON LEVEL 2 AS OCCURS
15	NEW CURB
16	PEDESTRIAN BENCH
17	STOP
18	STOP WITH SIDEWALK CONNECTION
19	BRIEF PARKING SPACES / SPACER
20	SAF METER LOCATIONS
21	ROOF GRASS LEADER
22	FIRE HYDRANT
23	IRRIGATION CONTROL VALVE
24	MAILBOX
25	PERMISSIBLE ROOFTOP
26	PROPOSED MONUMENT SIGNAGE LOCATION (DESIGN AND APPLICATION BY OTHERS)

OVERALL BUILDING

LEVEL 1 - COMMERCIAL = 15,248 SQUARE FEET	LEVEL 1 - COMMERCIAL = 15,248 SQUARE FEET	LEVEL 1 - COMMERCIAL = 15,248 SQUARE FEET
LEVEL 2 - COMMERCIAL = 14,356 SQUARE FEET	LEVEL 2 - COMMERCIAL = 14,356 SQUARE FEET	LEVEL 2 - COMMERCIAL = 14,356 SQUARE FEET
LEVEL 2 - ADU = 892 SQUARE FEET	LEVEL 2 - ADU = 892 SQUARE FEET	LEVEL 2 - ADU = 892 SQUARE FEET
LEVEL 2 - SUB-TOTAL = 1,276 SQUARE FEET	LEVEL 2 - SUB-TOTAL = 1,276 SQUARE FEET	LEVEL 2 - SUB-TOTAL = 1,276 SQUARE FEET
LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET	LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET	LEVEL 2 PRIVATE OUTDOOR = 90 SQUARE FEET
LEVEL 1 - TOTAL = 15,248 SQUARE FEET	LEVEL 1 - TOTAL = 15,248 SQUARE FEET	LEVEL 1 - TOTAL = 15,248 SQUARE FEET
LEVEL 2 - TOTAL = 15,248 SQUARE FEET	LEVEL 2 - TOTAL = 15,248 SQUARE FEET	LEVEL 2 - TOTAL = 15,248 SQUARE FEET
TOTAL BUILDING = 30,496 SQUARE FEET	TOTAL BUILDING = 30,496 SQUARE FEET	TOTAL BUILDING = 30,496 SQUARE FEET
PRIVATE OUTDOOR SPACE - TOTAL = 1,080 SQUARE FEET	PRIVATE OUTDOOR SPACE - TOTAL = 1,080 SQUARE FEET	PRIVATE OUTDOOR SPACE - TOTAL = 1,080 SQUARE FEET
BUILDING w/o ADU = 29,604 SQUARE FEET	BUILDING w/o ADU = 29,604 SQUARE FEET	BUILDING w/o ADU = 29,604 SQUARE FEET
TOTAL UNITS w/o ADU = 2,892 SQUARE FEET	TOTAL UNITS w/o ADU = 2,892 SQUARE FEET	TOTAL UNITS w/o ADU = 2,892 SQUARE FEET
TOTAL BUILDING = 10,208 SQUARE FEET (2,552 * 4 UNITS)	TOTAL BUILDING = 10,208 SQUARE FEET (2,552 * 4 UNITS)	TOTAL BUILDING = 10,208 SQUARE FEET (2,552 * 4 UNITS)
TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)	TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)	TOTAL PRIVATE OUTDOOR = 360 SQUARE FEET (90 * 4 UNITS)



DATE: 07/20/24
SCALE: AS SHOWN
SHEET NO. 01/00

REVISION

NO.	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 2

FLOOR PLAN (W/R WALL - LEVEL 1 - BUILDING 2)

CONSTRUCTION DRAWINGS

BY: JAVIER BORG, UNCLD, UNCLD, UNCLD
DATE: 07/20/24

SHEET NUMBER: A1.00

FLOOR PLAN GENERAL NOTES

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS CAREFULLY. THE SCOPE OF WORK, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE CLEARLY DIMENSIONED. INDICATE DIVISION BETWEEN FINISHES.
- UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL HUNG EQUIPMENT SUCH AS GRAB BARS, RAILINGS, SHELVING, CABINETS, AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

KEYNOTES - FLOOR PLAN

MARK	DESCRIPTION
1	PRE-FABRICATED BEYOND ROOM ABOVE
2	2" x 4" STEEL GLUDBOARD, PRE-FINISHED
3	METAL BALCONIES: YES IS MANUFACTURED ALUMINUM BECKING, HORIZONTAL RAILS, 1/2" FLAT FASCIA, INTEGRAL TRUSSES WITH RISER AND CEILING BLACK
4	STEEL COLUMN - SEE STRUCTURAL
5	FLOOR DRAIN
6	HOSE: ELECTRICAL PANEL
7	200 AMP ELECTRICAL PANEL
8	WALK TO ELECTRICAL SERVICE ENTRANCE
9	WALKLESS WATER HEATER GAS
10	UTILITY SINK WITH TRASH PAIL CATCHER
11	GAS UNIT HEATER
12	PRE-FABRICATED PREFABRICATED CANOPY, BELOW
13	HYDRONIC GAS FURNACE TRANSFER OVER/LIMIT
14	DOMESTIC RISER - SEE PLUMBING
15	SEWER CLEANOUT - SEE CIVIL
16	2" x 4" x 8" x 16" TYPICAL HANDLE AND OVERSEER WATER-PROOF WITH PRE-ENGINEERED, PRE-FABRICATED, 2" x 4" TOP FLUSH BOTTOM INSULATED CURB
17	METAL AWNING ABOVE
18	STAIR WALKWAY TRUSSES ABOVE
19	PRE-FABRICATED TRUSSES ABOVE
20	STEP PLUMBING TRUSSES ABOVE

WALL LEGEND

- PLUMBING WALL = 2x4 STUDS AT 1'-4" ON CENTER
- FIRE RATED WALL = 4 HOUR RATED EXTERIOR WALL

WALL TYPE SCHEDULE

- WALL TYPE MARK: 1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR
- WALL FINISHING: 1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD
- WALL TYPE NOTES: 1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD
- TO WALL HEIGHT/DECK: SEE WALL TYPE NOTES

ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BOTTOM OF TRUSS ABOVE.

INSULATION TYPE:

- T1 = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE. ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION.
- T2 = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE. ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION. INSULATION TO BE 2" RIGID POLYISOCYANURATE (PIR) INSULATION.

WALL HEIGHT: 1' = WALLS THAT EXTEND UP TO DECK ABOVE

WALL MATERIAL: 1 = WOOD STUDS

WALL FINISHING:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL LISTING:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL MARK:

1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL DESCRIPTION:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL FIRE RATING:

1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL REMARKS:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL LISTING:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL MARK:

1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL DESCRIPTION:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL FIRE RATING:

1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL REMARKS:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL LISTING:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL MARK:

1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL DESCRIPTION:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

WALL FIRE RATING:

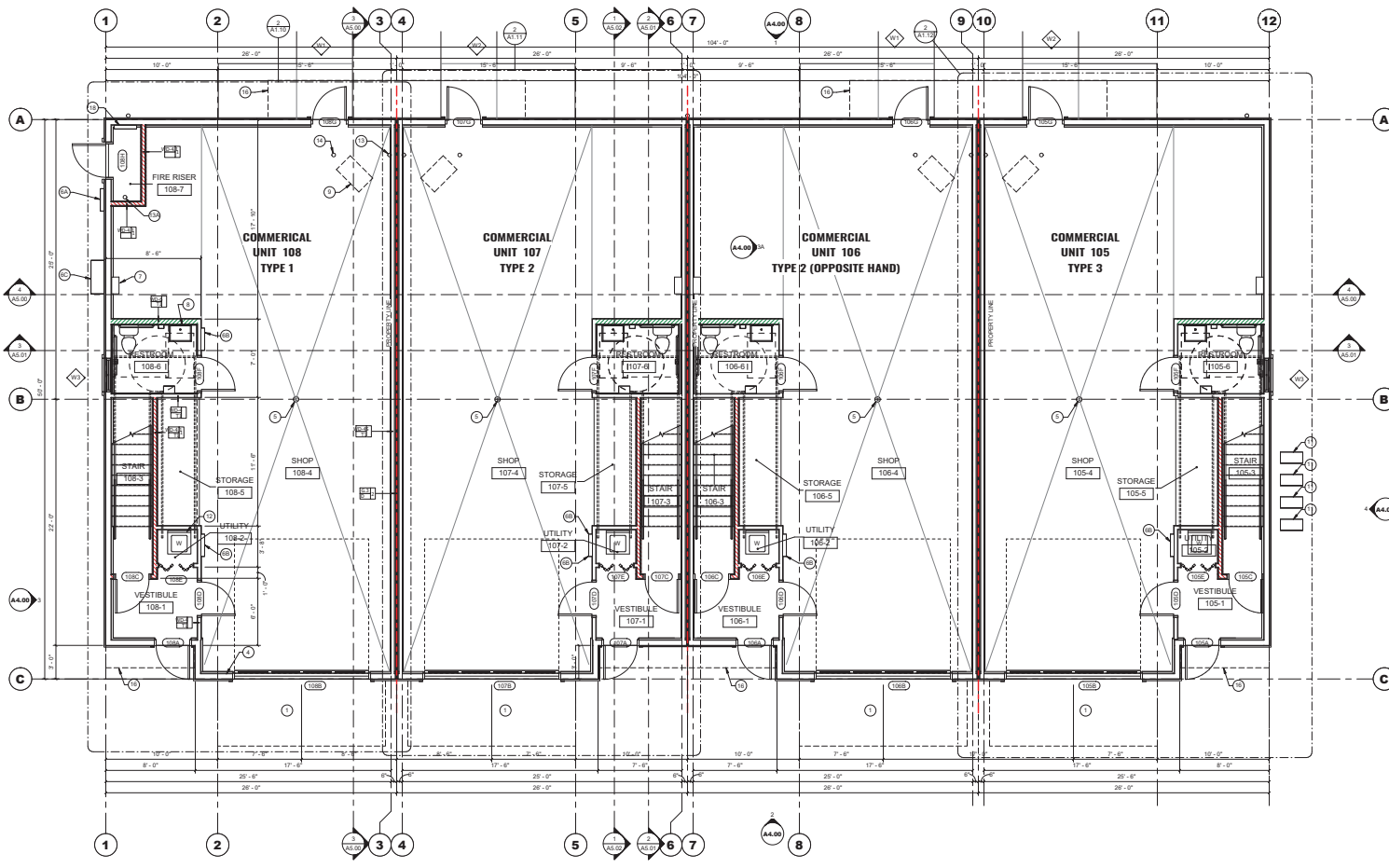
1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR, 5 = 5 HOUR

WALL REMARKS:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD

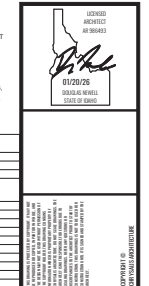
WALL LISTING:

1 = 1/2" GYPSUM BOARD, 2 = 5/8" GYPSUM BOARD, 3 = 5/8" GYPSUM BOARD, 4 = 5/8" GYPSUM BOARD, 5 = 5/8" GYPSUM BOARD



FLOOR PLAN - LEVEL 1
1/4" = 1'-0"





REVISION	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 3

BY: JAVIER BORG, UNLV, 10/20/2023
FLOOR PLAN (W/R) - LEVEL 1 - BUILDING 3
DATE: 07/20/23
PROJECT NUMBER:
SHEET NUMBER:

FLOOR PLAN GENERAL NOTES

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- UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL HUNG EQUIPMENT SUCH AS GRAB BARS, RAILINGS, SHAVING, CHAIRS, AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

KEYNOTES - FLOOR PLAN

MARK	DESCRIPTION
1	PREFABRICATED CONCRETE "BORDER"
2	2" x 2" STEEL GLUBOARD, PRE-FINISHED
3	METAL BALCONIES: YES TO MANUFACTURED ALUMINUM BEADING, HORIZONTAL RAILS, 1/2" FLAT FASCIA, INTEGRAL TRIMWORK WITH RED AND CLEIC BLACK
4	STEEL COLUMN - SEE STRUCTURAL
5	FLOOR DRAIN
6	HOSE: ELECTRICAL PANEL
7	200 AMP ELECTRICAL PANEL
8	WASTE ELECTRICAL SERVICE ENTRANCE
9	W/LESS WATER HEATER GAS
10	UTILITY SINK WITH TRAY & SILENT
11	GAS UNIT HEATER
12	PRE-FINISHED PREFABRICATED CANTOPY, BEYOND
13	DAY METER
14	HYDRONIC GAS BOILER TRANSFER OVER/LIFT
15	DOMESTIC RISER - SEE PLUMBING
16	SEWER CLEANOUT - SEE CIVIL
17	2" x 4" x 8" x 16" TYPICAL HANDLE AND GROUND WATER-PROOF WITH PRE-ENGINEERED, PREFABRICATED, 2" TOP FLUSH BOTTOM INSULATED CURBS
18	METAL AWNING ABOVE
19	STEP UP/LEVEL/THURSDAY ABOVE
20	STEP DOWN/THURSDAY ABOVE

WALL LEGEND

- PLUMBING WALL = 2x6 STUDS AT 16" ON CENTER
- FIRE RATED WALL = 4 HOUR RATED EXTERIOR WALL

WALL TYPE SCHEDULE

- WALL TYPE MARK
- WALL FINISHING: 1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = 4 HOUR
- W = ACCIDENTAL SEE WALL TYPE NOTES
- R = REMAIN SEE WALL TYPE NOTES
- TO WALL HEIGHT/DECK SEE WALL TYPE NOTES

ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BOTTOM OF TRUSS ABOVE.

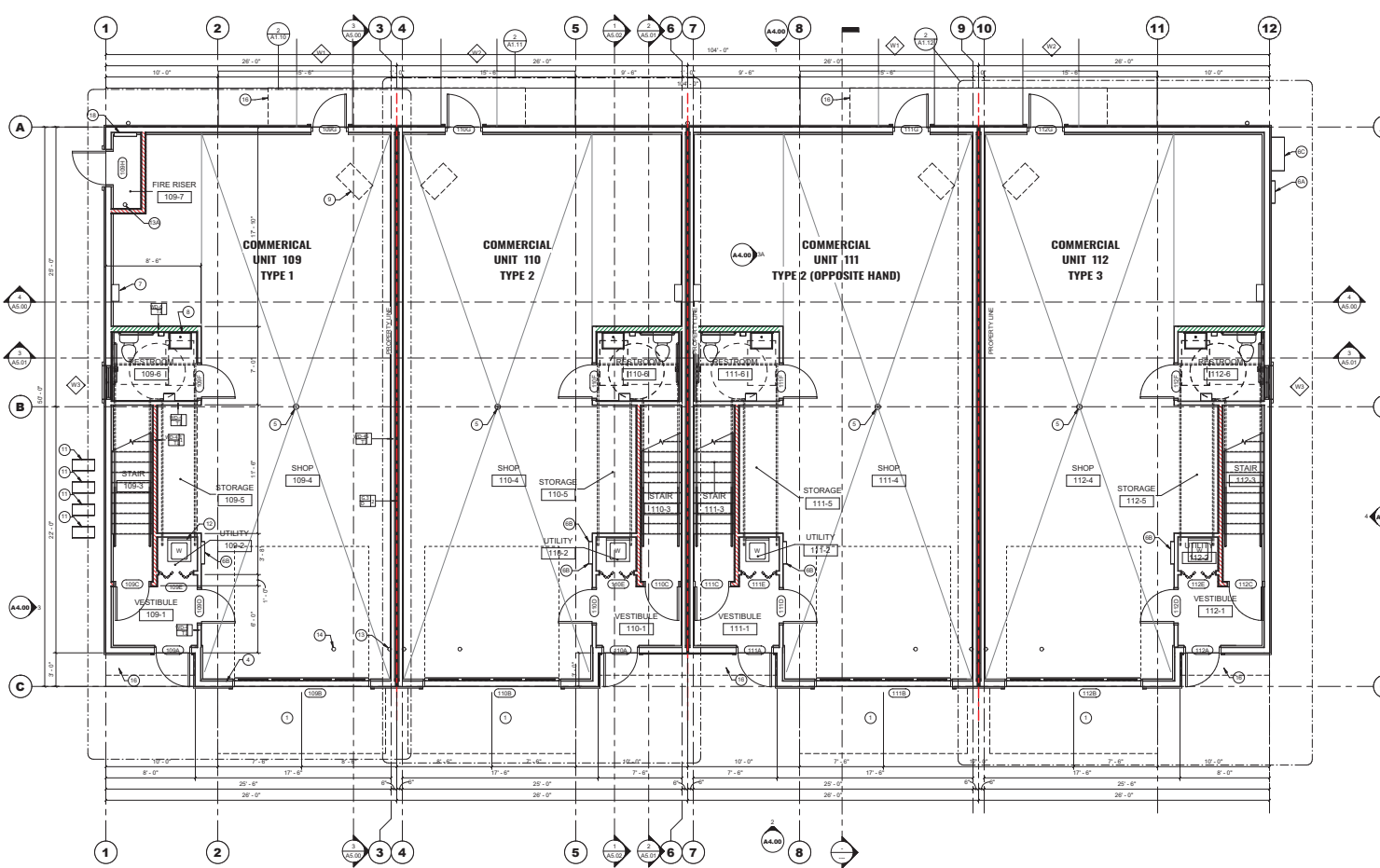
INSULATION TYPE:

- T1 = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE WIND, SOUND, FACED & 2" BATT PROVIDED FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLES.
- T2 = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE WIND, SOUND, FACED & 2" BATT PROVIDED FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLES.

WALL HEIGHT: 12' = WALLS THAT EXTEND UP TO DECK ABOVE

WALL MATERIAL: W01 = WOOD STUDS

MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING/UL	REMARKS
W-3	3 1/4"	4 HOUR FIRE RATED WALL ASSEMBLY (T1)H	3	PER UL LISTING W147
W0-1	4 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 5/8" PL WOOD OSB SHEET CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-1	5 1/8"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER, LAD PLAT WITH 5/8" TYPE X GYPSUM BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W0-4	4 3/4"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W0-4 1/2"	4 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD, PER UL LISTING, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL	1 UL LISTING U305	PER UL LISTING U305
W0-4 3/4"	3 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W0-4 3/8"	3 3/4"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W0-4 1/8"	4 1/8"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 16" ON CENTER WITH 1 LAYER OF 5/8" TYPE X GYPSUM BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		



FLOOR PLAN - LEVEL 1
1/8" = 1'-0"





DATE: 07/27/23
SCALE: 1/8" = 1'-0"
SHEET NO. 02

NO.	REVISION
1	ISSUE FOR PERMIT
2	ISSUE FOR CONSTRUCTION

DELLA MOUNTAIN SUITES - BUILDING 1

FLOOR PLAN (W/R WALL - LEVEL 2 - BUILDING 1)

BY: JAVIER BORG, UNIC, UNAD 83333
DATE: 07/27/23

CONSTRUCTION DRAWINGS

PROJECT NUMBER: 072023

SHEET NUMBER: A1.01

FLOOR PLAN GENERAL NOTES

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- UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL HANG EQUIPMENT SUCH AS GRAB BARS, SINKS, SHELVEING, CABINETS, AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

KEYNOTES - FLOOR PLAN

MARK	DESCRIPTION
1	PRE-FABRICATED METAL DECK, ABOVE
2	2" STEEL CHANNEL, PRE-FINISHED
3	METAL BALCONIES - VESTIB MANUFACTURING, ALUMINUM BEARING HORIZONTAL WALL, 1/2" SLAT FASCIA, INTEGRAL-TIE BACK WITH ROD AND CLEVIS, BLACK STEEL COLUMN - SEE STRUCTURE
4	FLOOR DRAIN
5A	HOUSE ELECTRICAL PANEL
5B	200 AMP ELECTRICAL PANEL
6	MARK ELECTRICAL SERVICE ENTRANCE
7	WATKINS WATER HEATER, GAS
8	UTILITY SINK WITH THREADS FACED
9	GAS UNIT HEATER
10	PRE-ENGINEERED, PRE-FABRICATED CANOPY, BELOW
11	CANOPY RISER
12	STACKABLE GAS FIRED WASHER DRYER UNIT
13	DOORSTOP RISER - SEE ALUMINUM
13A	FIRE RISER
14	REFER TO SCHEDULE - SEE CIVIL
15	ROOF PATCH 2"X2" WITH LIFTING HANDLE AND OPERATOR WATERPROOF WITH PRE-ENGINEERED, PRE-FABRICATED PLAT-TOP, SLOPED BOTTOM INSULATED CURB
16	METAL WALKWAY ABOVE
17	STEP IN WELDED TRUSSES ABOVE
18	PRE-PAINT CONTROL PANEL
19	ROOF LADDER, STEEL RUNGS AND RAILS

WALL LEGEND

- PLUMBING WALL = 3/8" STUDS AT 14" ON CENTER
- FIRE RATED WALL = 1-HOUR RATED, EXTERIOR WALL

WALL TYPE SCHEDULE

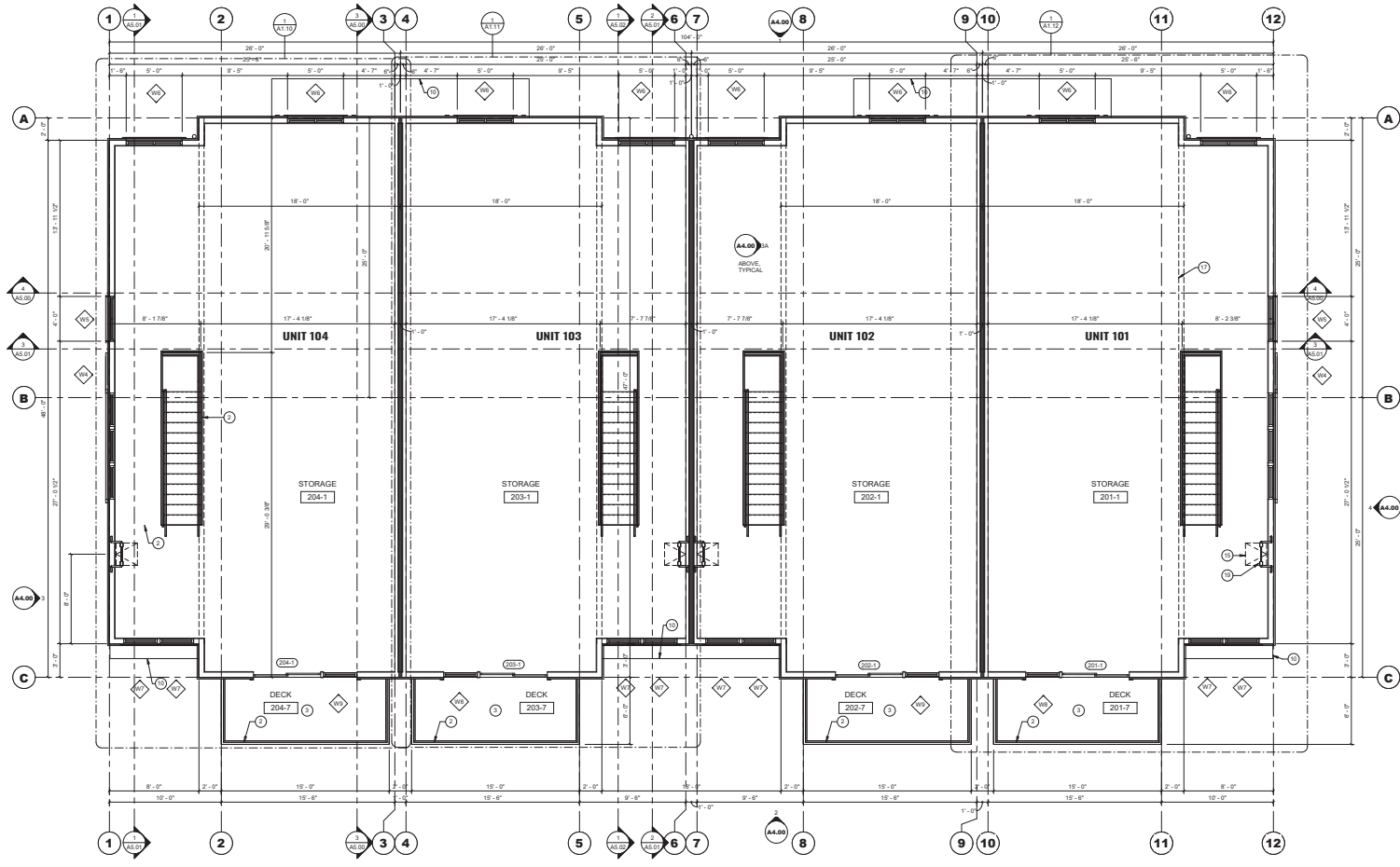
- WALL TYPE MARK: 1 = 1-HOUR, 2 = 2-HOUR, 3 = 3-HOUR, 4 = ACCIDENTAL (SEE WALL TYPE NOTES), T = REINFORCING (SEE WALL TYPE NOTES), 10 = WALL HEIGHT/DECK (SEE WALL TYPE NOTES)
- ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BOTTOM OF TRUSS ABOVE.
- INSULATION TYPE:
 - T1 = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE VENT, SCUM, FACED (J) BATT PROVIDED FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL, OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.
 - T2 = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE VENT, SCUM, FACED (J) BATT PROVIDED FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL, OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

WALL HEIGHT

- 1" = WALLS THAT EXTEND UP TO DECK ABOVE
- WALL MATERIAL: 10" = WOOD STUDS

MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING	HT.	REMARKS
------	---------------	-------------	-------------	-----	---------

W03	3 1/4"	1-HOUR FIRE RATED WALL ASSEMBLY (T1)	1	PER LISTING W1467	
W02	2 1/8"	2" NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER, LAGO SLAT WITH 5/8" X 5/8" CYPRESS BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL			
W04	4 3/4"	2" NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL			
W04-1/2"	4 3/4"	2" NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, PER LISTING, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		PER LISTING W1506	
W04-3 1/2"	4 3/4"	2" NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL			
W04-6 3/4"	6 3/4"	2" NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL			



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"





DATE: 07/20/24
BY: [Signature]
CHECKED BY: [Signature]
PROJECT NUMBER: 24-0001

REVISION
NO. DATE DESCRIPTION
1 07/20/24 [Signature] [Signature] [Signature]

DELLA MOUNTAIN SUITES - BUILDING 2

FLOOR PLAN (W/R) WALL - LEVEL 2 - BUILDING 2

CONSTRUCTION DRAWINGS

SHEET NUMBER: A1.01

FLOOR PLAN GENERAL NOTES

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- UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL HANGING EQUIPMENT SUCH AS GRAB BARS, RAILINGS, SHELVEING, CABINETS, AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

KEYNOTES - FLOOR PLAN

MARK	DESCRIPTION
1	PRE-FABRICATED METAL DECK, ABOVE
2	2" STEEL CHANNEL, PRE-FINISHED
3	METAL BALCONIES - VESTIBLES MANUFACTURING, ALUMINUM BEARING HORIZONTAL WALLS 1/2" SLAT FASCIA, INTEGRAL, TIE-BACK WITH ROD AND CLEVIS, BLACK
4	STEEPS COLUMN - SEE STRUCTURE
5	FLOOR DRAIN
6A	HOUSE ELECTRICAL PANEL
6B	200 AMP ELECTRICAL PANEL
7	MARK ELECTRICAL SERVICE ENTRANCE
7*	WAXLESS WATER HEATER, GAS
8	UTILITY SINK WITH THREADS FACED
9	GAS UNIT HEATER
10	PRE-ENGINEERED, PRE-FABRICATED CANOPY, BELOW
11	CANOPY RISER
12	STAC-KABLE GAS FIRED WASHER DRYER UNIT
13	DOORSTOP RISER - SEE ALUMINUM
13A	FIRE RISER
14	REFER TO SCHEDULE - SEE CIVIL
15	ROOF PATCH 2"X2" WITH LIFTING HANDLE AND OPERATOR WATERPROOF WITH PRE-ENGINEERED, PRE-FABRICATED, PLAT-TOP, SLOPED BOTTOM INSULATED CURB
16	METAL WALKWAY KIDNEY
17	STEP IN RAILING / TRUSSES ABOVE
18	PRE-PAINT CONTROL PANEL
19	ROOF LADDER, STEEL RUNGS AND RAILS

WALL LEGEND

- PLUMBING WALL = 3/8" STUDS AT 14" ON CENTER
- FIRE RATED WALL = 1 HOUR RATED, EXTERIOR WALL

WALL TYPE SCHEDULE

- WALL TYPE MARK: 1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = ACCIDENTAL (SEE WALL TYPE NOTES), T = RE-RAM, SEE WALL TYPE NOTES
- 1" = WALL HEIGHT/DEPTH, SEE WALL TYPE NOTES

ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BOTTOM OF TRUSS ABOVE.

INSULATION TYPE:

- T1* = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE VENTS, SCUM FASCIA, 1/2" BATT PROVIDED FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.
- T2* = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE 2" BATT PROVIDED FASTENED TO ALL WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

WALL HEIGHT: 1" = WALLS THAT EXTEND UP TO DECK ABOVE

WALL MATERIAL: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS

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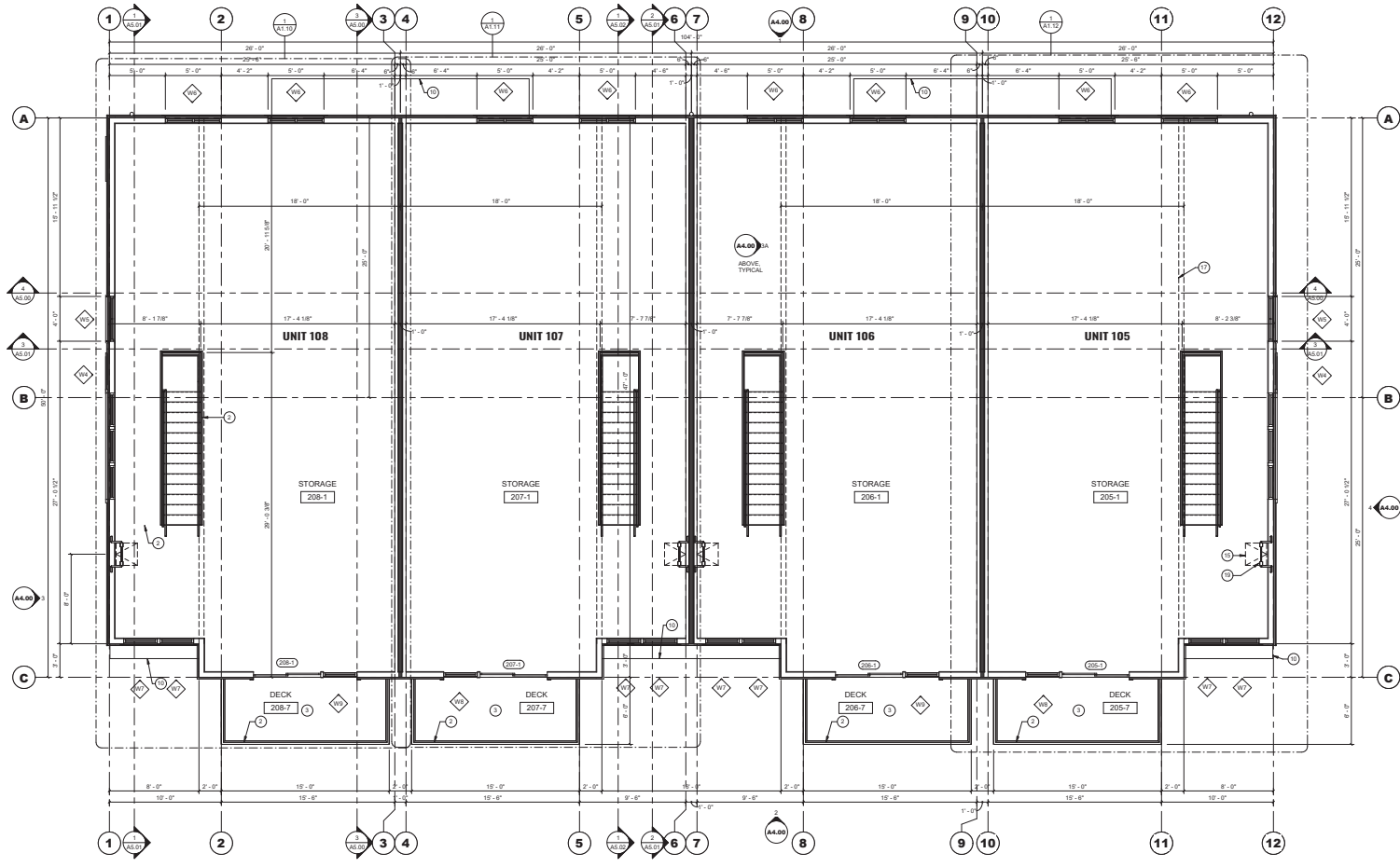
WALL MARK: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS

WALL MARK: 1" = WOOD STUDS



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING	REMARKS
W03	3 1/4"	1-HOUR FIRE RATED WALL ASSEMBLY (T1)	1	PER LISTING W1467
W02	2 1/8"	2x4 NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER, LAGO SLAT WITH 5/8" X 5/8" OVERLAP BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W04	4 3/4"	2x4 NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W04-1*	4 3/4"	2x4 NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, PER LISTING, SEALANT AT BOTTOM OF WALL	1	PER LISTING W1506
W040	3 1/2"	2x4 NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W04-6	6 3/4"	2x4 NOMINAL DOUGLAS FIR WOOD STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		



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REVISION	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 3

W/1 JAVIER BORG, UNIV. (JANU 8/2023)
FLOOR PLAN (W/RAIL) - LEVEL 2 - BUILDING 3

DRAWN: [blank]
CHECKED: [blank]
PROJECT NUMBER: [blank]
SHEET NUMBER: [blank]

CONSTRUCTION DRAWINGS

FLOOR PLAN GENERAL NOTES

1. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
2. DO NOT SCALE DRAWINGS. DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINES OR TO FACE OF FRAMING. CLEAR DIMENSIONS INDICATE DIMENSION LINE LOCATION.
4. UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
5. UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
6. PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL HANG EQUIPMENT SUCH AS GRAB BARS, RAILINGS, SHELVEING, CABINETS, AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

KEYNOTES - FLOOR PLAN

MARK	DESCRIPTION
1	PRE-FABRICATED METAL DECK, ABOVE
2	2" X 4" STEEL CHANNEL, PRE-FINISHED
3	METAL BALCONIES - VESTIB MANUFACTURING, ALUMINUM BEADING, HORIZONTAL RAILS, 1/2" SLAT FASCIA, INTEGRAL TIE-BACK WITH ROD AND CLEVIS, BLACK
4	STAIRS - CONCRETE - SEE STRUCTURE
5	FLOOR DRAIN
6A	HOUSE ELECTRICAL PANEL
6B	200 AMP ELECTRICAL PANEL
7	MAIN ELECTRICAL SERVICE ENTRANCE
7A	WAXLESS WATER HEATER, GAS
7B	UTILITY SINK WITH THREADS ABOVE
8	GAS UNIT HEATER
9	PRE-ENGINEERED, PRE-FABRICATED CANOPY, BELOW
10	CANOPY
11	STAC-KABLE GAS FIRED WASHER DRYER UNIT
12	DOORSET, RISER - SEE FINISHING
13A	FIRE RISER
13B	REFUR CERAMIC - SEE CIVIL
15	ROOF PATCH - 3/4" X 2" WITH LIFTING HANDLE AND ORNER, WATERPROOF WITH PRE-ENGINEERED, PRE-FABRICATED PLAT-TOP, SLOPED BOTTOM INSULATED CURBS
16	METAL WALKWAY BRIDGE
17	STEP IN RAILING / TRUSSES ABOVE
18	ROOF RAILING CONTROLS, RISER
19	ROOF: LADDER, STEEL RUNGS AND RAILS

WALL LEGEND

- PLUMBING WALL = 3/8" STUDS AT 14" ON CENTER
- FIRE RATED WALL = 1-HOUR RATED, EXTERIOR WALL

WALL TYPE SCHEDULE

- WALL TYPE MARK: 1 = 1 HOUR, 2 = 2 HOUR, 3 = 3 HOUR, 4 = ACCIDENTAL, SEE WALL TYPE NOTES
- T = REINFORCING, SEE WALL TYPE NOTES
- 10 = WALL HEIGHT/DECK, SEE WALL TYPE NOTES

ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BOTTOM OF TRUSS ABOVE.

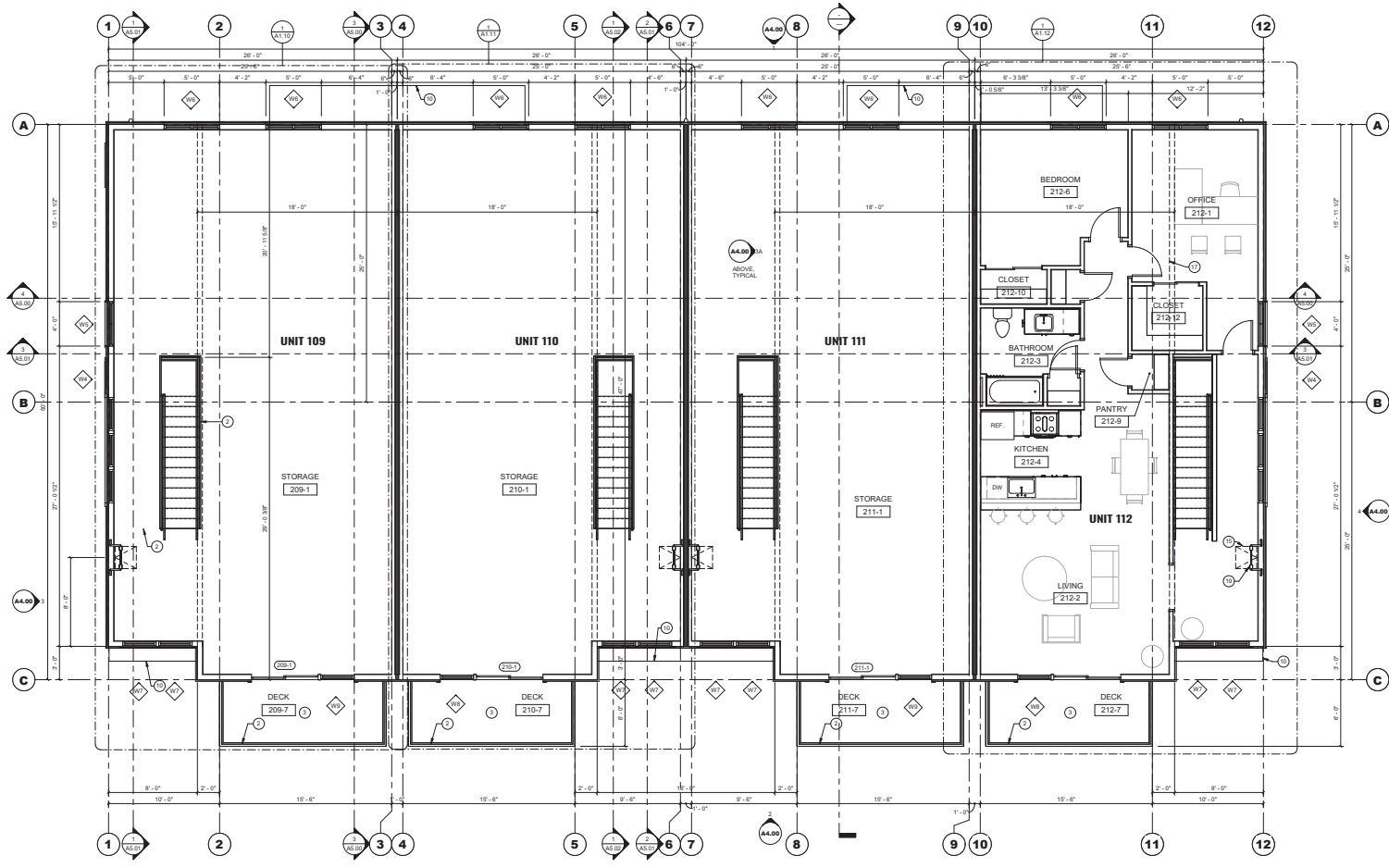
INSULATION TYPE:
T1* = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE VENTILATED TO THE OUTSIDE. FASTENED TO WALL STUDS, PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

T2* = THERMAL WALLS WITH THERMAL INSULATION, UNLESS NOTED OTHERWISE, ALL THERMAL WALLS AND INSULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE VENTILATED TO THE OUTSIDE. FASTENED TO WALL STUDS, PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

WALL HEIGHT: T* = WALLS THAT EXTEND UP TO DECK ABOVE
WALL MATERIAL: W* = WOOD STUDS

MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING	REMARKS
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MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING	REMARKS
W-3	3 1/4"	1-HOUR FIRE RATED WALL ASSEMBLY (T1)H	1	PER ILL 1017700 W1467
W-4	4 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH 5/8" PL WOOD STUDS, FIRE RATED, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-5	2 1/8"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER, LAD PLAT WITH SF TYPE X GYPSUM BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-6	4 3/4"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH 5/8" TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-4-1	1 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH (2) LAYERS OF SF TYPE X GYPSUM BOARD, PER ILL LISTING, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL	1	PER ILL 1017700 U105
W-4-3	3 1/2"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH SF TYPE X GYPSUM BOARD, BOTH SIDES, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-4-4	3 3/4"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH SF TYPE X GYPSUM BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		
W-4-5	4 1/8"	2x4 NOMINAL DOUGLAS FIR NO2 STUDS AT 14" ON CENTER WITH (1) LAYER OF SF TYPE X GYPSUM BOARD, ONE SIDE, CONTINUOUS SEALANT AT BOTTOM OF WALL		



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

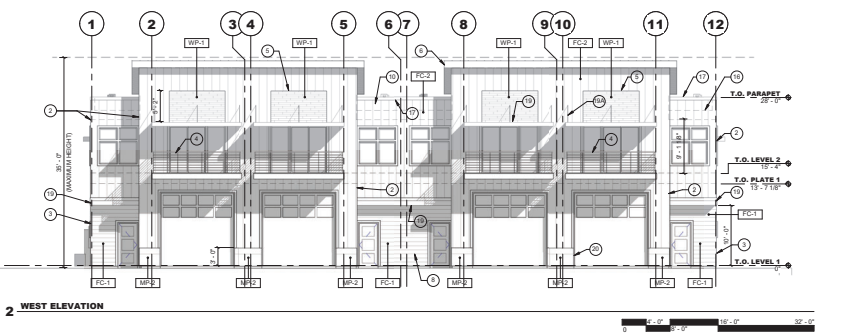
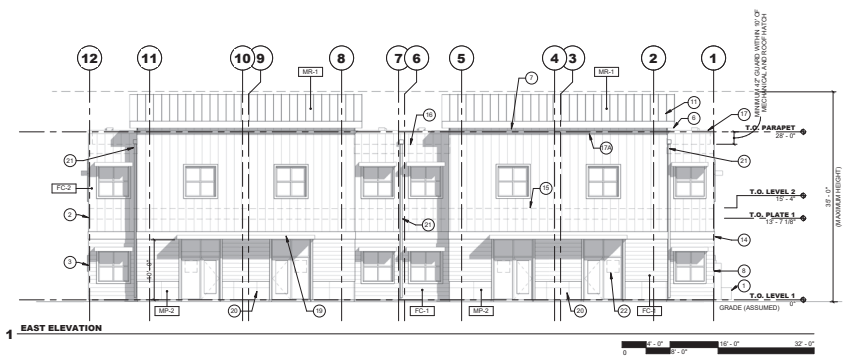




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EXTERIOR ELEVATION GENERAL NOTES

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DATUM HEIGHTS ARE NOMINAL. CONTRACTOR TO ADJUST FOR ACTUAL DIMENSIONS DUE TO MATERIAL AND CONSTRUCTION TOLERANCES.
- PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING / FINISH COLOR.
- ALL EXPOSED FOUNDATION AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- ALL EXPOSED PIPING, CONDUIT AND DUCTWORK ARE TO BE FINISHED TO MATCH ADJACENT SURFACES.
- ALL CONCRETE PLASTER CONTROL JOINT LOCATIONS SHALL BE VERIFIED WITH ARCHITECT. ALL JOINTS TO BE PAINTED. COLOR TO BE DETERMINED BY ARCHITECT.
- A CONTINUOUS WATER-PROOF MEMBRANE SHALL BE APPLIED BENEATH ALL EXTERIOR MATERIALS. WATER-PROOFING SHALL BE SELF-HEALING, LAPPED AND SELF-ADHERING.
- ALL EXTERIOR MASONRY, INCLUDING BRICK, AND MORTAR AND GROUT JOINTS, SHALL BE PROVIDED WITH AN INTEGRAL NON-COLORING WATER-PROOFER AND GROUT RESISTANT PITTING WATER-PROOFER. PITTING WATER-PROOFER IS RESISTING THE PASSAGE OF WATER AND WATER VAPOR. ADDITIONAL TOPICAL APPLICATIONS MAY BE APPLIED AS REQUIRED IN AS MANY COATS AS POSSIBLE TO ACHIEVE COMPLETE COVERAGE. ANY TOPICAL APPLIED WATER-PROOFING SHALL BE NON-COLORING.



KEYNOTES - ELEVATIONS

MARK	DESCRIPTION
1	SAS METER
2	PRE-FINISHED 10X120X120 METAL DRAIN
3	SAWTOOTH METAL CORNER EDGING
4	1/2" STEEL GUARDRAIL
5	EXTERIOR WEATHERED WOOD PLANK, SEALED
6	PRE-FINISHED METAL FLASHING TO MATCH MR-1
7	CONTINUE EXTERIOR BOARDING FROM UP TO UNDERSIDE OF EAVE
8	FIBER CEMENT LAP SIDING, WOODGROUSE FINISH
9	LINE OF CEILING
10	FIBER CEMENT PLASTER AND BOARD SIDING, PAINTED
11	FIBER CEMENT STANDING METAL ROOFING WITH WATER-PROOF MEMBRANE
12	FIBER CEMENT TRIM, 1/2" HEIGHT X 1/2" THICKNESS, FINISHED TO MATCH FC-1
13	LINE OF FLOOR BEYOND
14	LINE OF ROOF BEYOND
15	PRE-FINISHED METAL PARAPET CAP, SLOPED TO MATCH MR-1 WITH PARAPET CAP
16	CONTROL AND RISER, PRE-FINISHED METAL, WIRE TO RIGOR WITH PARAPET CAP
17	PRE-FINISHED PRE-FABRICATED CANOPY
18	CORTEN METAL WINDOW
19	PRE-FINISHED PRE-FABRICATED CANOPY
20	CORTEN METAL WINDOW
21	CORTEN METAL ROOF DRAIN LEADER AND CAPTURE BOWL TO MATCH MR-1
22	BRADSHAW DEVAL
23	PRE-FINISHED PRE-FABRICATED DECK
24	HOUSE ELECTRICAL PANEL
25	MAIN ELECTRICAL SERVICE ENTRANCE
26	SINGLE LAYER REINFORCED MEMBRANE FLASHING LAPPED UP WALL

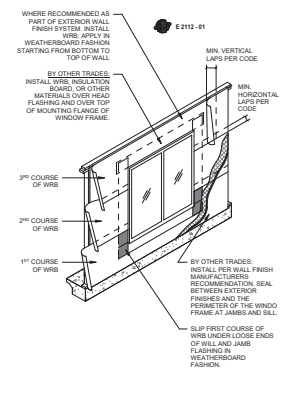
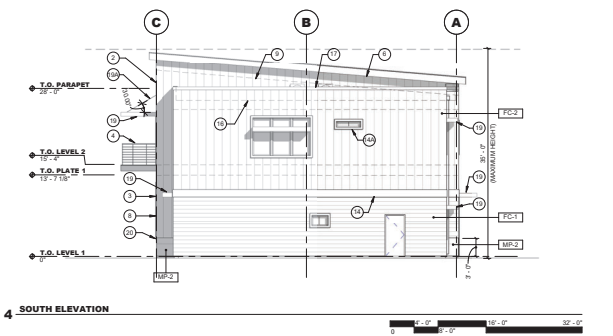
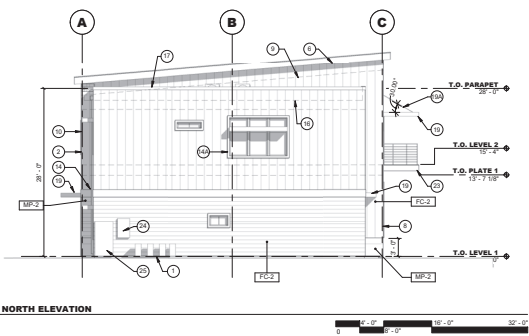
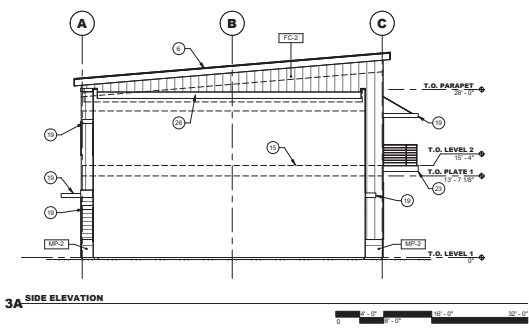


FIG. 19 WEATHER RESISTANT BARRIER (WRB) APPLICATION (METHODS A AND B)

DELLA MOUNTAIN SUITES - BUILDING 1

EXTERIOR ELEVATIONS - BUILDING 1

BY: JAVIER BORG, LINLEY, URBAN DESIGN

DATE: 07/20/24

DATE: 07/20/24
DRAWN BY: JAVIER BORG
CHECKED BY: LINLEY
PROJECT NUMBER: 24-001

SHEET NUMBER: 44.00

CONSTRUCTION DRAWINGS



01/20/25
03/16/26
03/16/26

DATE: 01/20/25
BY: J.A.
CHECKED: J.A.
DATE: 03/16/26
BY: J.A.
CHECKED: J.A.
DATE: 03/16/26
BY: J.A.
CHECKED: J.A.

REVISION	DATE	DESCRIPTION
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DELLA MOUNTAIN SUITES - BUILDING 2
EXTERIOR ELEVATIONS - BUILDING 2

BY: JAVIER BORG, L.A.S.C. (JAB) 03/23/25
DATE: 01/20/25

DATE: 01/20/25
BY: JAB
CHECKED: JAB
PROJECT NUMBER: 017200017

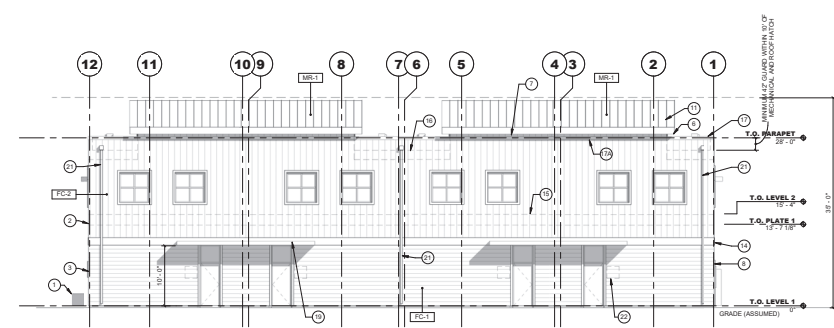
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EXTERIOR ELEVATION GENERAL NOTES

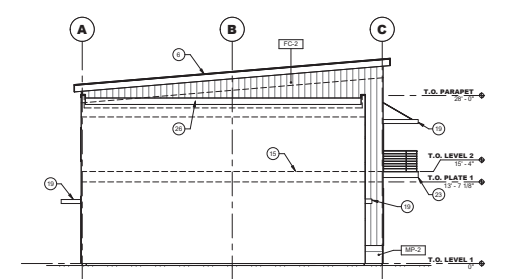
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2. DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. ALL DATUM HEIGHTS ARE NOMINAL. CONTRACTOR TO ADJUST FOR ACTUAL DIMENSIONS DUE TO MATERIAL AND CONSTRUCTION TOLERANCES.
4. PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING / FINISH COLOR.
5. ALL EXPOSED FOUNDATION AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
6. ALL EXPOSED PIPING, CONDUIT AND DUCTWORK ARE TO BE FINISHED TO MATCH ADJACENT SURFACES.
7. ALL GYPSUM PLASTER CONTROL JOINT LOCATIONS SHALL BE VERIFIED WITH ARCHITECT. ALL JOINTS TO BE PAINTED. COLOR TO BE DETERMINED BY ARCHITECT.
8. A CONTINUOUS WATER-PROOF MEMBRANE SHALL BE APPLIED BENEATH ALL EXTERIOR MATERIALS. WATER-PROOFING SHALL BE SELF-HEALING, LAPPED AND SELF-ADHERING.
9. ALL EXTERIOR MASONRY, INCLUDING BRICK, AND MORTAR AND GROUT JOINTS, SHALL BE PROVIDED WITH AN INTEGRAL NON-COLORING WATER-PROOFER AND GROUT RESISTANT TO RESISTING THE PASSAGE OF WATER AND WATER VAPOR. INTEGRAL WATER-PROOFING IS NOT TO BE APPLIED AS REQUIRE IN AS MANY COATS AS POSSIBLE TO ACHIEVE COMPLETE COVERAGE. ANY TOPICAL APPLIED WATER-PROOFING SHALL BE NON-COLORING.

KEYNOTES - ELEVATIONS

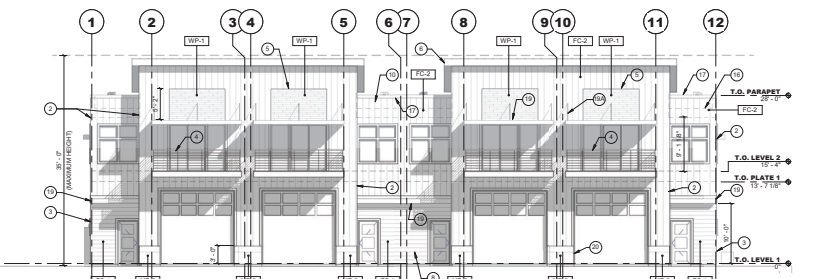
MARK	DESCRIPTION
1	GAS METER
2	PIPE RISER - OCT. DIA. METAL BODY
3	SAWTOOTH METAL CORNER EDGING
4	EXP. STEEL GUARDRAIL
5	EXTERIOR WEATHERED WOOD PLANK, SEALED
6	PRE-FINISHED METAL PASCIA, TO MATCH MR-1
7	CONTINUE EXTERIOR AND BOARD BROWS 'REAR UP' TO UNDERSIDE OF EAVE
8	FIBER CEMENT LAP SIDING, WOODGROUSE FINISH
9	LINE OF CEILING
10	FIBER CEMENT BATTEN AND BOARD SIDING, PAINTED
11	PRE-FINISHED STANDING METAL ROOFING WITH WATER-PROOF MEMBRANE
12	FIBER CEMENT TRIM, 1/2" HEIGHT X 1/2" THICKNESS, FINISHED TO MATCH FC-1
13	LINE OF FLOOR, BEYOND
14	LINE OF ROOF, BEYOND
15	PRE-FINISHED METAL PARAPET CAP, TO MATCH MR-1
16	CONTINUE AND FISH PRE-FINISHED MET. TRIM TO ROUGH WITH PARAPET CAP
17	PRE-FINISHED PRE-FABRICATED CANOPY
18	CORTEN METAL WINDSTOP
19	PRE-FINISHED PRE-FABRICATED CANOPY
20	CORTEN METAL WINDSTOP
21	CORTEN METAL ROOF DRAIN LEADER AND CAPTURE BOWL, TO MATCH MR-1
22	BRADSHAW PLAZARD
23	PRE-ENGINEERED, PRE-FABRICATED DECK
24	HOUSE ELECTRICAL PANEL
25	MAIN ELECTRICAL SERVICE ENTRANCE
26	SINGLEPLY REINFORCED MEMBRANE FLASHING, LAPPED UP WALL



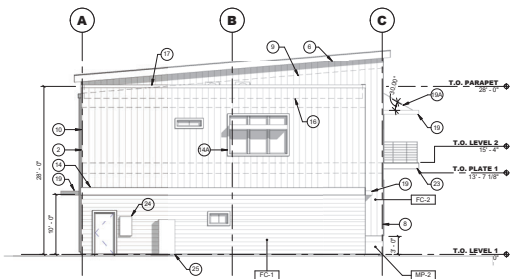
1 NORTH ELEVATION



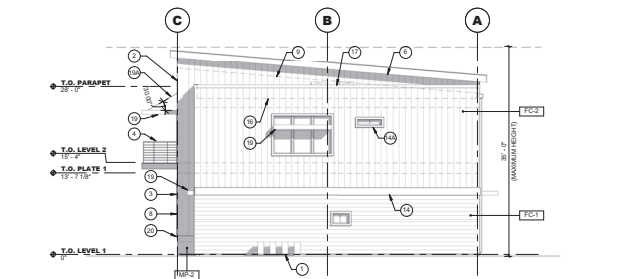
3A SIDE ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION

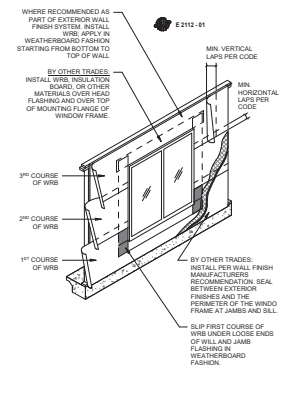


FIG. 19 WEATHER RESISTANT BARRIER (WRB) APPLICATION (METHODS A AND B)

5 TYPICAL OPENING - EXTERIOR WEATHER BARRIER



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REVISION	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 3

EXTERIOR ELEVATIONS - BUILDING 3

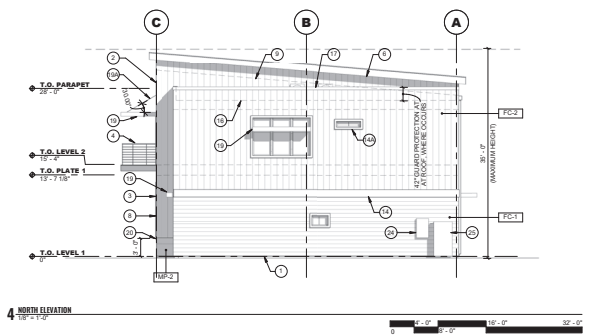
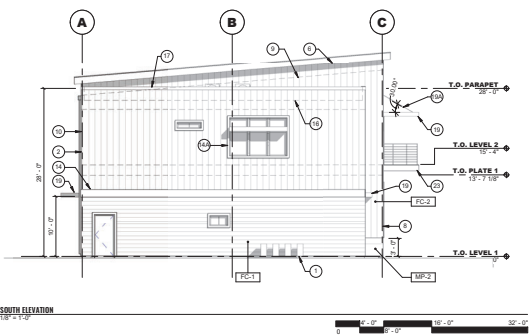
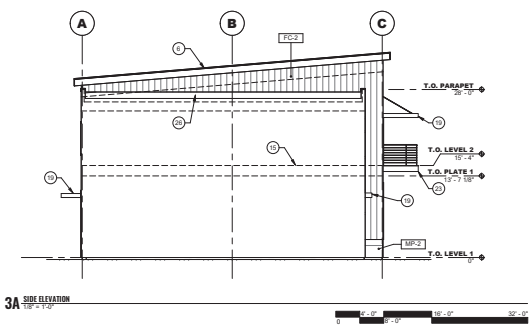
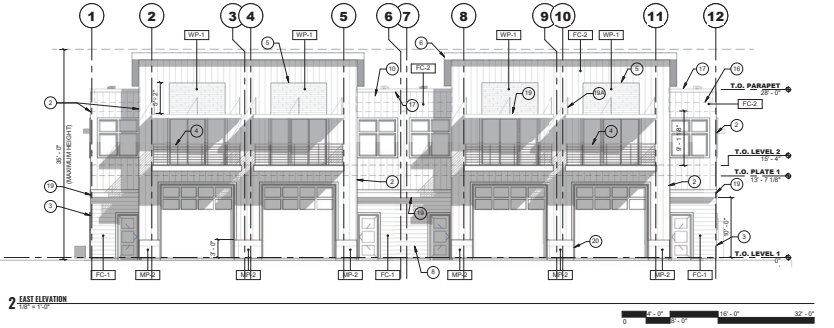
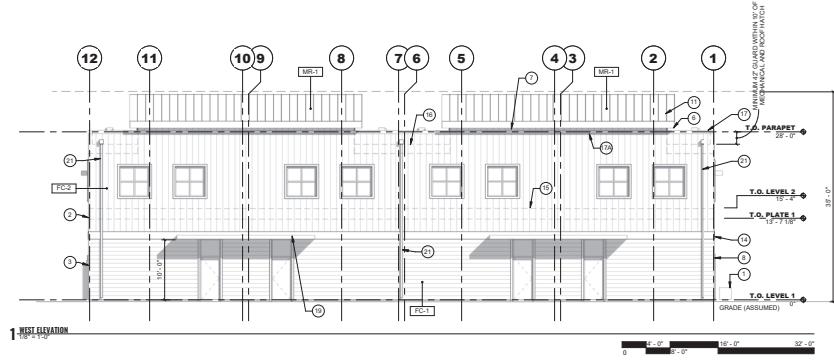
CONSTRUCTION DRAWINGS

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EXTERIOR ELEVATION GENERAL NOTES

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DATUM HEIGHTS ARE NOMINAL. CONTRACTOR TO ADJUST FOR ACTUAL DIMENSIONS DUE TO MATERIAL AND CONSTRUCTION TOLERANCES.
- PROVIDE 24 GAUGE PREFINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING / FINISH COLOR.
- ALL EXPOSED FOUNDATION AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- ALL EXPOSED PIPING, CONDUIT AND DUCTWORK ARE TO BE FINISHED TO MATCH ADJACENT SURFACES.
- ALL GYPSUM PLASTER CONTROL JOINT LOCATIONS SHALL BE VERIFIED WITH ARCHITECT. ALL JOINTS TO BE PAINTED. COLOR TO BE DETERMINED BY ARCHITECT.
- A CONTINUOUS WATER-PROOF MEMBRANE SHALL BE APPLIED BENEATH ALL EXTERIOR MATERIALS. WATER-PROOFING SHALL BE SELF-HEALING, LAPPED, AND SELF-ADHERING.
- ALL EXTERIOR MASONRY, INCLUDING BRICK, AND MORTAR AND GROUT JOINTS, SHALL BE PROVIDED WITH AN INTEGRAL NON-COLORING WATER-PROOFER AND GROUT RESISTANT IN PITS. WATER-PROOFING IS NOT TO BE APPLIED TO RESISTING THE PASSAGE OF WATER AND WATER VAPOR. ADDITIONAL TOPICAL APPLIES ARE TO BE APPLIED AS REQUIRED IN AS MANY COATS AS POSSIBLE TO ACHIEVE COMPLETE COVERAGE. ANY TOPICAL APPLIED WATER-PROOFING SHALL BE NON-COLORING.



KEYNOTES - ELEVATIONS

MARK	DESCRIPTION
1	SAS METER
2	PREFINISHED 20X100 DIM METAL SHAY
3	SAWTOOTH METAL CORNER EDGING
4	1/4" STEEL GUARDRAIL
5	EXPOSED WEATHERED WOOD PLANK, SEALED
6	PREFINISHED METAL FLASHING TO MATCH MR-1
7	CONTINUE EXTERIOR AND BOARD FINISH UP TO UNDERSIDE OF EAVE
8	PREFINISHED LAP SIDING, WOODGROVE FINISH
9	LINE OF CEILING
10	FIBER CEMENT PLASTER AND BOARD SOILING, PAINTED
11	PREFINISHED STANDING METAL ROOFING WITH WATER-PROOF MEMBRANE
12	FIBER CEMENT TRIM, 1/2" HEIGHT X 1/2" THICKNESS, FINISHED TO MATCH FC-1
14A	FIBER CEMENT TRIM, 1/2" HEIGHT X 1/2" THICKNESS, FINISHED TO MATCH FC-2
15	LINE OF FLOOR, BEYOND
16	LINE OF ROOF, BEYOND
17	PREFINISHED METAL PARAPET CAP, TO MATCH MR-1
18	CONTROL JOINT AND GROUT PREFINISHED METAL TRIM TO MATCH WITH PARAPET CAP
19	PREFINISHED TRIM FABRICATED CANOPY
20	CORTEN METAL MANTON
21	CORTEN METAL ROOF DRAIN LEADER AND CAPTURE BOWL, TO MATCH MR-1
22	PREFINISHED, PREFABRICATED DECK
24	HOUSE ELECTRICAL PANEL
25	MAIN ELECTRICAL SERVICE ENTRANCE
26	WALL PLY REINFORCED MEMBRANE FLASHING LAPPED UP WALL

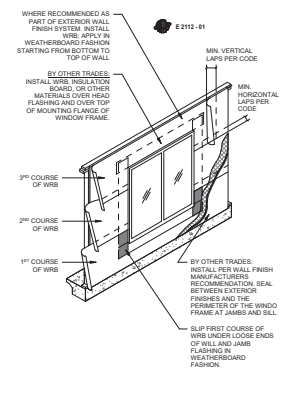


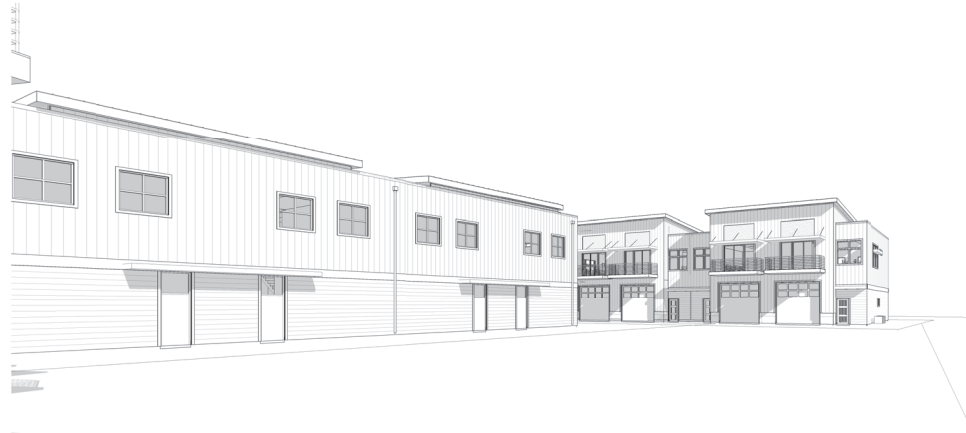
FIG. 19 WEATHER RESISTANT BARRIER (WRB) APPLICATION (METHODS A AND B)

5 TYPICAL OPENING - EXTERIOR WEATHER BARRIER

A4.00



VIEW FROM LEAR AND DORNIER



VIEW FROM PARKING AREA PERSPECTIVE



VIEW ALONG DORNIER



VIEW FROM AVIATION AND LEAR PERSPECTIVE



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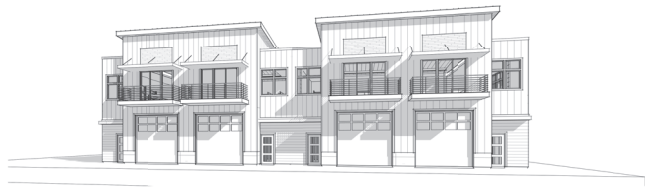
DATE	BY	DESCRIPTION

DELLA MOUNTAIN SUITES

1111 AVIATION BOULEVARD, LANEY, ID 83223
EXTERIOR ELEVATION - PERSPECTIVES

DATE: 07/26/2017
DRAWN BY: DM
CHECKED BY: DM
PROJECT NUMBER:

CONSTRUCTION DRAWINGS
SHEET NUMBER:



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REV	DATE	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 1

134 S 5TH STREET, BOISE, IDAHO 83702
CONCEPTUAL PERSPECTIVES - BUILDING 1

DATE: 07/26/23
DRAWN BY: JACOB
CHECKED BY: JACOB
PROJECT NUMBER: 24072

CONSTRUCTION DRAWINGS
SHEET NUMBER: A4.04



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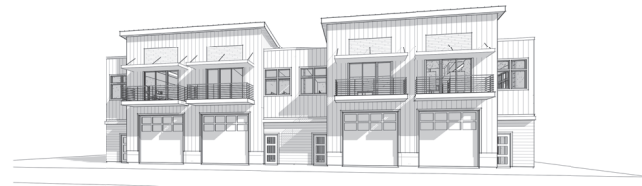


DELLA MOUNTAIN SUITES - BUILDING 2

DATE: 07/20/17
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NUMBER: [Number]

BY: JAVIER BORG, LINLEY (DND 8332)
CONCEPTUAL PERSPECTIVES - BUILDING 2

CONSTRUCTION DRAWINGS



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REV	DATE	BY	DESCRIPTION

DELLA MOUNTAIN SUITES - BUILDING 3

BY: JAVIER BORG, LANCE JORDAN, BOB
CONCEPTUAL PERSPECTIVES - BUILDING 3

DATE: 07/20/2017
DRAWN BY: JAVIER BORG
CHECKED BY: LANCE JORDAN
PROJECT NUMBER: 17001

CONSTRUCTION DRAWINGS

SHEET NUMBER: A4.04



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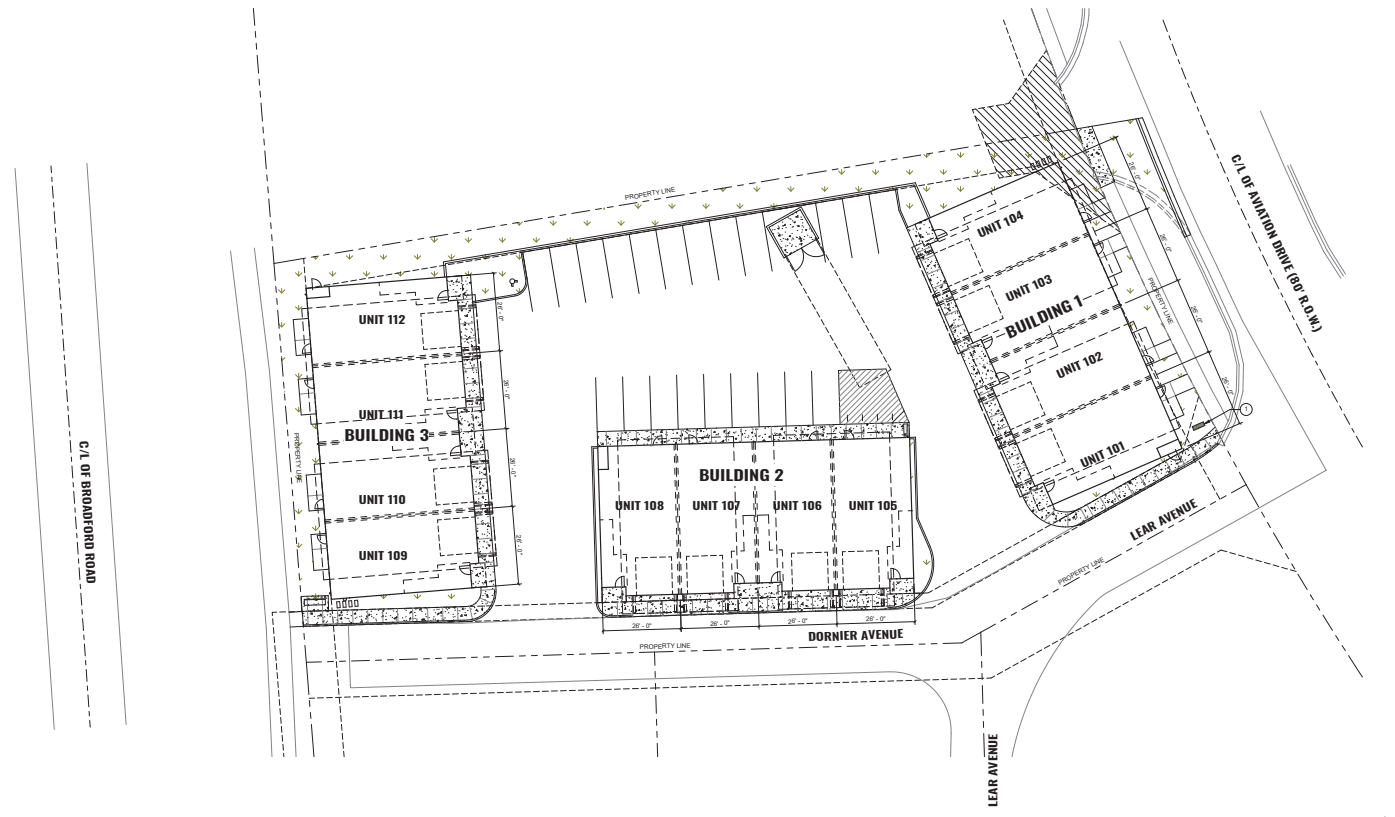
NO.	REVISION	DESCRIPTION

DELLA MOUNTAIN SUITES

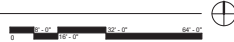
BY: AVATON DRIVE, LANEY, ID 83702
ARCHITECTURAL SITE PLAN - MASTER SIGNAGE

DATE: 11/10/23
PROJECT NUMBER:

CONSTRUCTION DRAWINGS



SITE PLAN - MASTER SIGNAGE
1/8" = 1'-0"



MASTER SIGNAGE PLAN ANALYSIS

PER CITY OF HALEY ORDINANCE SECTION 17.08A.020.04
SIGNAGE IS ALLOWED AT 2 SQUARE FEET PER 1 LINEAR FOOT OF UNIT FRONTAGE.

THE SITE SHALL BE PROVIDED WITH A MONUMENT SIGN IDENTIFYING ALL TENANTS WITHIN THE DEVELOPMENT. THE MONUMENT SIGN SHALL BE LOCATED AT THE CORNER OF AVATON DRIVE AND LEAR AVENUE.

UNIT SIGNAGE FOR BUILDING 1 SHALL FACE EAST (AVATON WAY)
UNIT SIGNAGE FOR BUILDING 2 SHALL FACE SOUTH (DORNIER AVENUE)
UNIT SIGNAGE FOR BUILDING 3 SHALL FACE EAST (INTERIOR PARKING AREA)

* ALL UNITS SHALL BE ALLOWED TO PROVIDE SIGNAGE 4 SQUARE FEET OR LESS ADJACENT TO EACH GROUND FLOOR ENTRANCE DOOR.

UNIT 101:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 102:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 103:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 104:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 105:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 106:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 107:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 108:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 109:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 110:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 111:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET
UNIT 112:	FRONTAGE ALLOWED SIGNAGE	= 26'-0"	= 52 SQUARE FEET

KEYNOTES - MASTER SIGNAGE

MARK	DESCRIPTION
1	PROPOSED MONUMENT SIGNAGE LOCATION (DESIGN AND APPLICATION BY OTHERS)

LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO DESIGN PROFESSIONAL ALL CONDITIONS WHICH MAY AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGN PROFESSIONAL'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE WORK SCHEDULES AND OBSERVATIONS WITH DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE. SHOW PLANTS WILL BE RECEIVED IF SET IN A BEING AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT QUANTITIES SHALL OVERSIDE SCHEDULED QUANTITIES AND ALL CUTTINGS SHALL BE RECORDED.
- UNLAWFUL AREAS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF LAYER 2 MINUS DELTA SUBSTRATE TO PROTECT EXISTING TREE ROOTS.
- ADJACENT PLANTING AREAS SHALL BE PREPARED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE SPECIES AT THE SAME LOCATION.
- FINISH GRADING SHALL BE DONE IN ACCORDANCE WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AREAS IDENTIFIED APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. REMOVE ALL ORGANIC MATERIAL A MINIMUM OF 6" DEPTH OF TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH AGROFERT PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATION.
- ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 6" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM OF 3" DEPTH OF TOPSOIL. SPREAD, COMPACT AND FINISH GRASS TO A SMOOTH AND UNIFORM SURFACE 2" BELOW ADJACENT SURFACES OF PLANTER BED AREAS. 1/2" BELOW ADJACENT SURFACES OF TURF SOG AREAS AND 1" BELOW ADJACENT SURFACES OF TURF GRASS AREAS.
- REMOVE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY STABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST, ANALYSE AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FERTILE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOxious WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 6.5 TO 7.0. IF ON SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - IMPROVE ON SITE TOPSOIL, WHICH IS APPROVED BY THE DESIGN PROFESSIONAL.
- IF IMPORTED TOPSOIL FROM OTHER SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FINE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, GLAY LAMPS, BRUSH WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEUS OR TOXIC MATERIAL HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TONICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNERS REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A PILE OR IN A HOODY CONDITION. ACCEPTANCE SHALL BE BASED ON THE PREVIOUSLY CLEANUP OF ANY TOPSOIL THAT WILL EXTEND ROOTS DEEPER THAN IS SHALL BE PROHIBITED OVER AND DISPOSE OF PROPERLY OFF SITE.
 - ANY FRESHWATER TREE OR PLANT THAT WILL EXTEND ROOTS DEEPER THAN IS SHALL BE PROHIBITED OVER UNDERGROUND SEWERAGE BOD, INTRUSION FACILITIES OR PUMP SYSTEMS.
 - SEWERAGE BEDS AND OTHER DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
 - IN THE EVENT OF A DISCREPANCY, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

LANDSCAPE AREA PREPARATION NOTES:

- LIFT TURF SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBSURFACE: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1/2" IN ANY DIMENSION AND STUMP, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATERIALS AND LEGALLY DISPOSE OF THEM OFF OWNERS PROPERTY.
 - SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES IN TURF AREAS AND 18 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AT LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD PLANTING SOIL OVER LOGGED SUBGRADE.
 - REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF 600 OR SEED.
- UNLAWFUL SUBSURFACE: IF TURF IS TO BE PLANTED IN AREAS UNLAWFUL OR UNDESIRABLE BY EXCAVATING, GRADING, OR SURFACE SOIL STRIPPING OPERATIONS. PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE. APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING TO PLANTING SOIL PROPERTIES AND MIX THOROUGHLY INTO TOP 2 INCHES OF SOIL. FILL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - REMOVE STONES LARGER THAN 1/2" IN ANY DIMENSION AND STUMP, ROOTS, TRASH, AND OTHER EXTRANEUS MATERIAL.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF OFF OWNERS PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2" OF FINISH ELEVATION. ROLL AND RAKE. REMOVE ROCKS AND FULL DEPRESSIONS TO MEET FINISH GRADES. LIFT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- MOSTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN DESIGN PROFESSIONAL'S ACCEPTANCE OF FINISH GRADING. RESTORE PLANTING AREAS IF BROCCED OR OTHERWISE DISTURBED AFTER FINISH GRADING. DO NOT SOAK IMMEDIATELY FOLLOWING RAIN, OR WHEN GROUND IS TOO DRY. TEMPERATURE SHALL BE BETWEEN 55 F AND 85 F FOR A 24 HOUR PERIOD. WIND SHALL BE LESS THAN 5 MPH.

TOPSOIL NOTES

- TOPSOIL REQUIREMENTS: AT LEAST 6" DEPTH IN RANGE OF 65 TO 70, FOUR PERCENT ORGANIC MATERIAL, MINIMUM FREE OF STONES 1/2" INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL REQUIREMENTS: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DELIVERED. TOPSOIL SHALL BE FERTILE, FINE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, GLAY LAMPS, BRUSH WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES, ORGANIC MATERIAL, LARGER THAN 1/2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEUS OR TOXIC MATERIAL HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THE FOLLOWING:
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE EROSION AND ORGANIC REQUIREMENTS. BEST TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A PILE OR IN A HOODY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL, DRAIN DRY WEEDS, AND OTHER ADDITIONAL, IMPORTED TOPSOIL, REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- IMPORTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
 - LAWN AREAS 12 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRASSES WITH SURROUNDINGS.
 - PLANTER BEDS 18 INCHES MINIMUM.
- FINISH GRASS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORM FINE TEXTURE. REMOVE ROCKS AND FULL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVED AREAS FOR SOG AND 1" FOR SEED.
- TOPSOIL STOCKPILE LOCATIONS TO BE COVERED WITH BROOKSIN AND SEEDING CONTROL PLAN. ALL GRASS, SUBGRADE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED PAVED AREAS. NO GRASS, OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO DESIGN PROFESSIONAL AND OWNER FOR APPROVAL PRIOR TO ANY EXCAVATION OPERATIONS.

TURF AREA PREPARATION NOTES:

- LIFT TURF SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBSURFACE: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1/2" IN ANY DIMENSION AND STUMP, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATERIALS AND LEGALLY DISPOSE OF THEM OFF OWNERS PROPERTY.
- SPREAD PLANTING SOIL OVER LOGGED SUBGRADE.
- REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF 600.
- UNLAWFUL SUBSURFACE: IF TURF IS TO BE PLANTED IN AREAS UNLAWFUL OR UNDESIRABLE BY EXCAVATING, GRADING, OR SURFACE SOIL STRIPPING OPERATIONS. PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING TO PLANTING SOIL PROPERTIES AND MIX THOROUGHLY INTO TOP 2 INCHES OF SOIL. FILL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - REMOVE STONES LARGER THAN 1/2" IN ANY DIMENSION AND STUMP, ROOTS, TRASH, AND OTHER EXTRANEUS MATERIAL.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF OFF OWNERS PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2" OF FINISH ELEVATION. ROLL AND RAKE. REMOVE ROCKS AND FULL DEPRESSIONS TO MEET FINISH GRADES. LIFT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- MOSTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN DESIGN PROFESSIONAL'S ACCEPTANCE OF FINISH GRADING. RESTORE PLANTING AREAS IF BROCCED OR OTHERWISE DISTURBED AFTER FINISH GRADING.

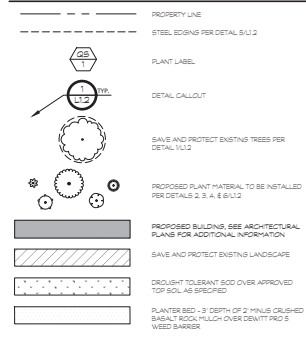
WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO ANY OTHER HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH ROUNDUP (CONTACT HERBICIDE) OR APPROVED EQUIVALENT. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE ROUNDUP IRRIGATION SYSTEM FOR A PERIOD OF FIFTEEN (15) DAYS. AT CONCLUSION OF THE WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY A SECOND APPLICATION OF ROUNDUP TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S DESIGNATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED RE-GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	TOTAL SQ. FT.	TOTAL TREES	TOTAL SHRUBS
1. 1.5" CALIBER TREE PER EVERY 1000 SQ. FT.	6,285 SF.	3	3

LANDSCAPE LEGEND



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
(Tree symbol)	RF	6	RNUS FLEXUS VANDERWOLFF'S PYRAMID VANDERWOLFF'S PYRAMID LAMBER PINE	6-8 HT. BEB.	25 H X 15 W
(Tree symbol)	TT	3	TILIA TOMENTOSA SILVER LINDEN	2.5" CAL. BEB.	50 H X 80 W
(Shrub symbol)	CA	47	CALAMAGROSTIS X ACUTIFLORA STRICTA KARL FOSTER'S FEATHER REED GRASS	1 GAL.	4-6 H X 2-3 W
(Shrub symbol)	CE	42	CORNUS SERICIA KELSEY'S CHERRY BIRD TWIG DOGWOOD	3 GAL.	2 H X 3 W
(Shrub symbol)	EF	5	ELONNYX FORFUND COLCERATIS PURPLE-LEAF WATERCREEPER	5 GAL.	2 H X 6 W
(Shrub symbol)	HJ	8	HYDRANGEA PANICULATA JANE LITTLE LIMEBARK HYDRANGEA	5 GAL.	4 H X 6 W
(Shrub symbol)	NW	19	NEPETA X WALKERS LOW WALKERS LOW CATMINT	1 GAL.	2 H X 3 W
(Shrub symbol)	PD	30	PENSTEMON X DARK TOWERS DARK TOWERS BEARCATSUNGLE	1 GAL.	1-3 H X 1-2 W



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SCALE: (H) 1"=20'
 SCALE: (V) 1"=4'
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 DESIGNED BY: C/W
 CHECKED BY: J/W

DELA MOUNTAIN SUITES
 1611 AVIATION DRIVE
 HAILEY, ID 83333
 LANDSCAPE PLAN

DATE: 1/16/26

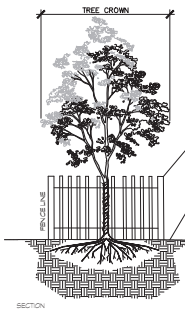
REVISIONS	DATE
1	1/16/26
2	1/16/26
3	1/16/26

PROJECT NO. R25042
 LANDSCAPE PLAN

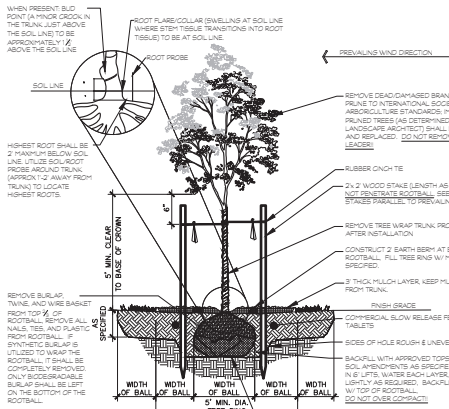


TREE PROTECTION NOTES:

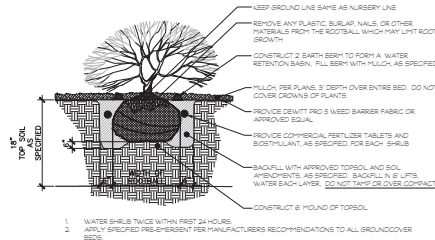
- PROTECT THE CRITICAL ROOT ZONE (THE AREA DIRECTLY BELOW THE OUTLINE OF THE TREE) OF THE TREE TO REMAIN ON SITE BY:
 - CONSTRUCTING A TEMPORARY CHAIN-LINK FENCE AROUND THE CRITICAL ROOT ZONE OF THE TREE TO BE PROTECTED PRIOR TO DEMOLITION, CONSTRUCTION, OR ANY SITE WORK.
 - NOT ALLOWING CONSTRUCTION EQUIPMENT TO OPERATE DURING DEMOLITION OR DURING DEMOLITION.
 - NOT ALLOWING CONCRETE PILES TO ANCHOR WITHIN THE PROTECTION AREA, OR ANYWHERE NEAR EXISTING TREE ROOTS OR IN PLANNED PLANTING BEDS AREAS. SEE SECTION AND SECTION CONTROL PLAN FOR APPROVED CONCRETE WASHOUT AREAS.
 - NOT STORING MATERIALS, DEBRIS, OR DIRT WITHIN THE TREE PROTECTION AREA.
 - WATERING WITHIN THE CRITICAL ROOT ZONE FROM IRRIGATION, TO MAINTAIN AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
 - NOT TRENCHING, ENCAVATING, FILLING, OR OTHERWISE DISTURBING THE SOIL WITHIN THE CRITICAL ROOT ZONE.
- ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS. PROTECT THE CROWN AND TRUNK OF TREES TO BE REMAINED BY:
 - OPERATING EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - HAVING TREES PRUNED BY A LICENSED ARBORIST.



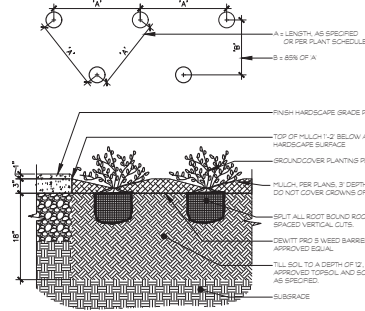
1 TREE PROTECTION N.T.S.



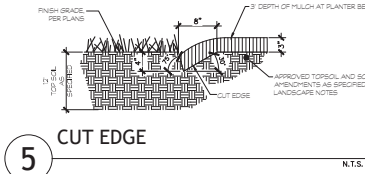
2 TREE PLANTING DOUBLE STAKE N.T.S.



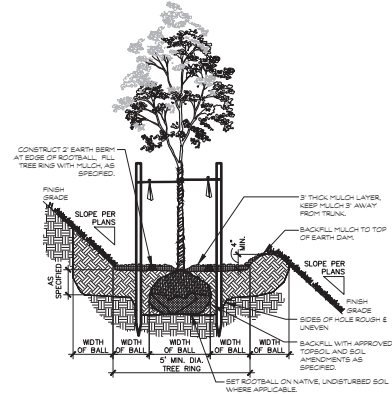
3 SHRUB PLANTING N.T.S.



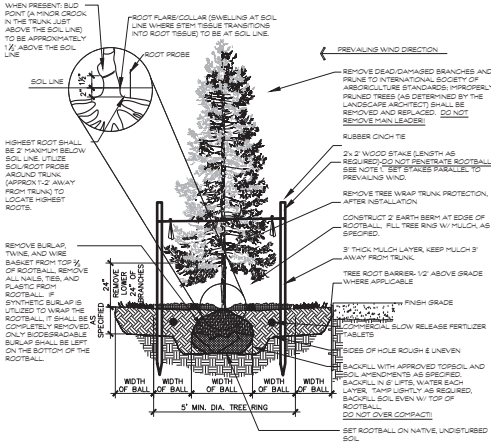
4 PERENNIAL, GROUND COVER, AND ORNAMENTAL GRASS PLANTING N.T.S.



5 CUT EDGE N.T.S.



6 TREE INSTALLATION ON A SLOPE N.T.S.



- THE STAKES OF TREES IS TO BE THE CONTRACTORS OPTION. HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT TOP REMAIN STRAIGHT. LENGTH OF WARRANTY PERIOD OR YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKES SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- REMOVE RUBBER CATCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR SQUARE EIGHT TYPING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SURPRISE.
- WATER TREES TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HARDEN SOILS PRESENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR TREES LOCATED WITHIN EXISTING PLANTING BEDS LESS THAN 6" IN WIDTH PROVIDE TREE ROOT BARREL (DEEPROOT 40-44 OR APPROVED EQUAL). LOCATE ROOT BARREL AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS PRIOR TO ANY INSTALLATIONS.

6 CONFEROUS TREE PLANTING N.T.S.



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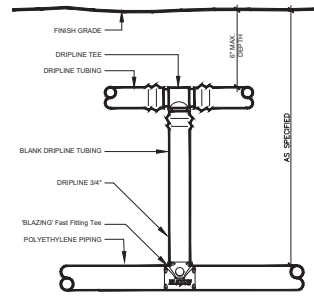
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SCALE (V): 1"=3'-0"
DRAWN BY: C/W
DESIGNED BY: C/W
CHECKED BY: C/W

DELA MOUNTAIN SUITES
1611 AVIATION DRIVE
HAILEY, ID 83333
LANDSCAPE DETAILS

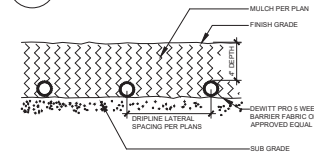
DATE: 3/24/25

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DATE	
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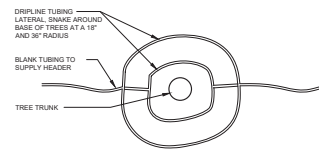
PROJECT NO.
R25042
LANDSCAPE DETAILS
L1.2



1 DRIP LINE START CONNECTION N.T.S.

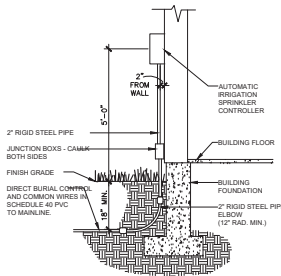


2 DRIP LINE SUBGRADE INSTALLATION N.T.S.

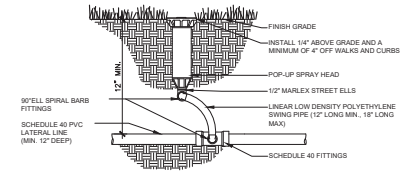


1. TO BE USED AT ALL TREES PLANTED WITHIN AREA NOTED ON PLAN.

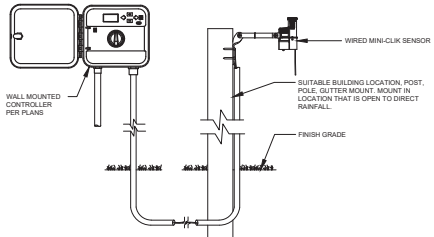
3 DRIP LINE AT TREES WITHIN PLANTERS N.T.S.



4 AUTOMATIC IRRIGATION CONTROLLER N.T.S.



5 POP-UP SPRAY HEAD N.T.S.



6 WIRED MINI-CLIK SENSOR N.T.S.

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 DESIGNED BY: C/JW
 CHECKED BY: C/JW

LEAR AND DORNIER SHOPS
 1611 AVIATION DRIVE
 HAILEY, ID 83333
 IRRIGATION DETAILS

DATE: 3/24/25

REVISIONS	
DATE	
II	-/-/-
III	-/-/-
IV	-/-/-

PROJECT NO. R25042

IRRIGATION DETAILS

L2.3

DELLA MOUNTAIN SUITES

1611 Aviation Drive

Hailey, Idaho 83333



VICINITY MAP
SCALE: 1" = 250'

Revisions

Sheet No.	Sheet Title	#	1	2
C4.0	TITLE SHEET			
C4.1	NOTES & LEGEND			
C4.2	DEMOLITION PLAN			
C4.3	GRADING PLAN			
C4.4	DRAINAGE PLAN			
C4.5	CONCRETE DETAIL PLAN			
C4.6	WATER PLAN			
C4.7	SEWER PLAN			
C4.8	UTILITY DETAIL PLAN			

NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. ALL EXISTING CONDITIONS AND STRUCTURES, NOT SPECIFICALLY NOTED FOR REMOVAL, SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE REQUIRED AND RESPONSIBLE TO POTHOLE FOR ALL EXISTING UTILITIES TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND EXCAVATION ACTIVITIES.

<p>Project Contacts</p> <p>Owner: Crystallia Architecture 134 S 5th Street Boise, Idaho 83702 Ph: (208) 596-1565 Contact: Richard Wilnot</p> <p>Civil Engineer: Ackerman-Estvold 7861 W Riverside Drive Suite 102 Garden City, Idaho 83714 Ph: (208) 853-6470 Contact: Antonio Conti, PE/PLS</p>	<p>Municipal Utilities: City of Hailey 115 Main Street South Hailey, Idaho 83333 Ph: (208) 788-6030 Contact: Brian Yeager</p> <p>Electricity Provider: Idaho Power 7861 W Riverside Drive Ph: (208) 388-2323</p> <p>Utility Locator Service: Idaho Dig Line 1(800)-342-1585</p>
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<p>Datum: ELEVATIONS ARE NOMINAL NAVD (88) DERIVED FROM REDUNDANT OPUS SOLUTIONS AND COMPUTED USING GEOID 16, BROUGHT TO THE SITE VIA STATIC OBSERVATION PROCESSED THROUGH THE NGS OPUS UTILITY.</p>

<p>Notes:</p> <ol style="list-style-type: none"> All construction shall conform with local & state building, plumbing, and electrical code. Locations of existing utilities shown are approximate and based upon information provided by utility companies and field observations. Accuracy of locations of all underground utilities is neither guaranteed nor warranted. Contractor shall be responsible for locating and verifying all underground utilities prior to construction. Prior to the commencement of any work, the Contractor shall file a "Notice of Intent to obtain coverage under the NPDES General Permit for Storm Water Discharge Associated with Construction Activity" (NCOI).
--

<p>Disclaimer:</p> <p>It is understood that these plans were designed in accordance with standard practices widely accepted through the field of civil engineering and surveying. Although the plans represented here have been designed by, or under the direct supervision of, a registered professional engineer, Ackerman-Estvold will not be responsible for the accuracy of any physical work that is not constructed under the direct full time observation of personnel employed by Ackerman-Estvold.</p>
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No.	Revisions	Date	By	Check	Appr.

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SCALE: 1" = 250'
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DESIGNED BY: GDB
CHECKED BY: AMC
DATE: 1/18/2026

DELLA MOUNTAIN SUITES
1611 AVIATION DRIVE
HAILEY, ID 83333
TITLE SHEET

PROJECT NO. 16369
DRAWING NAME TITLE SHEET
C0.0 OF C4.2

GENERAL NOTES:

- 1. All work shall conform to the 2003 edition of the Idaho Standards for Public Works Construction (ISPCWC). In the event that any of these standards conflict, the more stringent requirements shall prevail.
- 2. Only plan sets stamped "Approved For Construction" shall be used by the project Contractor(s). Use of any plans on the job without the "Approved for Construction" stamp shall be grounds for the issuance of a stop work order.
- 3. The Contractor shall keep on site at all times a copy of the "Approved For Construction" plans. These plans shall be used to record the actual locations of the constructed pipelines and any other utilities encountered. The Contractor shall provide these recorded locations to the project engineer for use in the production of record drawings prior to final approval/acceptance of the project. Contractor shall provide the Project Engineer with one (1) copy of redlined AS-Built drawings prior to project acceptance if deemed necessary.
- 4. The locations, types, sizes, and/or depths of existing underground utilities as shown on these drawings were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations, and depths of such underground utilities. The Project Engineer assumes no responsibility for the completeness or accuracy of the delineation of such underground utilities, or the existence of other buried objects or utilities which may be encountered, but which are not shown on these drawings. It is the responsibility of the contractor to identify exact locations of existing utilities prior to the start of any project construction. Any location which may pose a conflict with the proposed construction must be reported to the project engineer prior to the start of any project construction.
- 5. The Contractor shall call Dig Line (800)342-1585 to locate all existing utilities at least three (3) days prior to the start of construction.
- 6. The Contractor shall notify the Project Engineer a minimum of seventy-two (72) hours prior to the start of project construction.
- 7. Vertical Datum is ODMS-WF.
- 8. The Contractor shall secure all necessary permitting from the Idaho Department of Environmental Quality (IDEQ) prior to the start of project construction. If trench dewatering is required, Contractor shall submit a dewatering plan to the project engineer prior to commencement of dewatering operations.
- 9. The Contractor is to obtain all applicable permits.
- 10. If any items of suspected historical or archaeological value are discovered during construction, the Contractor will be required to stop work and contact the Owner, Project Engineer, as well as the State Historical Preservations Office.
- 11. The Contractor is responsible for compliance with all applicable safety laws of any jurisdictional body including, but not limited to, safe working practices within and around the construction area. In addition, Jurisdictional Agencies, the Owner, and the Project Engineer shall not be responsible for enforcing safety regulations.
- 12. If during construction of the project, an underground storage tank, buried drum, other container, contaminated soil, or debris not scheduled for removal under the contract is discovered, the contractor shall immediately notify the Owner and the Project Engineer. No attempt shall be made to excavate, open, or remove such material without written approval.
- 13. Prior to construction the Contractor shall designate a project superintendent and public information officer who shall be responsible to coordinate with Engineer, Owner, and the public on all project activities at regular intervals as agreed upon during the pre-construction conference.
- 14. Construction surveying shall be the responsibility of the Contractor and incidental to the project.
- 15. The Contractor shall supply shop drawings and product submittals to the Engineer for verification at least ten (10) working days prior to their installation. The Contractor shall not proceed with installation without written approval from the Engineer.
- 16. Work shall generally be performed during normal working business hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday. No work on Sundays or holidays is permitted.
- 17. The Contractor shall be responsible for all traffic control associated with the project and shall develop/submit a plan to the Project Engineer for approval prior to the start or project construction. Plan to be in accordance with MUTCD, and provided no additional cost to the owner.
- 18. The contractor shall maintain traffic access at the end of each day and provide detours or one-way traffic during construction. When construction techniques allow, Contractor shall provide access through the construction zone to private properties.
- 19. The Contractor shall take whatever steps necessary to ensure that no overloading of roadways is done by himself, his subcontractors or his suppliers. Any road damaged, other than designated detour routes, shall be replaced to its original condition at the Contractor's expense.
- 20. Coordinate use of premises with the Owner to ensure that construction operations do not interfere with necessary tasks of the Owner. The Contractor shall notify the Owner of any areas requiring down time at least 2 weeks prior to work.
- 21. The Contractor shall protect all existing monuments, survey markers, street signs, utilities, irrigation lines, pavement, trees, fences, and any other important objects on or adjacent to the job site from damage and repair or replace damaged facilities as required by the Owner and the Project Engineer.
- 22. The Contractor shall verify all dimensions before starting work and shall immediately notify the Project Engineer of any discrepancies.
- 23. Any changes to the design as shown in these construction drawings must be reviewed and approved by the Project Engineer before changes are made. This includes changes requested by the Owner and Subcontractors.
- 24. Contractor shall repair all areas disturbed by construction activities to an equal or better condition than prior to any construction activities taking place.
- 25. Contractor shall obtain and secure any additional storage or work areas, outside of project area provided, if needed. The Contractor is responsible for any construction fencing needed to secure any site. Costs shall be incidental to the project.
- 26. The Contractor shall not work outside of existing property lines. Any work outside of the property shall be under a separate agreement obtained by the Contractor and a copy shall be provided to the Engineer.
- 27. Contractor shall submit a Construction Sequencing Plan to the Engineer/Architect for approval prior to construction. The Plan shall include a schedule for the anticipated construction along with a detailed plan describing sequencing of construction, demolition, and bypass pumping.
- 28. The Contractor is responsible for protecting all work constructed by their work crews until the work is accepted by the owner for continuous operation and maintenance.
- 29. The Contractor shall be responsible for the removal and disposal of any excess erosion materials as necessary to complete the project.

UTILITY CONSTRUCTION NOTES:

- 1. Contractor shall be responsible for verify location, depth, size, and material of existing utilities prior to connection. All fittings and appurtenances for connection to existing structures/pipes to allow for transition between varying pipe materials shall be incidental to the project.
- 2. Contractor shall probe all proposed utility crossings 1 week prior to construction. Probing shall be performed using water jet or hydro excavation techniques. Upon exposing utility, Contractor shall contact Engineer to complete field verification. If conflicts are encountered, Engineer reserves the right to adjust sanitary sewer grade to accommodate existing utilities at no additional expense.
- 3. Manhole installation shall be in accordance with ISPCWC Section 502, Standard Drawing SD-401, SD-401a, Manhole frames per SD-407.
- 4. Approval and acceptance of all sewer construction will be by the Engineer and their decision shall be final. Such inspections shall not relieve the Contractor from the responsibility of performing the work in an acceptable manner in accordance with the approved construction plans and standard specifications and drawings.
- 5. All gravity sewer pipe shall be bell and spigot, polyvinyl chloride (PVC), SDR 35, ASTM D-3034, unless otherwise approved by Engineer.
- 6. The Engineer reserves the right to complete spot observation. The Contractor will notify the Engineer forty-eight (48) hours prior to start of construction and again twenty-four (24) hours prior to pouring concrete collars.
- 7. Maintain groundwater levels one (1) foot or more below the pipe invert, per ISPCWC, during pipe laying and pipe joining operations and while making sewer taps. Clean and restore to their original state any ditches and storm drain facilities that are filled due to the contractor's dewatering efforts. Obtain all necessary permits for dewatering discharges. Bedding and pipe zone material shall be type 1 aggregate pipe bedding material.
- 8. The Contractor shall test all sewer lines in accordance with ISPCWC and shall be observed by the Engineer. All construction inspections shall be completed before November 1st of the year when initial construction commenced unless otherwise approved by the Owner.
- 9. All sewer main lines, service laterals, and manholes shall be airvacuum tested in accordance with ISPCWC. Testing shall be completed prior to connecting existing service laterals into the new system.
- 10. The horizontal separation of water and sewer pipelines (services or mains) shall be a minimum of ten (10) feet. Where it is necessary for sewer (sanitary sewer, storm drain, and irrigation) and waterlines to cross each other, and the sewer line is less than eighteen (18") inches below or above the pipe, the sewer line shall be a single twenty (20") foot section of water class PVC pipe with fittings, or equal construction, for a distance of ten (10') feet on both sides of the waterline in accordance with Section 58.01.08.542.07 of the Idaho Rules for Public Drinking Water Systems. If the sewer pipe is above the water pipe, the sewer pipe must be supported to prevent settling. One twenty (20') foot full length of water and sewer lines shall be centered on the crossing point so that all joints are as far from the crossing point as possible. In lieu of constructing or reconstructing the sewer to conform to water main standards, the water line may be sleeved in water class pipe for a distance of ten (10') feet on both sides of the crossing. All parallel or crossing installations of possible and non-possible pipelines must be in accordance with IDAPA 58.01.08.542.07.
- 11. When the cover over a sewer pipe is less than three (3') feet from the top of the pipe to the adjacent or top of pipe to natural ground, use "Class 200 water pressure pipe," ASTM D-2241, SDR 21, including service lines and fittings. Design Engineer shall make more stringent requirements as needed.
- 12. In the event of a water system conflict, contact the Project Engineer immediately.
- 13. All gate valves to be installed in accordance with ISPCWC section 402, Standard Drawing SD-403 (valve anchor detail), Standard Drawing SD-406 (valve box and lid detail).
- 14. Thrust blocks shall be installed at all fittings in accordance with ISPCWC SD-403 and visually inspected by the Project Engineer prior to backfill.
- 15. The Contractor is required to pay for all project testing and associated costs as per the of the sewer main installation. All testing to be completed in accordance with the provisions set forth herein. All testing shall be conducted in the presence of the Project Engineer.
- 16. Sewer lines shall be laid to the grades and elevations indicated on the drawings.
- 17. Fittings placed inside vaults or manholes shall be flanged. All nuts and bolts used in any restraint fitting of housed inside a manhole or vault shall be 304 stainless steel.
- 18. Bypass pumping will be the responsibility of the Contractor. All work and equipment, pumps, labor, and power costs related to bypass pumping shall be incidental to the full length Lull Station & Valve Vault - Complete. Contractor shall coordinate pumping activities with Engineer.
- 19. All existing sewer lines shall remain active throughout the duration of the project, with the exception of the minimum amount of time required to tie into the existing lines, where noted below.

Water Notes

- 20. Water system construction shall adhere to the Standards in the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) as well as the Standards and Specifications referred to in general construction note no. 1.
- 21. The contractor shall be responsible for providing continuous water service to all existing water users affected by construction throughout the duration of the project. Any planned interruption in service will require approval of both the Owner and the Project Engineer. Affected users are required to be notified by the contractor a minimum of 48-hours prior to planned service interruption and shall not be out of service longer than four (4) hours.
- 22. The horizontal separation of water and non-potable water mains shall be a minimum of ten (10) feet from the outside of the pipes. Where it is necessary for water and non-potable water to cross each other and the non-potable line is less than 18" below or above the water line, the non-potable water line shall be PVC Pressure Pipe conforming to AWWA C-500 Class 155 or ASTM D2241 Class 250 or 200, for a distance of ten (10) feet on both sides of the water line. If the non-potable line crosses above the water line, at less than 18", then the non-potable line must be supported according to IDAPA 58.01.08.542.07. One full length of both water line and non-potable water line shall be centered over the crossing point so that all joints will be as far from the crossing as possible. In lieu of constructing or reconstructing the non-potable water line, either the non-potable water line or the water line may be encased with sleeving material acceptable to IDEQ for a distance of ten (10) horizontal feet on both sides of the crossing.
- 23. The horizontal separation of non-potable water services and potable water services or potable water mains shall be a minimum of six (6) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and section 430.02 of the Wastewater Rules (IDAPA 58.01.16).
- 24. All water mains shall have a minimum of 48" and a maximum of 72" of cover from finished grade to top of pipe.
- 25. All water valves shall be placed so as to not conflict with any concrete curb, gutter, valley gutter, and sidewalk improvements. All existing and new valves shall be adjusted to final grade and fitted with concrete collars in accordance with the ISPCWC.
- 26. Hot taps of existing water mains shall be performed by a trained contractor in this procedure. Hot taps shall be witnessed by the Project Engineer.

Existing Topography Features



Existing Utilities



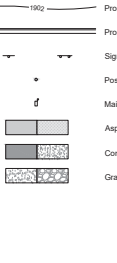
GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

- 1. Any disturbed soils shall be recompacted or removed and replaced with controlled, compacted fill. Loose fill thickness shall not exceed six (6) inches. Fill shall be compacted to at least 98% of ASTM D698 (standard proctor) within -3% to +3% of optimum moisture content. Compaction in trenches shall be obtained using a vibratory sheeps foot compactor.
- 2. Subgrade preparation shall be performed beneath all proposed pavements, the soil shall be scarified to a depth of 12" below subgrade and recompacted to at least 98% of ASTM D698 (standard proctor) within -3% to +3% of optimum moisture content.
- 3. All topsoil in construction areas shall be stripped and separated from other inorganic soil materials. The contractor shall take necessary precautions to prevent the mixing of topsoil with other materials. The topsoil shall be respread to a depth of at least six (6) inches. Refer to note 7 for seeding requirements.
- 4. Excess material (topsoil/calcitr/gravel, etc.) shall become the property of the contractor and shall be disposed of off site.
- 5. Contractor shall place erosion controls as necessary during construction. Final erosion control measures shall be constructed within 30 days of completing underground utility construction.
- 6. Contractor shall be responsible to maintain site and shall correct any erosion issues immediately.
- 7. Seeding type, location, and application rates shall be per the ISPCWC, contractor shall only seed between May 1 and June 15 or September 1 to October 15.
- 8. contractor shall warranty seeding until vegetation is established at a rate of not less than 80% coverage.

Proposed Utilities



Proposed Topography Features



General Abbreviations

A/C	Air Conditioning	NC	Normally Closed
ARV	At-Release Valve	NG	Natural Gas
ASME	American Society Of Mechanical Engineers	NO	Normally Open
ASTM	American Society Of Testing Materials	NPS	Nominal Pipe Size
AVAR	At Vacuum And Air Release	NPT	National Pipe Thread
		NPS	Not To Scale
B	Backfill	OC	On-Center
BF	Backfill Flange	OD	Outside Diameter
BFP	Backflow Preventer	OF	Overflow
BLDG	Building	P	Pump
BRV	Backflow Valve	PG	Pressure Gauge
		PI	Point Of Intersection
		PRV	Pressure Reducing Valve
		PSI	Pounds Per Square Inch
		PVC	Polyvinyl Chloride
		QTY	Quantity
		R	Rebar
		RCP	Reinforced Concrete Pipe
		RED	Reducer
		RJ	Restrained Joint
		S	Slope
		SF	Silt Fence
		SH	Sheet
		SM	Similar
		SPCS	Specifications
		SS	Sanitary Sewer
		SSMH	Sanitary Sewer Manhole
		ST	Storm Sewer
		STD	Standard
		STL	Steel
		STMH	Storm Sewer Manhole
		I	
		TBC	Top Back Curb
		TEMP	Temporary
		TAG	Tongue And Groove
		TK	Tank
		TOC	Top Of Crossing
		TOG	Top Of Groat
		TVP	Typical
		U	Up Post
		UV	Ultra Violet
		V	Vertical
		VERT	Vertical
		VCP	Vertical Clay Pipe
		W	Water
		WI	With
		W/O	Without
		WS	Water Surface
		WSP	Welded Steel Pipe
		X	
		X	Chisel X
		YD	Year
		YR	Year
		Z	Zoning

NOTE:
THIS IS A GENERAL LIST OF SYMBOLS, LINES AND ABBREVIATIONS. NOT ALL ARE USED ON THIS PROJECT AND SOME MAY NOT BE SHOWN.

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MINN, ND | HARGO, ND | BOZEMAN, MT

REGISTERED PROFESSIONAL ENGINEER
No. 167369
RICHMOND M. COLT
SCALE: HPI, NA
SCALE: VPI, NA
DRAWN BY: GDB
DESIGNED BY: GDB
CHECKED BY: AVC

DELLA MOUNTAIN SUTIES
1611 AVIATION DRIVE
HAILEY, ID 83433
NOTES & LEGEND

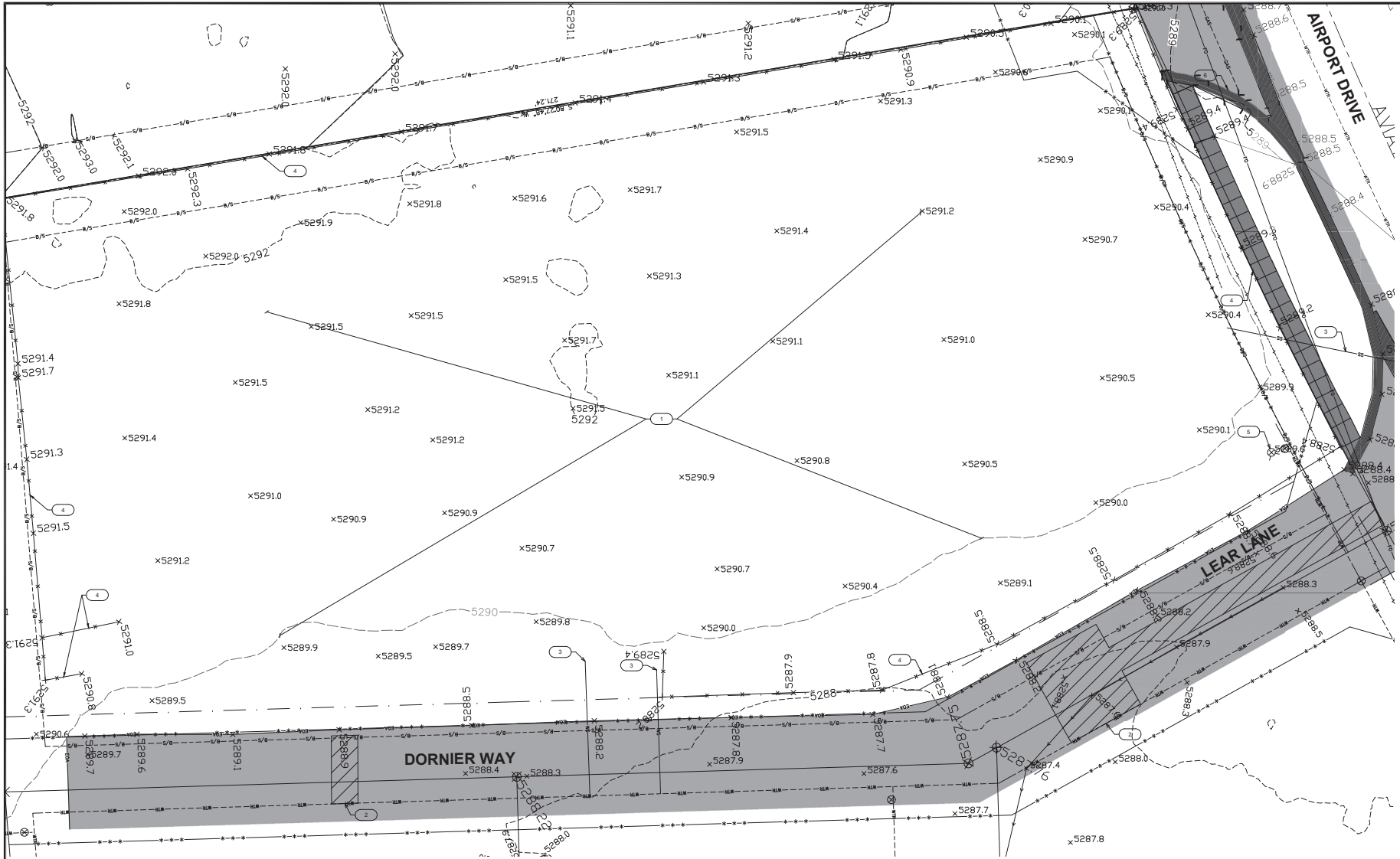
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DATE
1/16/26
1/16/26
1/16/26

PROJECT NO.
R25042

NOTES & LEGEND
C1.0



GENERAL NOTES

1. ALL UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THIS PLAN. UPON COMPLETION OF CONSTRUCTION, ACCESS TO THE FOLLOWING STRUCTURES SHALL NOT BE HINDERED.
2. ACKERMAN/ESTVOLD MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PRESERVE AND PROTECT EXISTING FACILITIES NOT SCHEDULED FOR REMOVAL AND COORDINATE WITH THE PROJECT ENGINEER IF UNEXPECTED FACILITIES ARE ENCOUNTERED.
3. ALL UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED UPON LOCATE MARKS AND PHYSICAL ABOVE GROUND FEATURES SUCH AS VALVES, BOXES, MANHOLES, ETC. ACTUAL LOCATIONS MAY VARY. CALL BARRIERS DIGLINE AT 811 OR 1-800-345-5888 PRIOR TO ANY EXCAVATION OR DIGGING ACTIVITIES.
4. THIS TOPOGRAPHIC SURVEY DOES NOT NECESSARILY SHOW ALL OF THE PHYSICAL FEATURES OF THE PROPERTY AND THE PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS, RIGHTS-OF-WAY AND ALL OTHER ENCUMBRANCES OF RECORD OR IMPLIED.

DEMOLITION PLAN KEY NOTES

- 1 CLEARING AND GRUBBING SHALL BE COMPLETED IN SUCH A MANNER AS TO MINIMIZE DISTURBANCE TO SURROUNDING VEGETATION AND SOIL NOT DESIGNATED FOR REMOVAL. GRUBBED AREAS SHALL BE PROPERLY GRADED AND STABILIZED TO PREVENT EROSION UNTIL FURTHER CONSTRUCTION ACTIVITIES COMMENCE.
- 2 TRENCH REPAIR PER SP19C SD-301 (TV)S
- 3 REMOVAL OF SERVICE LINE. REMOVE EXISTING WELL ON-SITE. COORDINATE WITH CITY OF HAILEY FOR PROCEDURES.
- 4 REMOVAL OF FENCE
- 5 REMOVAL OF FIRE HYDRANT
- 6 REMOVAL OF EXISTING CURB

LEGEND:

- W — WATER SERVICE
- S — SANITARY SEWER
- W — WATER
- F — FENCE
- R — ROLLINGBAR
- B — BUILDING BACK SET
- FO — FIBER OPTIC
- U — UNDERGROUND POWER
- G — GAS MAIN
- EA — EDGE OF ASPHALT
- ASPHALT PAVEMENT



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Scale: 1" = 10'

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Member: ASCE | Registered Professional Engineer | License: PE



SCALE: 1" = 10'
SCALE BY: NA
DRAWN BY: CDB
DESIGNED BY: CDB
CHECKED BY: JMC

DELLA MOUNTAIN SUITES
1611 AVIATION DRIVE
HAILEY, ID 83333
DEMO PLAN

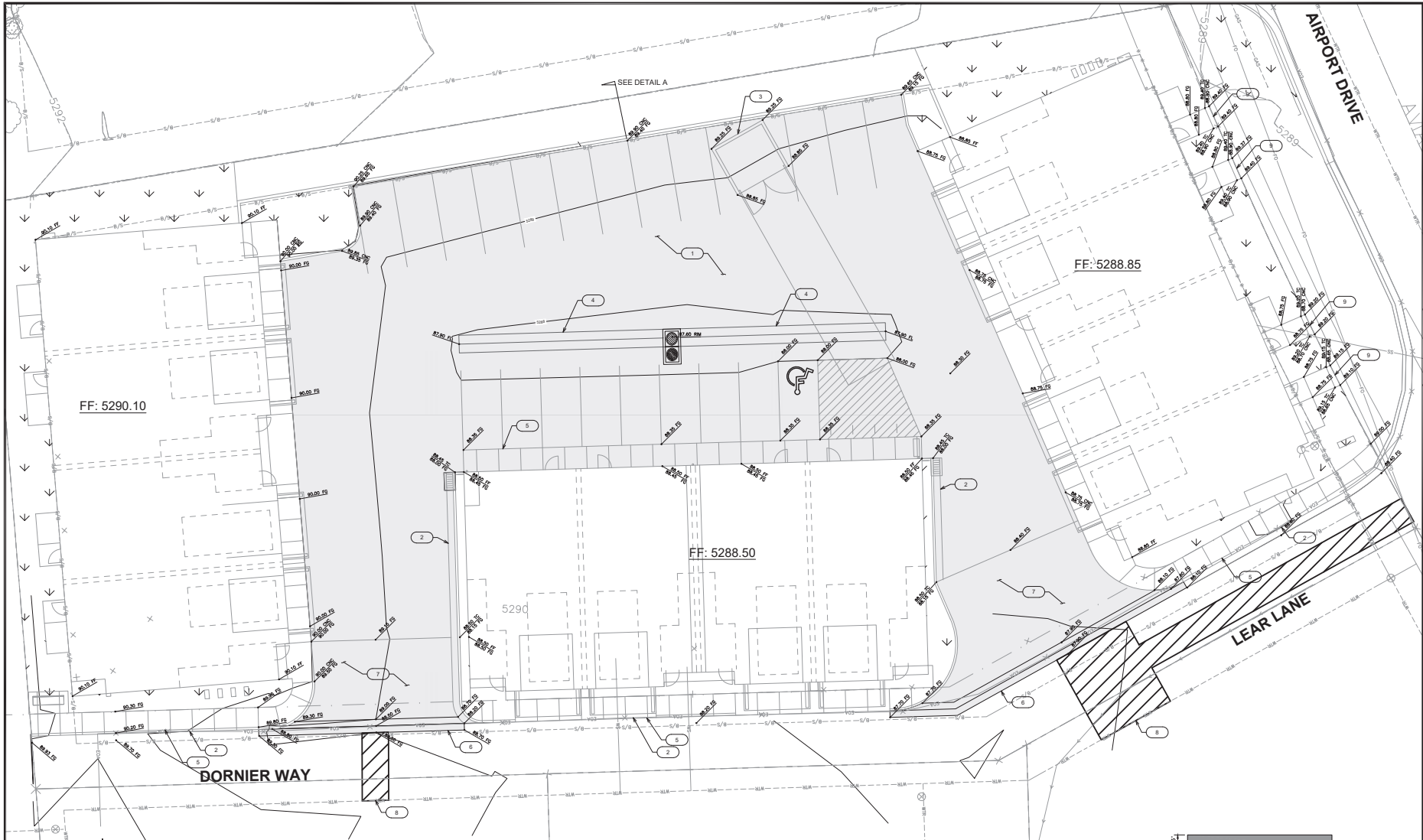
DATE: 1/16/2026

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2	1/16/26
3	1/16/26

PROJECT NO. R25042

DEMO PLAN

C2.0



FF: 5290.10

FF: 5288.85

FF: 5288.50

DORNIER WAY

LEAR LANE

SEE DETAIL A



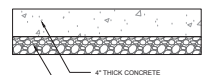
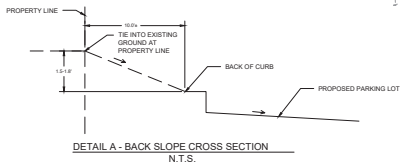
Graphic Scale:
 Attention is Drawn to the Fact That Drawing Scales May be Altered During Reconstruction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36".
 Scale: 1" = 10'

GENERAL NOTES

1. ALL ACCESSIBLE PARKING STALLS SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% IN ANY DIRECTION. ALL ACCESSIBLE PATHS OF TRAVEL SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% AND A LONGITUDINAL SLOPE LESS THAN 5%.

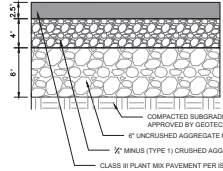
GRADING PLAN KEY NOTES

- 1. CONSTRUCT ASPHALT PARKING LOT PER TYPICAL FLEXIBLE ASPHALT PAVEMENT SECTION BELOW. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- 2. CONSTRUCT 6" VERTICAL CURB AND GUTTER PER ISPWIC SPECIFICATION STD DWG SD-701.
- 3. TRASH ENCLOSURE PER ARCHITECTURAL DETAILS.
- 4. CONSTRUCT VALLEY GUTTER PER ACHD SUPPLEMENTAL TO THE ISPWIC SPECIFICATION STD DWG SD-708.
- 5. CONSTRUCT 4" PCC WALKWAY OVER 4" AB.
- 6. CONSTRUCT DRIVEWAY AND VALLEY GUTTER PER ACHD SUPPLEMENTAL TO THE ISPWIC SPECIFICATION STD DWG SD-708.
- 7. CONSTRUCT 5" PCC DRIVEWAY OVER 4" AB.
- 8. TRENCH REPAIR PER ISPWIC SD-501 (TYP).
- 9. CONSTRUCT CONCRETE STEPS PER ISPWIC STANDARD DRAWING SD-713.



NOTES:
 • GEOTECHNICAL CONSULTANT TO VERIFY SUBGRADE COMPETENCY AT TIME OF CONSTRUCTION

CONCRETE SIDEWALK SECTION



COMPACTED SUBGRADE MATERIAL APPROVED BY GEOTECHNICAL CONSULTANT
 6" UNCRUSHED AGGREGATE PER ISPWIC SECTION 801
 2" MINUS (TYPE 1) CRUSHED AGGREGATE BASE COURSE
 CLASS II PLANT MIX PAVEMENT PER ISPWIC SECTION 810

FLEXIBLE PAVEMENT SECTION (PRIVATE PARKING)

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 REGISTERED PROFESSIONAL ENGINEER
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 License No. 1 Page No. 1 of 1 Date: 1/16/2026

REGISTERED PROFESSIONAL ENGINEER
 116728
 REGINIO M. COSTA

SCALE: 1" = 10'
 SCALE: 1" = 10'
 DRAWN BY: CDB
 DESIGNED BY: CDB
 CHECKED BY: JMC

DELLA MOUNTAIN SUITES
 1611 AVIATION DRIVE
 HAILEY, ID 83333
GRADING PLAN

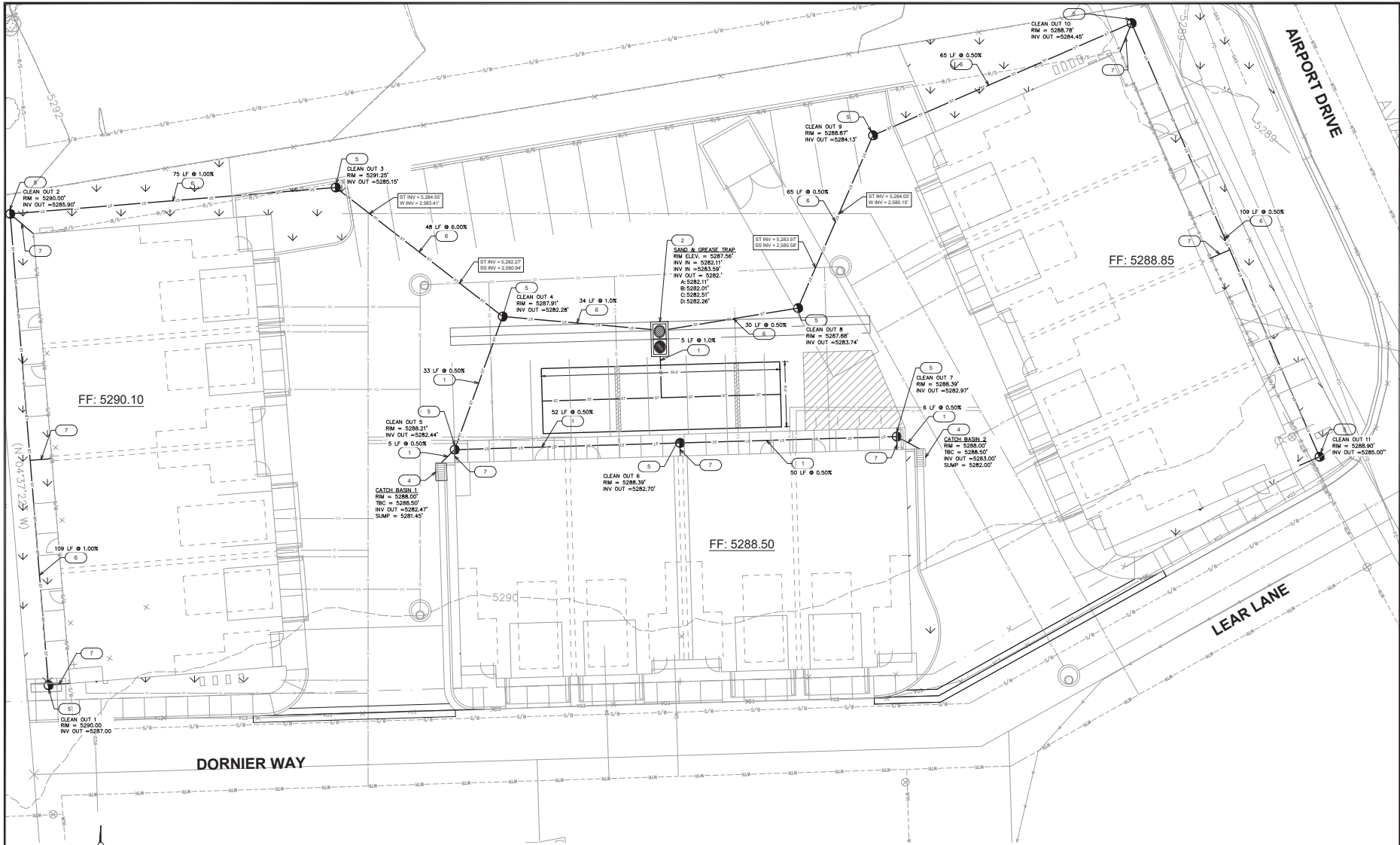
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PROJECT NO. R25042

GRADING PLAN

C3.0



GENERAL NOTES

- THE CONTRACTOR SHALL CALL DIG LINE (800-342-1985) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- ENGINEER MUST VERIFY THE INFILTRATION RATE AFTER THE FACILITY IS FULLY EXHAUSTED.
- CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF GROUNDWATER IS ENCOUNTERED WITHIN 1.5 FEET OF THE BOTTOM DESIGN ELEVATION FOR ANY INFILTRATION FACILITY AND/OR IF GROUNDWATER IS HIGHER THAN ANTICIPATED.

DRAINAGE PLAN KEY NOTES

1. INSTALL 12" DIA. PVC SDR 35 STORM DRAIN PIPE. LENGTH AND RISE AS SHOWN.
2. INSTALL 1,000 GALLON SAND & GREASE TRAP W/ BLOTTED LID PER IS/PC STANDARD DRAWING SD-624. RIM AND INVERT AS SHOWN. REFER TO DETAIL FOR MORE INFORMATION.
3. INSTALL SEEPAGE BED PER DETAIL ON SHEET C3.2
4. INSTALL TYPE I INLET CATCH BASIN WITH 12" SUMP PER IS/PC STANDARD DRAWING SD-401.
5. INSTALL 18" TRAPIC BATED STORM CLEANOUT PER IS/PC STANDARD DRAWING SD-506.
6. INSTALL 8" DIA. PVC SDR 35 STORM DRAIN PIPE. LENGTH AND SLOPE AS SHOWN.
7. CONNECT TO ROOF LEADER.

Graphic Scale:
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 Scale: 1" = 10'

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 Anna M. Estvold, P.E., Registered Professional Engineer
 J. James E. Ackerman, P.E., Registered Professional Engineer



SCALE: HORIZ. 1" = 10'
 SCALE: VERT. NA
 DRAWN BY: CDB
 DESIGNED BY: CDB
 CHECKED BY: JMC

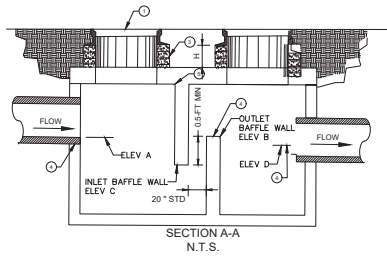
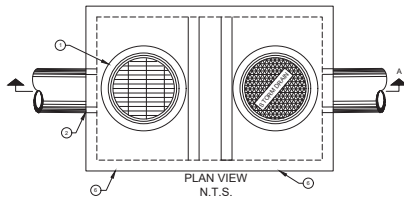
DELLA MOUNTAIN SUITES
 1611 AVIATION DRIVE
 HAILEY, ID 83333
DRAINAGE PLAN

DATE: 1/16/2026

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3	1/16/26

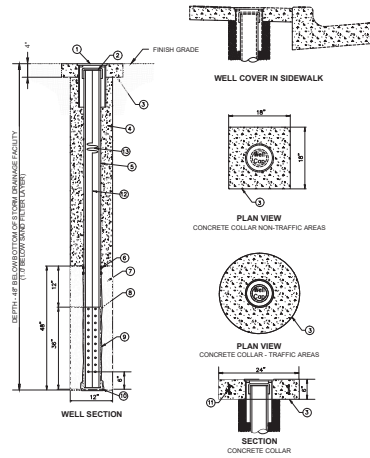
PROJECT NO.
 R25042
DRAINAGE PLAN

C3.1



1,000GAL SAND AND GREASE TRAP
PER ISPPWC SD-624.

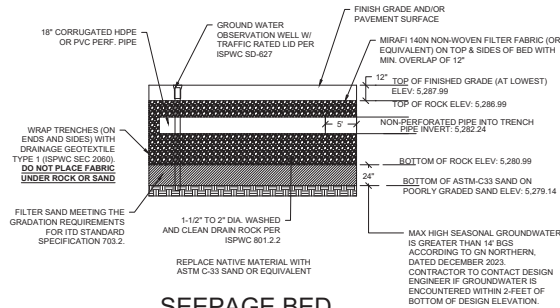
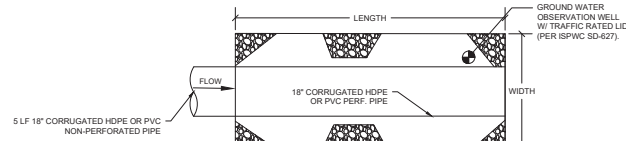
- NOTES
1. SAND AND GREASE TRAP USED FOR SUBSURFACE FACILITIES ONLY
- LEGEND:
 ○ MANHOLE FRAME AND COVER PER SD-617 (TYPICAL)
 ○ LOCATION AND FL ELEV PER DESIGN PLANS (TYPICAL)
 ○ H 1-FT USE GRADE RINGS (TYPICAL)
 ○ 1-FT < H <= 2-FT USE 24" DIA RCP RISER
 ○ 2-FT < H <= 10-FT USE MANHOLE CONE & 48" DIA RISERS
 ○ EL. A > EL. B BY 0.10' MIN
 ○ EL. D > EL. C BY 0.25' MIN
 ○ EL. C < EL. B BY 0.50' MIN
 ○ WATERTIGHT SEAL
 ○ PRECAST BOX MANUFACTURER SHALL MARK FLOW DIRECTION AND LABEL INLET OR OUTLET ON SIDE OF BOX



GROUND WATER OBSERVATION WELL
N.T.S.

- SEEPAGE BED NOTES
1. PIPE PERFORATION TO BE 3/8" PERFORATIONS IN VALLEYS OF CORRUGATED PIPE. 5 EA ON TOP HALF.
 2. BOTTOM OF STORAGE ROCK SHALL BE A MINIMUM OF 2' ABOVE GROUND WATER LEVEL. NOTIFY ENGINEER IMMEDIATELY IF LESS THAN 2' FROM THE BOTTOM OF DESIGN ELEVATION FOR ANY INFILTRATION FACILITY.
 3. SEEPAGE BED LENGTH, 2" WASHED DRAIN ROCK DEPTH AND ELEVATIONS ARE SHOWN IN THE FOLLOWING SEEPAGE BED DATA TABLE.
 4. CONTRACTOR TO HAVE PERCOLATION TEST PERFORMED BY GEOTECHNICAL ENGINEER AFTER DRAINAGE STRUCTURES ARE FULLY EXCAVATED.
 5. IF DESIGN INFILTRATION RATES CANNOT BE ACHIEVED, CONTACT THE DESIGN ENGINEER FOR SEEPAGE BED DESIGN ADJUSTMENTS.
 6. MAKE COMPATIBLE CONNECTION BETWEEN PERFORATED AND SOLID PIPE ROUGHLY 1.0' ± WITHIN THE SEEPAGE BED.
 7. GROUT ANNUAL SPACE BETWEEN THE SAND & GREASE TRAP AND PIPE TO PROVIDE A WATER-TIGHT SEAL.

PLAN VIEW



SEEPAGE BED
DESIGN INFILTRATION RATE: 8.0 IN./HR.

SEEPAGE BED TABLE

BED NO.	LENGTH	WIDTH	ROCK DEPTH	TOP OF ROCK	PIPE INVERT	BOTTOM OF ROCK
BED #1	55'-0"	15'-0"	6'-0"	5286.99	5282.24	5280.99

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 208.832.6470 - www.ackermanestvold.com
 Annae Estvold | Paige Estvold | James Estvold



SCALE (H): NA
 SCALE (V): NA
 DRAWN BY: CDB
 DESIGNED BY: CDB
 CHECKED BY: JMC

DELLA MOUNTAIN SUITES
 1611 AVIATION DRIVE
 HAILEY, ID 83333
 DRAINAGE DETAIL PLAN

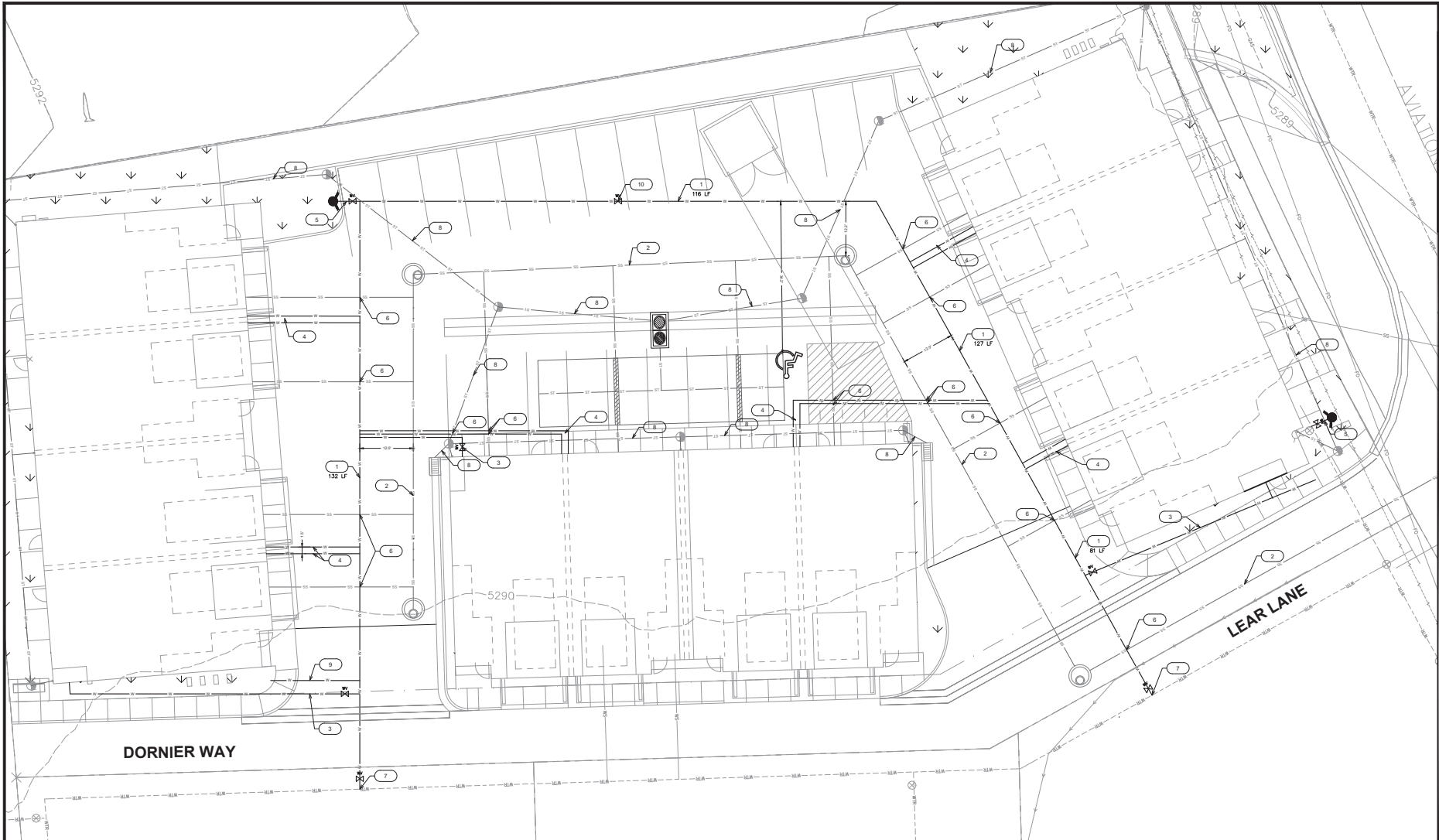
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PROJECT NO.
R25042

DRAINAGE DETAIL

C3.2

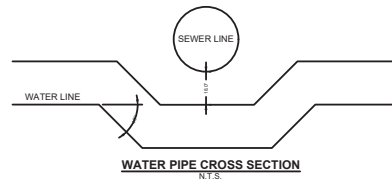


GENERAL NOTES

1. ALL ACCESSIBLE PARKING STALLS SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% IN ANY DIRECTION. ALL ACCESSIBLE PATHS OF TRAVEL SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% AND A LONGITUDINAL SLOPE LESS THAN 5%.

UTILITIES PLAN KEY NOTES

1. INSTALL C900 PVC WATER MAIN LENGTH AS INDICATED ON PLANS.
2. INSTALL SANITARY SEWER SEE SHEET C4.1.
3. 6" FIRE SERVICE LINE WITH WATER VALVE PER ISPWG SD-406.
4. 8" WATER SERVICE CONNECTION, INSTALL 1/2" THICK BLUE SIGNS OVER THE SERVICE LINE IN AREA OF ASPHALT.
5. INSTALL FIRE HYDRANT PER ISPWG STANDARD SD-404. COORDINATE WITH CITY FOR HYDRANT LOCATION.
6. MAINTAIN 18" VERTICAL CLEARANCE BETWEEN POTABLE AND NON-POTABLE LINES. CONTRACTOR TO CONSTRUCT VERTICAL BENDS IN WATER IF NECESSARY.
7. CONTRACTOR TO VERIFY LOCATION OF WATER MAIN AND CONNECT TO EXISTING MAIN LINE. INSTALL FITTING AND JOINT RESTRAINT PER ISPWG SD-403 IF NEEDED.
8. INSTALL STORM DRAIN PER SHEET C3.1.
9. 1.5" IRRIGATION LINE WITH WATER METER.
10. INSTALL 1 - 8" VALVES PL-M.



Graphic Scale:

Attention is Drawn to the Fact That Drawing Scales May be Altered During Renovation Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36".

Scale: 1" = 10'

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 DRAWN BY: CDB
 DESIGNED BY: CDB
 CHECKED BY: AMC

DELLA MOUNTAIN SUITES
 1611 AVIATION DRIVE
 HAILEY, ID 83333
WATER PLAN

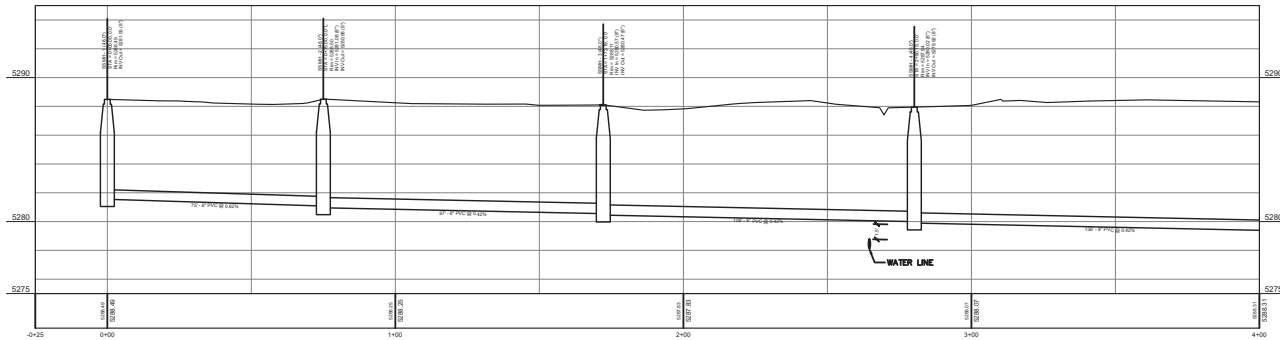
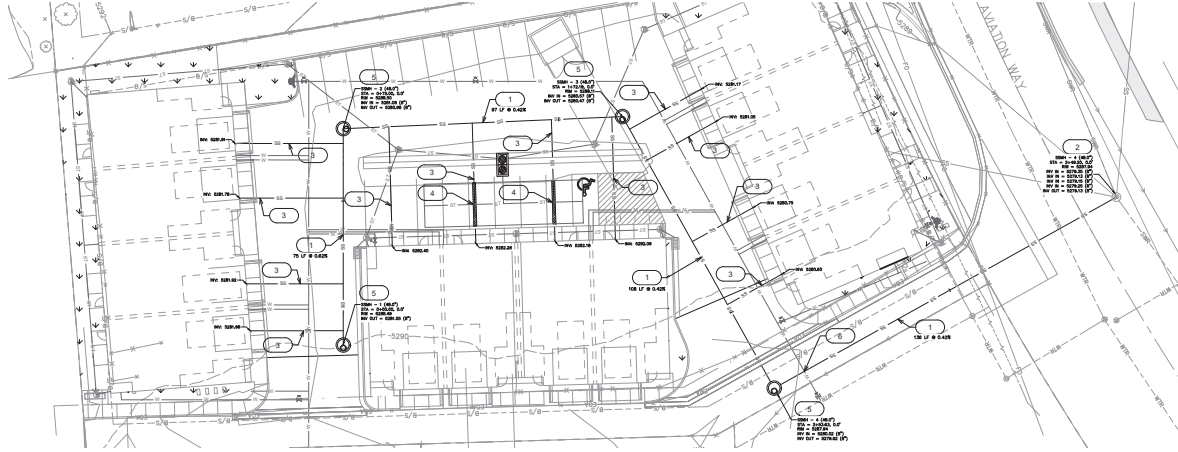
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PROJECT NO. R25042

WATER PLAN

C4.0



PROFILE - SEWER MAIN LINE
SCALE: 1" = 20'

UTILITIES PLAN KEY NOTES

- | | | | |
|---|---|---|---|
| 1 | INSTALL SANITARY SEWER. LENGTH AND SLOPE AS INDICATED ON PLANS. | 5 | INSTALL 4" STANDARD CONCRETE MANHOLE PER ISPWIC STANDARD DRAWING SD-501. RIM AND INVERT ELEVATIONS AS SHOWN. |
| 2 | CONNECT TO EXISTING MANHOLE. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
8" PVC RW IN @ 4.27% SLOPE
INV OUT = 5.479.132 | 6 | MAINTAIN 18" VERTICAL CLEARANCE BETWEEN POTABLE AND NON-POTABLE LINES. CONTRACTOR TO CONSTRUCT VERTICAL BEND IN WATER IF NECESSARY. |
| 3 | 8" SERVICE LINE PER ISPWIC SD-511 @ S = 2.0% MIN. | | |
| 4 | INSTALL 12" SANITARY SERVICE SLEEVE. PROVIDE ADDITIONAL SLEEVE FOR CONTROL WIRES AS NEEDED. | | |



Graphic Scale:

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Scale: 1" = 20'

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SCALE: 1" = 20'
SCALE: 1" = 20'
DRAWN BY: CDB
DESIGNED BY: CDB
CHECKED BY: AMC

DELLA MOUNTAIN SUITES
1611 AVIATION DRIVE
HAILEY, ID 83333
SEWER PLAN

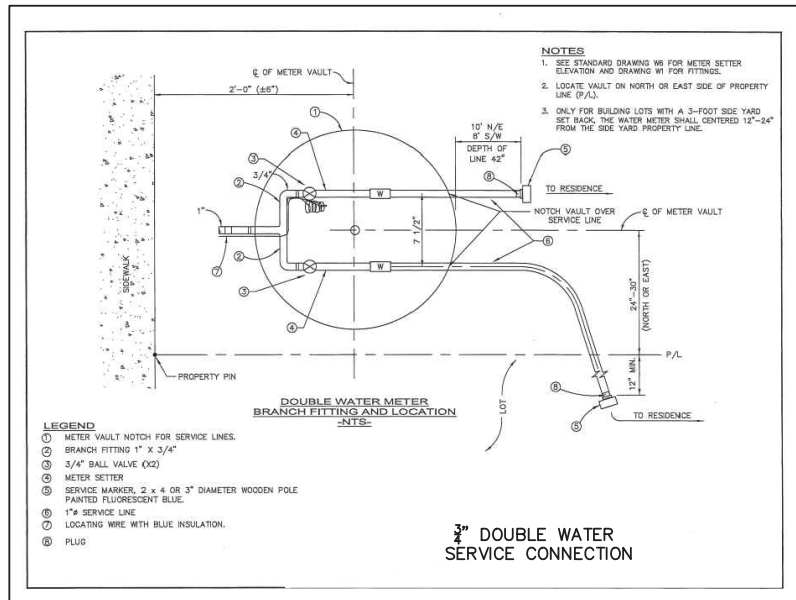
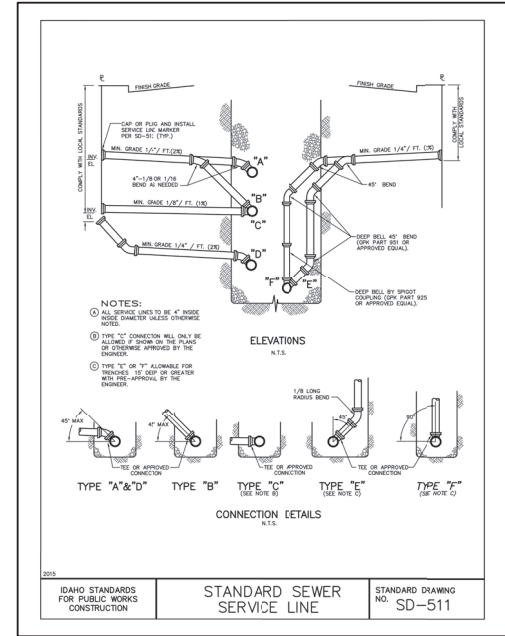
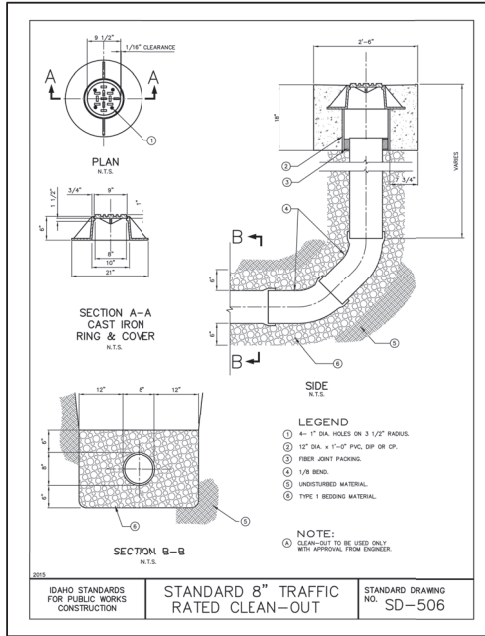
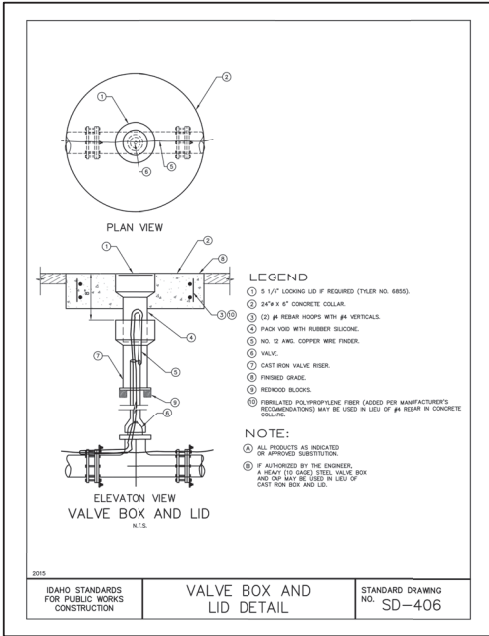
DATE: 1/16/2026

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PROJECT NO. R25042

SEWER PLAN

C4.1



Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of February 2, 2026

To: Hailey Planning & Zoning Commission
From: Emily Rodrigue, Community Development City Planner/Resilience Planner

Overview: Continuation of a Preliminary Plat Application by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU). This project, to be known as Della Mountain Suites, is located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District.

Hearing: February 2, 2026

Applicant: 1611 Aviation LLC
Project: Della Mountain Suites
Location: 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2)
Size: 1 acres (43,554 sq. ft.)
Zoning: Service Commercial Industrial-Industrial (SCI-I) Zoning District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 17, 2025, and mailed to property owners within 300 feet on December 17, 2025. No additional notices were sent, or publications made.

Background: On November 18, 2025, the Applicant submitted a Preliminary Plat Application to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU). Proposed as Della Mountain Suites, this subdivision application has also been submitted concurrently with a full Design Review Application. The Applicant previously engaged with Staff and the Commission in April 2025, when a Design Review Pre-Application for the Della Mountain Suites project was initially discussed and reviewed.

Each condominium subplot is proposed to be approximately 2,293 square feet in size. Sublots are proposed in clusters of four (4), situated across three (3) separate buildings. Each subplot will contain one (1) condominium unit. The first floor of each unit covers 1,093 square feet, while the second floor is proposed at 1,200 square feet. The submitted condominium airspace plat lists 900 square feet of second floor area within each subplot as "Living". The Applicant is proposing one (1) of the twelve (12) condominium sublots (Sublot/Unit 112) to be fully developed as a mixed-use unit at the time of project construction. Unit 112 will host a one (1) bedroom ADU unit that will be occupied by the unit's owner and/or employees of the business entity that subsequently occupies the commercial condo space. The remaining eleven (11) condominium sublots will be developed as commercial condominiums, with unit floor plans and building programming that facilitate the potential construction of an ADU within each unit at a later date, should individual condominium owners wish to complete those improvements.

The proposed preliminary plat includes a plat note that requires any future owners within Della Mountain Suites to submit an Accessory Dwelling Unit Application to the City of Hailey and receive approval, prior to any ADU construction. The Applicant has stated that Della Mountain Suite’s subdivision CC&R’s will also provide regulation over future ADU development, in addition to any CC&R requirements of the broader Airport West Subdivision.

Across the 43,554 square foot property, 15,924 square feet will be occupied by the building footprints of Buildings 1-3. Landscape area will occupy 9,992 square feet, and the remaining 18,268 square feet of property area is dedicated to surface parking, sidewalks, and various access/utility easements. “Parcel A” of the Airport West Subdivision, Phase II, is located directly to the west of the property. Parcel A contains the publicly accessible grass pathway/open space, directly to the east of Broadford Road. The Applicant has proposed pedestrian pathway connections from their property to Parcel A.

January 5th, 2026 Public Hearing: The Preliminary Plat Application was heard concurrently with a proposed Design Review Application. At the Public Hearing, the Commission’s only comment on the Preliminary Plat was a request for clarification on Easement Note “H”, which calls out a “Designated Approach and Access Easement”. A call-out on the Plat shows this Easement H area to be vacated, as coordinated by the Applicant and the adjacent property owner to the north at 1551 Aviation Drive, who also previously held a portion of the shared access easement on their property as well. A Vacation and Disclaimer of Easement (Instrument No. 716388) has been jointly filed by both property owners at 1611 and 1551 Aviation Drive and recorded with Blaine County.

The Applicant has not proposed any other substantive changes to their site plan that would warrant plat map adjustments.

Procedural History: The Applicant submitted their Preliminary Plat Application for Della Mountain Suites on November 18, 2025, and it was certified complete on November 25, 2025. A public hearing before the Planning and Zoning Commission was held on January 5, 2026, in Hailey City Hall Council Chambers and virtually via Microsoft Teams. A unanimous motion to continue the public hearing to a date certain was made by the Commission. A public hearing before the Planning and Zoning Commission will be held on February 2nd, 2026 in Hailey City Hall Council Chambers and virtually via Microsoft Teams.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments.
				Fire/Safety: No comments.
				Water and Sewer: Water and Wastewater Division Managers provided specific utility feedback through the Applicant’s concurrent Design Review Application. This feedback has been addressed through various Conditions of Approval placed on the Design Review Application. Refer to Design Review Application materials for further detail.
				Building: No comments.
				Streets: No comments.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>N/A – The project proposed here does not include any new streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.
			Staff Comments	<i>N/A – No cul-de-sacs nor dead-end streets are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments	<i>The Applicant has proposed two (2) curb cuts off of Dornier Way/Lear Lane. Both curb cuts are located towards the southern property line. As a commercial condominium development proposal, both Staff and the Applicant anticipate potential industrial vehicle/equipment traffic associated with the property. Multiple access points for the property will facilitate smoother entry/exit patterns for these larger industrial vehicles and mitigate the need for a large turn-around area. This design helps to preserve surface parking for passenger vehicles and create safer pedestrian routes to the buildings and through the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			Staff Comments	<i>N/A – No streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures

				including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			Staff Comments	<i>N/A – No public streets nor traffic calming measures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			Staff Comments	<i>N/A – No public streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			Staff Comments	<i>N/A – No roadways are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			Staff Comments	<i>N/A – No new road grades are proposed. The public streets are existing and meet City Standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.
			Staff Comments	<i>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate.</i> <i>The Applicant is aware of both shallow injection well and stormwater permit requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			Staff Comments	<i>The Applicant will install Handicap Parking signage for the two (2) required ADA parking stalls. Signs will be installed according to City Standards. Monument signage is also proposed for the southeast corner of the property; however, the design of the signage and any necessary applications will be addressed at a future time, according to the Applicant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			Staff Comments	<i>N/A – No new streets nor alleys are proposed.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no

				Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A – No private streets are proposed.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>The Applicant has proposed two (2) curb cuts off Lear Lane/Dornier Way, accessing a single parking area that will serve all owners, tenants, and/or customers of Della Mountain Suites. Based on the scale of the proposed development, parking requirements, and life/safety access needs, Staff and Streets Division manager approve of the proposed access design</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.

			Staff Comments	<i>N/A. No individual driveways are proposed, only a shared parking area that will serve all owners, tenants, and/or customers of Della Mountain Suites. It will be accessed via two (2) curb cuts along Lear Lane/Dornier Way. The parking area utility structures, and dumpsters have been reviewed and approved by both Public Works and the Hailey Fire Marshall. All snow will also be hauled off site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			Staff Comments	<i>The proposed parking area has been reviewed and approved by the Hailey Fires Marshall.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner’s association, or in accordance with a plat note.
			Staff Comments	<i>The parking area will be governed and maintained by the Della Mountain SuitesHOA and CC&R’s. A draft copy of the proposed CC&R’s has not yet been submitted to the City of Hailey. The Applicant shall submit a draft copy of the proposed CC&R’s, prior to any approval of the Findings of Fact. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			Staff Comments	<i>A thirty (30) foot-wide Access and Utility Easement is designated on the Preliminary Plat, extending from Aviation Drive to the property’s western terminus. The easement is stated to benefit Lots 3B, and Lots 4A-4O, Block 4, Airport West Subdivision. 29,032 square feet of Common Area is also indicated on the plat, which contains the parking area and landscaped areas. A building setback envelope is also shown on the plat. Definitions and procedures for the identified Common Areas are outlined in the Condominium Declarations (Plat Note #8).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			Staff Comments	<i>The single proposed ADU unit (located in Unit 112) can be accessed from one (1) of either two (2) human entry doors, located on the ground level of the north and south elevation of the unit. An interior stairwell provides access to the residential unit. Any additional residential units constructed in the future will have identical access points as Unit 112. Buildings 1 and 3 propose exterior balcony areas on the second level, facing interior to the lot and into the parking area. These balcony areas are designed to provide the required outdoor access space for any potential future ADU units that are constructed in these condo units. Building 2 contains the only formally proposed mixed-use condo unit for the project, with one (1) ADU proposed on the second level of Unit 112. Building 2 balcony areas face exterior to the site, towards Lear Lane/Dornier Way. In an effort to create a communal atmosphere, provide a level of privacy, and maintain consistent design across all three (3) buildings, the Applicant proposed the interior-facing balcony areas for Buildings 1 and 3. Staff support this site design and do not believe that the parking area will have adverse impact on residential dwelling units, either formally proposed or potential units in the</i>

				<i>future. This area does not appear to interfere with maintenance of any existing infrastructure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>The proposed parking access area has been approved by the Fire Department and will be inspected for IFC compliance during the final plat inspections.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	<i>The site plan for the parking area has been inspected by the Hailey Fire Department and appears to comply with all regulations set forth in the IFC and other applicable codes and ordinances.</i>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			Staff Comments	<p><i>The Applicant is proposing to construct a new, publicly accessible sidewalk along the property's southern boundary on Lear Lane/Dornier Way, accommodating for two (2) curb cuts that facilitate vehicular access to the onsite parking area. This sidewalk will also provide connection to the public open space (Parcel A) that is located between 1611 Aviation Drive and Broadford Road. The proposed Preliminary Plat Map does not indicate this sidewalk section as publicly accessible, although it is located within an Access and Utility Easement that is currently meant to benefit Lots 3B. and Lots 4A-40, Block 40, Airport West Subdivision.</i></p> <p><i>The Applicant shall provide a Public Access Easement for the proposed sidewalk along the property's southern boundary. A revised Preliminary Plat Map indicating this Public Access Easement shall be submitted to the City, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>Public sidewalk along the majority of the eastern property boundary is existing, although a small portion in the northeast corner is incomplete, due to a previously developed shared access easement with 1551 Aviation Drive. This easement is proposed to be vacated, as negotiated between the adjoining property owners and outlined on the preliminary plat. Sidewalks along each building's interior frontage are also proposed for further site connectivity.</i></p> <p><i>The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive. This has been made a Condition of Approval.</i></p> <p><i>The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain. This request from the Wastewater Division Manager is addressed within the Conditions of Approval for the Applicant's corresponding Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</i></p> <p><i>See Section 16.04.020(l) for further discussion on the Applicant's approach to required drainage improvements.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>See Section 16.04.030(A) for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			<i>Staff Comments</i>	<i>The Applicant is proposing new sidewalks that will provide direct access to the public grass pathway located in Parcel A, directly west of the property. The ongoing Airport Way Master Plan development process proposes potential pathway enhancements in Parcel A, further underscoring the value of the Applicant's proposed pedestrian connections to this area.</i> <i>A Condition of Approval has been placed on the Preliminary Plat and Design Review Applications, requiring the completion of public sidewalk in the vacated shared access area at the northeast corner of the property. The completion of this sidewalk improvement will provide enhanced pedestrian connectivity along Aviation Drive. See Section 16.04.030(A) for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			<i>Staff Comments</i>	<i>The Applicant is providing publicly accessible sidewalks on the north side of Lear Lane/Dornier Way, which currently functions as a non-through street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			<i>Staff Comments</i>	<i>N/A – This is a Preliminary Plat Application for a new condominium subdivision, this project involves more than a Lot Line Adjustment.</i>
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			<i>Staff Comments</i>	<i>N/A. This project is located in the Service Commercial Industrial-Industrial (SCI-I) Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			<i>Staff Comments</i>	<i>N/A – No alleys are planned at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			<i>Staff Comments</i>	<i>N/A – No alleys are planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			<i>Staff Comments</i>	<i>Alleys are not planned nor platted at this time. The proposed underground utilities are routed in public utility easements along the southern property boundary (Lear Lane/Dornier Way).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			<i>Staff Comments</i>	<i>N/A – Alleys are not planned for this parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			<i>Staff Comments</i>	<i>N/A – The proposed design does not include a dead-end alley.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	<p><i>The proposed plat includes:</i></p> <ul style="list-style-type: none"> • A Public Utility, Snow Storage, and Landscape Easement (10 foot width) on the eastern property boundary along Aviation Drive. • An Irrigation Easement (17-20 foot width), to benefit the Airport West Subdivision, located on the southern property boundary along Lear Lane/Dornier Way. • A blanket Access and Utility Easement, to benefit lots 3B, and Lots 4A through 4O, Block 4 of Airport West Subdivision #2 (24-30 foot width), located on the southern property boundary along Lear Lane/Dornier Way. • A Landscape Easement to benefit the Airport West Subdivision (10 foot width), located on the western property boundary.
				Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	
			Staff Comments	<i>See Section 16.04.040.A.7 for explanation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman’s access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman’s access.
			Staff Comments	<i>The easements have been explained in the prior Section 16.04.040.A.7. There is no need for a river access easement, as this site does not border the Big Wood River.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			Staff Comments	<i>N/A – No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be

				accessible and shall not be located over any above ground utilities, such as transformers.
			<i>Staff Comments</i>	<i>N/A The Applicant is proposing to haul all snow off site.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			<i>Staff Comments</i>	<i>N/A – This subdivision and proposed plat involve an existing block. No new blocks are proposed.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			<i>Staff Comments</i>	<i>N/A. The proposed plat calls for subdividing a 43,554 square foot parcel and creating twelve (12) commercial condominium units, including one (1) mixed-use condominium unit.. No single-family lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			<i>Staff Comments</i>	<i>N/A, as Staff are amenable to the proposed lot arrangement.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			<i>Staff Comments</i>	<i>N/A – The plat does not include any double frontage lots.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			<i>Staff Comments</i>	<i>N/A – The proposed lot is buildable.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the

				Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	<i>N/A – No flag lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	<i>N/A, townhouse/condominium sublots are excluded from this requirement. The proposed development has frontage on the public streets of Aviation Drive and Lear Lane/Dornier Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A. This Project is not located in the Townsite Overlay (TO) District.</i>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>N/A. The Applicant is proposing to construct three (3) commercial condominium buildings containing twelve (12) condominium units. One (1) of the twelve (12) units is also proposed as a mixed-use unit with an ADU, as permitted by SCI-I Zoning Regulations. Phasing is not necessary, and city services will not extend through undeveloped land.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A – Neither the Applicant nor Staff are requesting that the proposed condominium subdivision be phased.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<i>Staff Comments</i>	<i>N/A, as no negative effects on the ability of service delivery, nor the compromising of quality for service delivery or the imposing of substantial additional public costs, is anticipated.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact: <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular

				<p>and pedestrian traffic.</p> <ol style="list-style-type: none"> 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			Staff Comments	<i>N/A – No contiguous parcels are proposed to be subdivided.</i>
16.04.080: Perimeter Walls, Gates, and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			Staff Comments	<i>N/A – No perimeter walls, gates, nor landscape berms are proposed.</i>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	<i>The site is exceptionally flat, and little alterations to topography are proposed. The addition of eleven (11) new drywells are proposed, primarily servicing runoff accumulated from precipitations on building roofs, and the parking area. Disruption to existing natural conditions is not anticipated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	<i>A soils report was not requested by the City Engineer; however, the Applicant did provide a soils report. It has been filed with the City of Hailey and is available for review.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: <ol style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.

			Staff Comments	<i>A Grading/Site Improvement Plan has been submitted and reviewed by the City Engineer. The City Engineer found the plans to be satisfactory.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading/Site Improvement Plan has been submitted and will be additionally reviewed and formally approved by the City Engineer, prior to issuance of the Building Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	<i>N/A, as natural site conditions are well suited for development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	<i>A permanent irrigation system is proposed for the site, servicing 6,285 square feet of landscape area (9,992 square feet of total landscape area across the site). The Applicant has stated that the irrigation system will be designed for maximum efficiency with zoned controls, allowing for specific application of water. This will minimize erosion and ensure proper plant establishment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	<i>Proposed grading and drainage have bene reviewed and approved by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm-water Discharge from Construction Activity” for all construction activity affecting more than one acre.

			Staff Comments	<i>This Standard has been met. Please see section 16.04.020(I) for further detail.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			Staff Comments	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			Staff Comments	<i>N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			Staff Comments	<i>N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			Staff Comments	
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>$P = x$ multiplied by .0277</p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number</p>

				of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.
			Staff Comments	<p><i>The proposed subdivision and Design Review Application are unique and offer a variety of outcomes for the residential component of this project. Given the unprecedented nature of this development proposal, Staff plan to work internally with the Applicant and the City Attorney to create a proactive, measured approach to addressing potential park/pathway contributions, given the project's potential to have three (3) or more residential condominium units in the future – or alternatively - the potential that this threshold is never reached.</i></p> <p><i>The Applicant shall work internally with City Staff to address park and/or pathway requirements through the Development Agreement process. Any potential in-lieu fees and procedures shall be addressed through the Development Agreement, and the Development Agreement shall only become active after required review and approval by the Hailey City Council. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			Staff Comments	<i>N/A The proposed subdivision is located in the SCI-I Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(A)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
			D.	Minimum Requirements:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			Staff Comments	<i>All privately-owned landscape area is contained within designated "Common Area". A plat note on the submitted Preliminary Plat Map designates the Condominium Declarations as the controlling entity for all Common Areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			<i>Staff Comments</i>	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	<i>The Applicant is proposing public sidewalk connections to Parcel A, an adjacent public green space/grass pathway owned by the City of Hailey. A bench is also proposed at the connection point of the public sidewalk and entrance to Parcel A, further complimenting the nexus of these private and public green spaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	<i>Private green space proposed for the project will be used as general open space/landscaping.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	<i>The Applicant will address the design and maintenance of the outdoor shared space in CC&R's for the condominium subdivision. This was made a Condition of Approval during the previous Design Review Application review and approval process.</i>
			H.	In-Lieu Contributions:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			<i>Staff Comments</i>	<i>See Section 16.04.110 A1.a for detailed discussion on in-lieu contributions and park improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110(H)1 for further detail. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110(H)1 for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110(H)1 for further detail. This standard will be met.</i>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>The Applicant will construct the minimum infrastructure improvements required and adhere to all City Standards and procedures set forth in Title 18 of the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon

				final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>This standard shall be met, has been made a Condition of Approval, and will be reevaluated at final design, prior to Final Plat approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>The Applicant plans to install "Reserved Parking" signage for ADA parking stalls, in accordance with City Standards. No other signage is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A NO street lights in the right-of-way are proposed.</i>
16.05.030: Sewer Connections				

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	<p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p><i>The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain. This request from the Wastewater Division Manager is addressed within the Conditions of Approval for the Applicant’s corresponding Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</i></p>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p><i>The Water Division Manager provided specific feedback regarding water connections within the Applicant’s corresponding Design Review Application. This feedback is addressed within the Conditions of Approval of the Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</i></p> <p><i>Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no alleys exist in conjunction with this site.</i></p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate.</i></p>
16.05.060: Utilities				

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			<i>Staff Comments</i>	<i>N/A, as no new streets or alleys are proposed for this project.</i>
16.05.070: Parks, Green Space				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			<i>Staff Comments</i>	<i>See Section 16.04.110 for further detail.</i>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			<i>Staff Comments</i>	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design.</i>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A – The completion of all major infrastructure by the Developer is preferred over bonding.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>As built drawings will be required. This standard will be met.</i>
16.07: Condominiums:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.020	Plat Procedure: The developer of a condominium project shall submit with the preliminary plat application, as required by this title, a copy of the proposed bylaws and condominium declarations of the proposed condominium development. The documents shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, common area, recreational facilities and green space. The developer may submit a final plat application following inspection and approval by the building inspector of the footings and setbacks of the condominium building. Prior to final plat approval, the developer shall submit to the city a copy of the

				final bylaws and condominium declarations to be recorded with the county recorder, including the instrument number(s) under which each document was recorded. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This Standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.030	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific condominium units on the condominium plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the condominium project. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Vehicular access on the proposed plat directly leads to the condominium units, where garages can be assumed. However, garage space is not exclusively proposed within the condominium units. The first level condominium space is dedicated as “commercial”.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.040	Storage, Parking Areas: Condominium projects shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The Applicant is required to provide at least twenty-seven (27) parking spaces to accommodate the proposed 26,600 square feet of commercial space. Additionally, the Applicant is proposing one (1) ADU within Unit 112, requiring an additional one (1) parking space. The Applicant is providing a total of thirty-three (33) onsite parking spaces, in excess of the currently required twenty-eight spaces.</i> <i>Any future conversion of commercial space into an ADU unit (as designed for by the Applicant) will result in an overall decrease in commercial area, thus lessening the minimum commercial parking requirement. If all twelve (12) condominium units are eventually converted to include an ADU, the total commercial area decreases from 26,600 square feet (as proposed) to 16,716 square feet. The new, hypothetical parking requirement would be seventeen (17) spaces for the commercial use, plus twelve (12) spaces for the ADU use, resulting in an overall mixed-use parking requirement of twenty-nine (29) spaces. In any mixed-use configuration (as currently permitted by the Hailey Municipal Code and planned for by the Applicant), the parking requirement will remain as met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.050	Construction Standards: All condominium project construction shall be in accordance with the IBC, IRC and IFC. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed plat complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.060	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium developments. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.07.070	Conversion: The conversion by subdivision of existing units into condominiums shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A</i>

Summary and Suggested Conditions: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Final Plat Application will be forwarded to the Hailey City Council for review.

The following are suggested Conditions of Approval for this Application:

- a) All Fire Department and Building Department requirements shall be met.

- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall attain permits for the installation of all drywells.
 - ii. The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive.
- c) The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d) Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
- e) The Applicant shall submit a draft copy of the proposed CC&R's, prior to any approval of the Findings of Fact.
- f) The proposed parking access area shall be dedicated as unbuildable and managed by the HOA.
- g) The Applicant shall provide a Public Access Easement for the proposed sidewalk along the property's southern boundary. A revised Preliminary Plat Map indicating this Public Access Easement shall be submitted to the City, prior to issuance of a Building Permit.
- h) The Applicant shall address the maintenance of the Common Area, including parking and landscaped areas, in CC&R's for the subdivision.
- i) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- j) All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- k) The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- l) The Final Plat must be submitted within three (3) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m) Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.
- n) The Applicant shall work internally with City Staff to address park and/or pathway requirements through the Development Agreement process. Any potential in-lieu fees and procedures shall be addressed through the Development Agreement, and the Development Agreement shall only become active after required review and approval by the Hailey City Council

Motion Language:

Approval: Motion to approve a Preliminary Plat Application by 1611 Aviation LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU), to be known as Della Mountain Suites, and located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District., finding that the application meets all City Standards, and that Conditions (a) through (n) are met.

Denial: Motion to deny a Preliminary Plat Application by 1611 Aviation LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium sublot with an accessory dwelling unit (ADU), to be known as Della Mountain Suites, and located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District., finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

A PLAT SHOWING DELLA MOUNTAIN SUITES CONDOMINIUMS

WHEREIN AIRPORT WEST SUBDIVISION PHASE 2, BLOCK 4, LOT 3B IS REPLATTED INTO CONDOMINIUMS
& THE DESIGNATED APPROACH & SHARED ACCESS EASEMENT COMMON TO LOTS 3A & 3B IS VACATED, AS SHOWN HEREON
LOCATED WITHIN
SECTION 15, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
JANUARY 2026

LEGEND

- Subject Boundary
- Adjoining Lot Line
- Building Outline
- Condo Unit Balcony
- Centerline Right-of-Way
- Easement, Type & Width As Shown*
- Easement, Type & Width As Shown*
- Easement, Type & Width As Shown*
- Vacated Shared Access Easement
- Survey Tie Line
- Found Aluminum Cap, As Shown
- Found Steel Rod in Vault
- Found 5/8" Rebar, As Shown
- Found 1/2" Rebar, As Shown
- Set 1/2" Rebar, As Shown
- Record Bearing & Distance Inst. No. 480276
- * per Inst. No. 480276

EASEMENTS

- (A) 10' wide Landscape Easement to benefit Airport West Subdivision and Building Setback Line
- (B) 24' wide Access and Utility Easement to benefit Block 4, Airport West Subdivision
- (C) 30' wide Access and Utility Easement to benefit Lots 3B, and Lots 4A-4D, Block 4, Airport West Subdivision
- (D) 20' wide Irrigation Easement to benefit Airport West Subdivision
- (E) 17' wide Irrigation Easement to benefit Airport West Subdivision
- (F) 10' wide Irrigation Easement to benefit Airport West Subdivision
- (G) 10' wide Public Utility, Snow Storage, and Landscape Easement
- (H) Designated Approach & Access Easement

NOTES

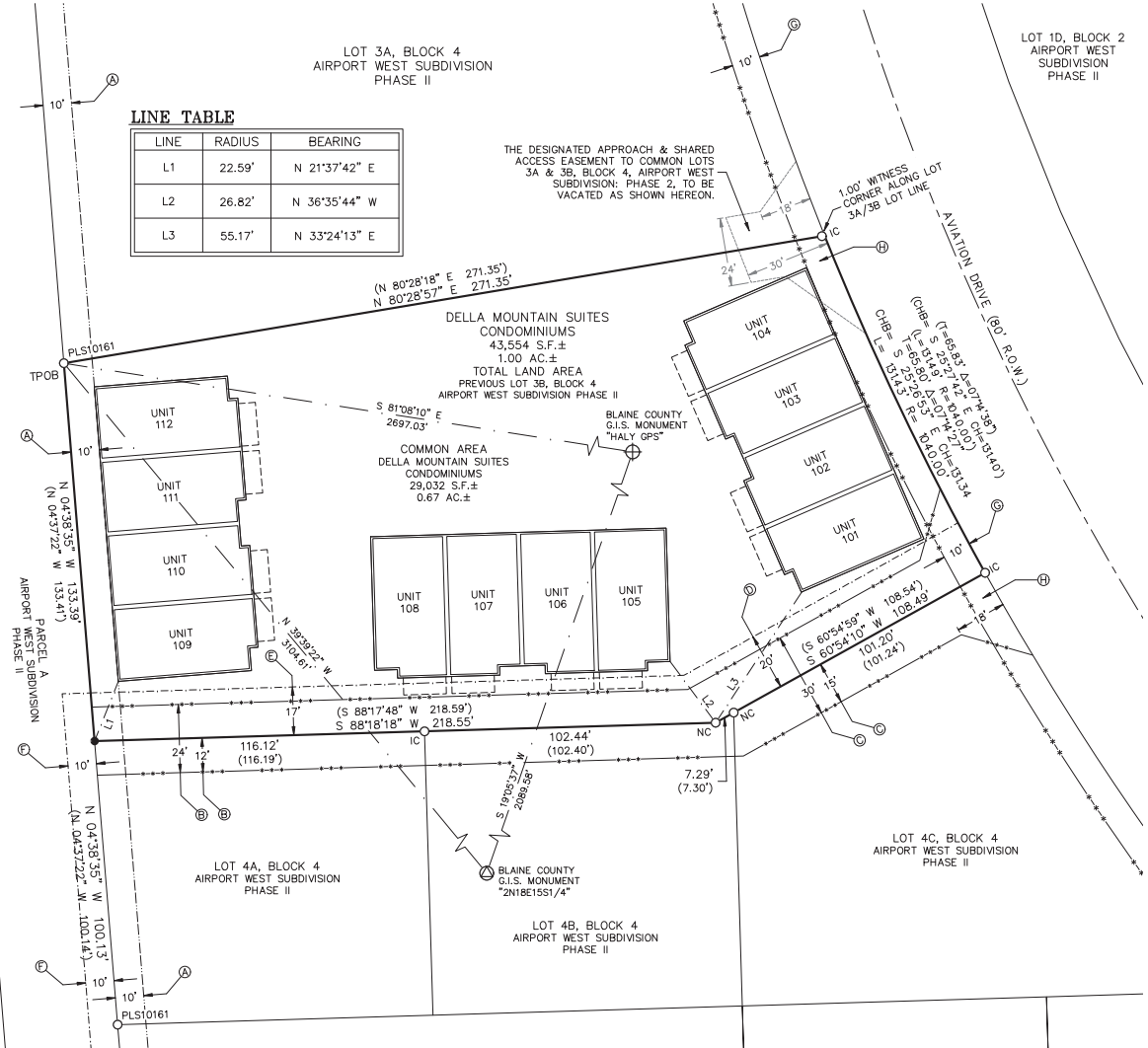
- 1) Basis of Bearings is Grid North per Idaho State Plane Coordinate System, Central Zone, NAD83, (1992), at Grid in US Survey Feet with a Project Combined Scale Factor of 0.99970383, at the True Point of Beginning (TPOB), with a Grid North to Geodetic North Convergence Angle of N 00°12'35" E. Ground distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary information is from the Plats of:
 - Airport West Subdivision Phase 1, Instrument Number 469042;
 - Airport West Subdivision Phase 2, Instrument Number 480276; Records of Blaine County, Idaho.
- 3) Please refer to the Plat Notes, Easements, Reservations, Dedications, Conditions, Covenants, and Restrictions on Original Plat and subsequent surveys that may affect the Subject Property.
- 4) The Condominium Declaration of Covenants, Conditions and Restrictions for Della Mountain Suites Condominiums are Recorded in Blaine County, Idaho as Instrument Number _____.

(Continued on Sheets 2 & 3)

SURVEYOR NARRATIVE

The purpose of this survey is to replat Lot 3B in Block 4 of Airport West Subdivision Phase 2, into Della Mountain Suites Condominiums, with 12 separate units, as shown hereon. This survey also vacates the designated Approach & Shared Access Easement to common Lots 3A & 3B, Block 4, Airport West Subdivision: Phase 2, as shown hereon. During a Boundary Retracement of Lot 3B in Block 4 of Airport West Subdivision Phase 2, it was found that one of the monuments were either missing or never set. All found monuments were accepted as either original corners or replacements of original corners. The missing monument was reset using linear proportioning.

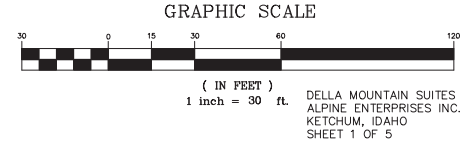
LINE	RADIUS	BEARING
L1	22.59'	N 21°37'42" E
L2	26.82'	N 36°35'44" W
L3	55.17'	N 33°24'13" E



BROADFORD ROAD
(60' MINIMUM R.O.W. WIDTH VARIES)

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central Public Health District, EHS



A PLAT SHOWING DELLA MOUNTAIN SUITES CONDOMINIUMS

WHEREIN AIRPORT WEST SUBDIVISION PHASE 2, BLOCK 4, LOT 3B IS IS REPLATTED INTO CONDOMINIUMS
& THE DESIGNATED APPROACH & SHARED ACCESS EASEMENT COMMON TO LOTS 3A & 3B IS VACATED, AS SHOWN HEREON
LOCATED WITHIN
SECTION 15, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
JANUARY 2026

LINE TABLE

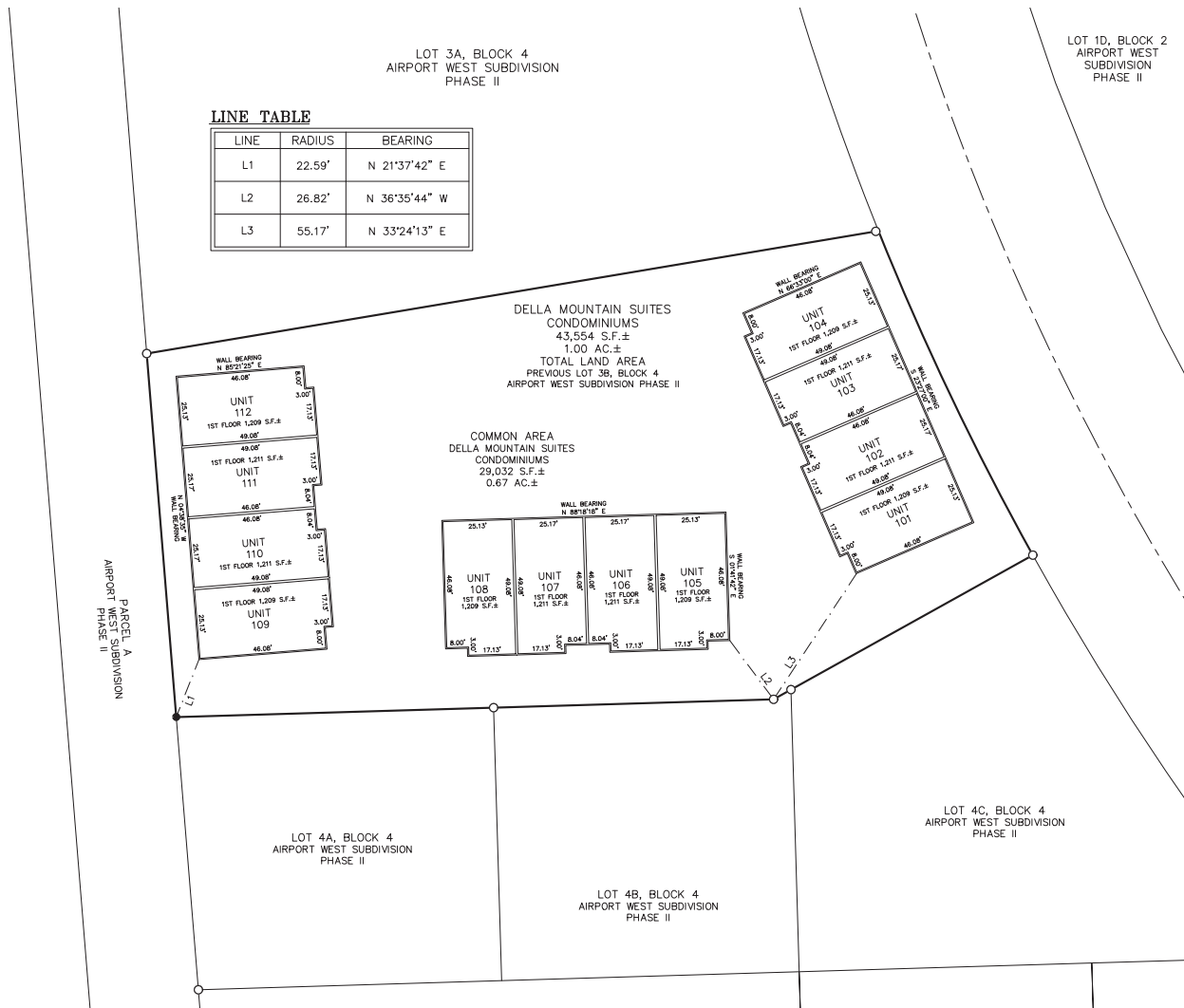
LINE	RADIUS	BEARING
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L2	26.82'	N 36°35'44" W
L3	55.17'	N 33°24'13" E

LEGEND

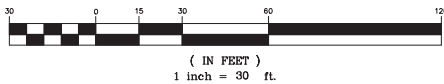
- Subject Boundary
- Adjoining Lot Line
- Unit Boundary
- Centerline Right-of-Way
- Survey Tie Line
- Found Aluminum Cap, As Shown
- Found Steel Rod in Vault
- Found 5/8" Rebar, As Shown
- Found 1/2" Rebar, As Shown
- Set 1/2" Rebar, PLS 7048
- Record Bearing & Distance Inst. No. 480276
- * per Inst. No. 480276

NOTES

- 5) Documents that may affect this Plat include:
 - Power Line Easement, in favor of Idaho Power Company, Inst. No. 118357;
 - Power Line Easement, in favor of Idaho Power Company, Inst. No. 158096;
 - Record of Survey, Inst. No. 366329;
 - Record of Survey, Inst. No. 375426;
 - Terms and Provisions of Annexation Ordinance No. 800, Recorded February 11, 2002 as Inst. No. 461307, and Amendments recorded as Inst. Nos. 474736, 526228, 533813, and 589529;
 - The Plat of Airport West Subdivision Phase 1, Inst. No. 469042;
 - The Plat of Airport West Subdivision Phase 2, Inst. No. 480276;
 - Surveyor's Affidavit of Correction, Inst. No. 639539;
 - Covenants, Conditions and Restrictions for Airport West Business Park, Recorded August 8, 2002 as Inst. No. 469043 and Amended as Inst. Nos. 589527 and 707065; Records of Blaine County, Idaho.
- 6) In interpreting the Declaration, Plat or Plats, and/or Deeds, the existing physical boundaries of the Unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the Declaration, Plat or Plats, and/or Deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the Declaration, Plat or Plats, and/or Deeds.
- 7) Horizontal or sloping planes shown hereon are top of finished sub floor and bottom of finished ceiling. Vertical planes are finished surfaces of interior walls, some structural members extend into the Units, Limited Common Areas, and Parking Spaces.
- 8) Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
- 9) Consult the Condominium Declarations for the definitions of Common Areas, Limited Common Areas, and for Parking and Garage Assignments.
- 10) All area outside of Units that is not designated as Limited Common is Common Area.
- 11) Building Ties are to the exterior corners of the building walls.
- 12) Utility easements necessary to allow for access and maintenance of utilities serving Units other than the Unit they are located in are hereby granted by this plat.
- 13) Foundations, columns, girders, beams, supports, perimeter and supporting walls, chimneys, chimney chases, roofs, balconies, windows, entrances and exits, and the mechanical installations consisting of the equipment and materials making up any central services such as power, light, gas, hot and cold water, sewer, cable television, heating, and central air conditioning which exists for use by one or more of the Units, including pipes, vents, ducts, flues, cable conduits, wires, telephone wire, and other similar utility installations used in connection therewith, whether located exclusively within the boundaries of any Unit or Units or not, are Common Area.
- 14) Any owner seeking to construct an Accessory Dwelling Unit within an individual condominium unit is required to notify the City of Hailey and submit an Accessory Dwelling Unit Application. No construction of Accessory Dwelling Units shall commence before application approval and any required building permits have been granted.



GRAPHIC SCALE



FIRST FLOOR GROUND LEVEL

THE FIRST STORY CEILING HEIGHT IS 14.09' ABOVE THE FINISH FLOOR ELEVATION FOR ALL UNITS
THE FIRST STORY FINISH FLOOR ELEVATION OF UNITS 101-104 IS 5288.85'
THE FIRST STORY FINISH FLOOR ELEVATION OF UNITS 105-108 IS 5288.50'
THE FIRST STORY FINISH FLOOR ELEVATION OF UNITS 109-112 IS 5290.10'



A PLAT SHOWING DELLA MOUNTAIN SUITES CONDOMINIUMS

WHEREIN AIRPORT WEST SUBDIVISION PHASE 2, BLOCK 4, LOT 3B IS IS REPLATTED INTO CONDOMINIUMS
& THE DESIGNATED APPROACH & SHARED ACCESS EASEMENT COMMON TO LOTS 3A & 3B IS VACATED, AS SHOWN HEREON
LOCATED WITHIN
SECTION 15, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
JANUARY 2026

LOT 3A, BLOCK 4
AIRPORT WEST SUBDIVISION
PHASE II

LOT 1D, BLOCK 2
AIRPORT WEST
SUBDIVISION
PHASE II

LINE TABLE

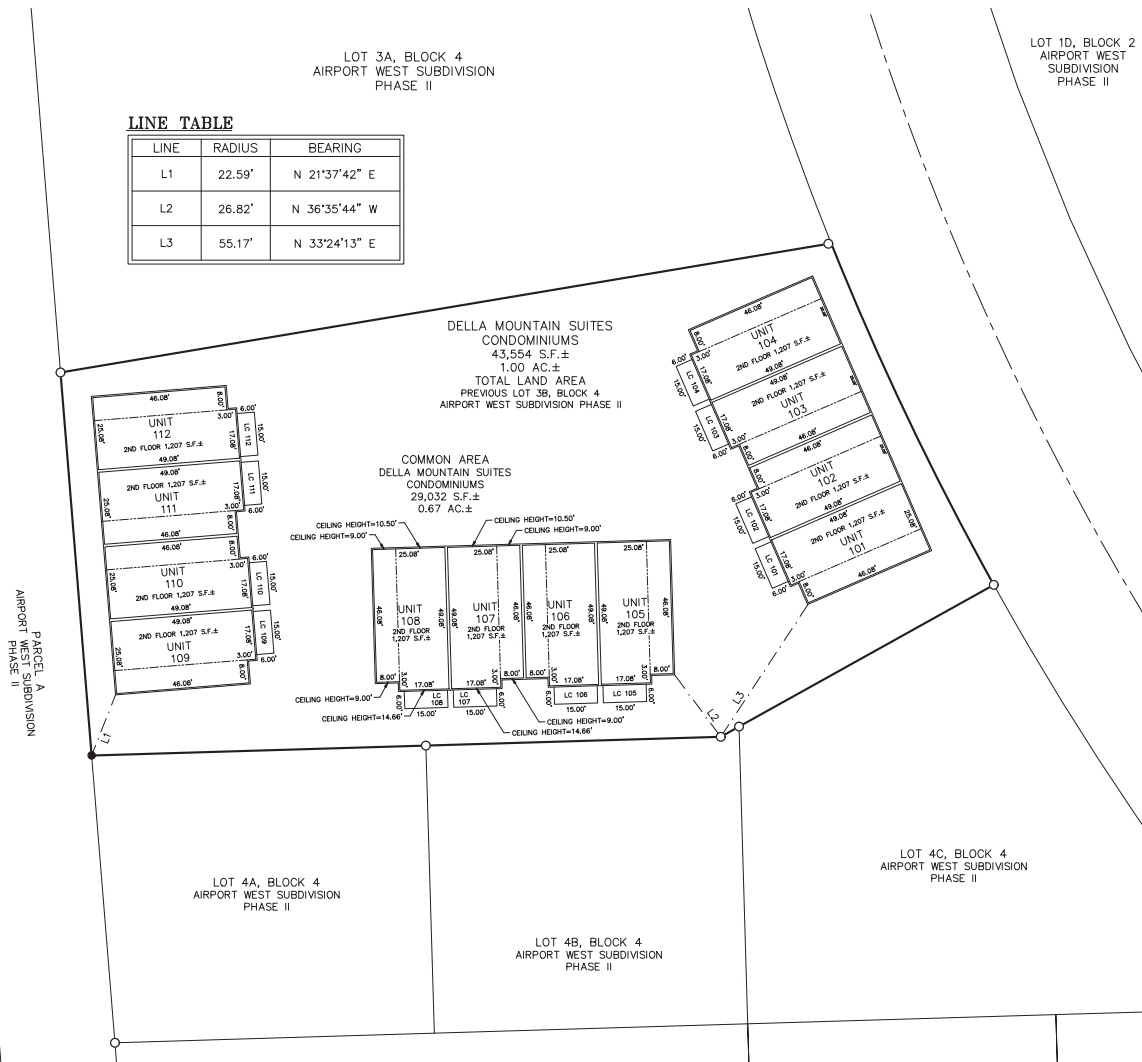
LINE	RADIUS	BEARING
L1	22.59'	N 21°37'42" E
L2	26.82'	N 36°35'44" W
L3	55.17'	N 33°24'13" E

LEGEND

- Subject Boundary
- Adjoining Lot Line
- Unit Boundary
- L.C. Condo Unit Balcony (Limited Common Area)
- Ceiling Elevation Change Line
- Centerline Right-of-Way
- Survey Tie Line
- Found Aluminum Cap, As Shown
- Found Steel Rod in Vault
- Found 5/8" Rebar, As Shown
- Found 1/2" Rebar, As Shown
- Set 1/2" Rebar, PLS 7048
- Record Bearing & Distance
- per Inst. No. 480276

NOTES

- 5) Documents that may affect this Plat include:
 - Power Line Easement, in favor of Idaho Power Company, Inst. No. 118357;
 - Power Line Easement, in favor of Idaho Power Company, Inst. No. 158096;
 - Record of Survey, Inst. No. 366329;
 - Record of Survey, Inst. No. 375426;
 - Terms and Provisions of Annexation Ordinance No. 800, Recorded February 11, 2002, as Inst. No. 461307, and Amendments recorded as Inst. Nos. 474736, 526228, 533813, and 589529;
 - The Plat of Airport West Subdivision Phase 1, Inst. No. 469042;
 - The Plat of Airport West Subdivision Phase 2, Inst. No. 480276;
 - Surveyor's Affidavit of Correction, Inst. No. 639539;
 - Covenants, Conditions and Restrictions for Airport West Business Park, Recorded August 8, 2002, as Inst. No. 469043 and Amended as Inst. Nos. 589527 and 707065; Records of Blaine County, Idaho.
- 6) In interpreting the Declaration, Plat or Plats, and/or Deeds, the existing physical boundaries of the Unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the Declaration, Plat or Plats, and/or Deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the Declaration, Plat or Plats, and/or Deeds.
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- 8) Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
- 9) Consult the Condominium Declarations for the definitions of Common Areas, Limited Common Areas, and for Parking and Garage Assignments.
- 10) All area outside of Units that is not designated as Limited Common is Common Area.
- 11) Building Ties are to the exterior corners of the building walls.
- 12) Utility easements necessary to allow for access and maintenance of utilities serving Units other than the Unit they are located in are hereby granted by this plat.
- 13) Foundations, columns, girders, beams, supports, perimeter and supporting walls, chimneys, chimney chases, roofs, balconies, windows, entrances and exits, and the mechanical installations consisting of the equipment and materials making up any central services such as power, light, gas, hot and cold water, sewer, cable television, heating, and central air conditioning which exists for use by one or more of the Units, including pipes, vents, ducts, flues, cable conduits, wires, telephone wire, and other similar utility installations used in connection therewith, whether located exclusively within the boundaries of any Unit or Units or not, are Common Area.
- 14) Any owner seeking to construct an Accessory Dwelling Unit within an individual condominium unit is required to notify the City of Hailey and submit an Accessory Dwelling Unit Application. No construction of Accessory Dwelling Units shall commence before application approval and any required building permits have been granted.



BROADFORD ROAD
(60' MINIMUM R.O.W. WIDTH VARIES)

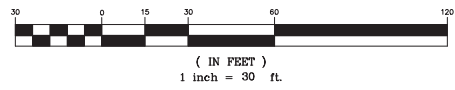
PARCEL A
AIRPORT WEST SUBDIVISION
PHASE II

LOT 4A, BLOCK 4
AIRPORT WEST SUBDIVISION
PHASE II

LOT 4B, BLOCK 4
AIRPORT WEST SUBDIVISION
PHASE II

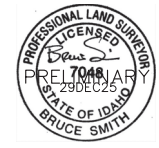
LOT 4C, BLOCK 4
AIRPORT WEST SUBDIVISION
PHASE II

GRAPHIC SCALE



SECOND FLOOR LEVEL

THE SECOND STORY CEILING HEIGHTS SHOWN ARE MEASURED FROM THE SECOND STORY FINISH FLOOR ELEVATION AND ARE TYPICAL FOR ALL UNITS
THE SECOND STORY FINISH FLOOR ELEVATION OF UNITS 101-104 IS 5304.18'
THE SECOND STORY FINISH FLOOR ELEVATION OF UNITS 105-108 IS 5303.83'
THE SECOND STORY FINISH FLOOR ELEVATION OF UNITS 109-112 IS 5305.43'



CERTIFICATE OF OWNERSHIP

This is to certify that 1611 AVIATION, LLC., a Washington Limited Liability Company Organized and Existing under the Laws of the State of Washington and Duly Qualified to do Business in the State of Idaho, is the owner in Fee Simple of the Real Property described as follows:

A parcel of land located within Section 15, Township 2 North, Range 18 East, Boise Meridian, City of Hailey, Blaine County, Idaho; more particularly described as follows:

LOT 3B IN BLOCK 4 OF AIRPORT WEST SUBDIVISION PHASE II, as shown on the official plat thereof, recorded as Instrument Number 480276, and a Surveyor's Affidavit of Correction recorded as Instrument Number 639539, Records of Blaine County, Idaho.

It is our intention to include said property in this Condominium Plat. The owners also hereby certify that they consent to the recordation of documents pursuant to Chapter 15, Title 55 of the Idaho Code and that this plat complies with Idaho Code 50-1334. All units in this Condominium Project shall receive domestic water from an existing system and The City of Hailey has agreed in writing to serve this Condominium Project.

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements.

Jeff Leach, Its: Manager
1611 AVIATION, LLC.
A Washington Limited Liability Company

ACKNOWLEDGMENT

STATE OF _____ }
COUNTY OF _____ } ss

On this ____ day of _____, 2026, before me, a Notary Public in and for said State, personally appeared Jeff Leach, known or identified to me to be the Manager of the Limited Liability Company that executed the foregoing instrument, and acknowledged to me that such Limited Liability Company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State

Residing At

My Commission Expires

CERTIFICATE OF OWNERSHIP

This is to certify that OVERLAND WEST, INC., a Utah Corporation, is the owner in Fee Simple of the Real Property described as follows:

A parcel of land located within Section 15, Township 2 North, Range 18 East, Boise Meridian, City of Hailey, Blaine County, Idaho; more particularly described as follows:

LOT 3A IN BLOCK 4 OF AIRPORT WEST SUBDIVISION PHASE II, as shown on the official plat thereof, recorded as Instrument Number 480276, and a Surveyor's Affidavit of Correction recorded as Instrument Number 639539, Records of Blaine County, Idaho.

It is our intention to include said property in this Condominium Plat. The owners also hereby certify that they consent to the recordation of documents pursuant to Chapter 15, Title 55 of the Idaho Code and that this plat complies with Idaho Code 50-1334. All units in this Condominium Project shall receive domestic water from an existing system and The City of Hailey has agreed in writing to serve this Condominium Project.

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements.

Erik J. Petersen, Its: Vice President
OVERLAND WEST, INC.
A Utah Corporation

ACKNOWLEDGMENT

STATE OF _____ }
COUNTY OF _____ } ss

On this ____ day of _____, 2026, before me, a Notary Public in and for said State, personally appeared Erik J. Petersen, known or identified to me to be the Vice President of OVERLAND WEST, INC. and the person who executed the instrument on behalf of said entity, and acknowledged to me that they and said entity executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State

Residing At

My Commission Expires

SURVEYOR'S CERTIFICATE

I, Bruce Smith, a duly licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this Plat of Della Mountain Suites Condominiums is a true and accurate map of the land surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to plats and surveys.



CITY ENGINEER'S CERTIFICATE

The foregoing plat was approved by Brian Yeager, City Engineer for the City of Hailey on this ____ day of _____, 2026.

Brian Yeager, City Engineer,
City of Hailey

BLAINE COUNTY SURVEYOR'S APPROVAL

I, Sam Young, County Surveyor for Blaine County, Idaho, have checked the foregoing Plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

Sam Young, PLS 11577
County Surveyor

COUNTY TREASURER'S APPROVAL

I, the Undersigned, County Treasurer in and for Blaine County, State of Idaho, per the Requirements of Idaho Code 50-1308, do hereby Certify that any and all current and/or delinquent county property taxes for the Property included in this Plat of Della Mountain Suites Condominiums have been paid in full on this ____ day of _____, 2026. This Certification is valid for the next thirty (30) days only.

Blaine County Treasurer

HAILEY CITY COUNCIL CERTIFICATE

The foregoing plat was approved by the City Council of Hailey on this ____ day of _____ 2026.

City Clerk,
City of Hailey

COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO
COUNTY OF BLAINE

This is to certify that the foregoing Plat was filed in the Office of the Recorder of Blaine County, Idaho, and Duly Recorded at the Time, Date, and Instrument Number shown below.

Ex-officio Recorder

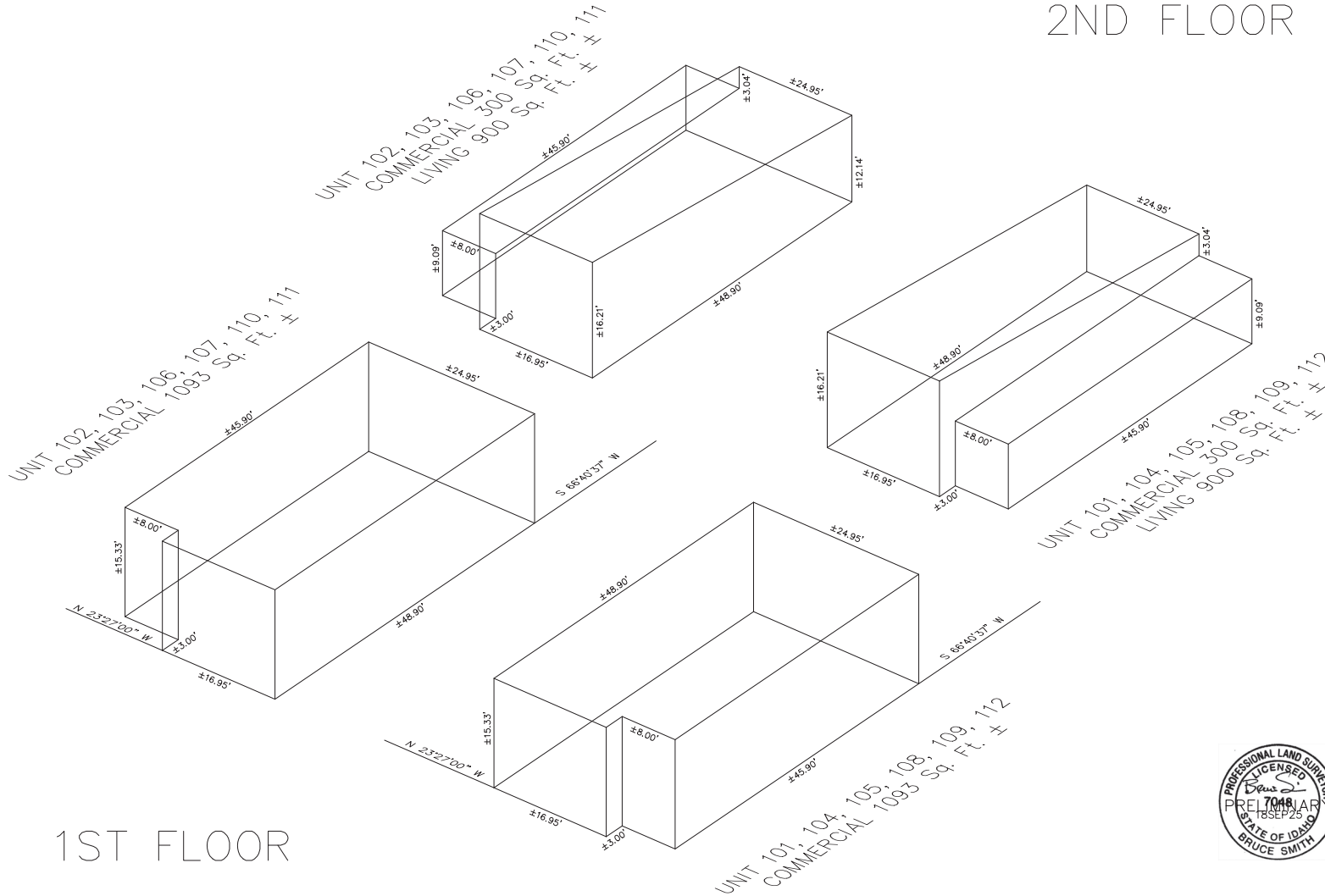
A PLAT SHOWING DELLA MOUNTAIN SUITES UNITS 101-112

WHEREIN LOT 3B IS IS REPLATTED INTO CONDOMINIUMS AS SHOWN HEREON
LOCATED WITHIN SECTION 15, T.2N R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
MAY 2025

2ND FLOOR

NOTES

- 1) In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the Unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the Declaration, Plat or Plats, and/or Deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the Declaration, Plat or Plats, and/or Deeds.
- 2) Horizontal or sloping planes shown hereon are top of finished sub floor and bottom of finished ceiling. Vertical planes are finished surfaces of interior walls. Some structural members may extend into the Units, Limited Common Areas, and Parking Spaces.
- 3) Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
- 4) Elevations shown hereon are referenced to NAVD 1988 Datum.
- 5) Consult the Condominium Declarations for the definitions of Common Areas, Limited Common Areas, and for Parking and Garage Assignments.





Easement, Type & Width	
	Vacated Shared Access E
	5' Major Contour
	1' Minor Contour
	10' Major Contour (Idaho)
	2' Minor Contour (Idaho)
	EOA - Edge of Asphalt
	SW - Sidewalk
	Concrete Curb & Gutter
	Concrete Vertical Curb (N)
	Concrete Valley Gutter
	FL - Drainage Flowline
	FNC - Fence
	WTR - Water Main
	WS - Water Service
	SWR - Sewer Main
	SS - Sewer Service
	PWR - Underground Power
	FO - Fiber Optic
	Found Aluminum Cap, As
	Found Steel Rod in Vault
	Found 5/8" Rebar, As Sh
	Found 1/2" Rebar, As Sh
	Set 1/2" Rebar, PLS 704
	WV - Water Valve
	FH - Fire Hydrant
	SMH - Sewer Man-Hole
	PBOX - Power Box
	PMTR - Power Meter
	GMTR - Gas Meter
	FOBOX - Fiber Optic Vou
	PHBOX - Phone Box
	TVBOX - CA/TV Box
	DT - Deciduous Tree
	Record Bearing & Distanc
	Inst. No. 480276
	* per Inst. No. 480276

NOTES

- 1) Basis of Bearings is Grid North per Idaho State Plat NAD83, (1992), at Grid in US Survey Feet with a P 0.99970383, at the True Point of Beginning (TPOB) Convergence Angle of N 00°12'35" E. Ground distance Datum is NAVD1988.
- 2) Boundary Information is from the Plats of:
 - Airport West Subdivision Phase 1, Instrument Number
 - Airport West Subdivision Phase 2, Instrument Number
 - Records of Blaine County, Idaho.
- 3) Please refer to the Plat Notes, Easements, Reservations, Covenants, and Restrictions on Original Plat and subsequent Subject Property.
- 4) The Condominium Declaration of Covenants, Conditions, and Restrictions for Della Mountain Suites Condominiums are Recorded in Blaine County, Idaho, Instrument Number
- 5) Documents that may affect this Plat include:
 - Power Line Easement, in favor of Idaho Power Company, recorded as Inst. Nos. 474736, 526228, 533383, and
 - Record of Survey, Inst. No. 366329;
 - Record of Survey, Inst. No. 375426;
 - Terms and Provisions of Annexation Ordinance No. 8, recorded February 11, 2002 as Inst. No. 461307, and recorded as Inst. Nos. 474736, 526228, 533383, and
 - The Plat of Airport West Subdivision Phase 1, Inst. No.
 - The Plat of Airport West Subdivision Phase 2, Inst. No.
 - Surveyor's Affidavit of Correction, Inst. No. 639539;
 - Covenants, Conditions and Restrictions for Airport West Subdivision Phase 1, recorded August 8, 2002 as Inst. No. 469043 and Inst. Nos. 569527 and 707065;
 - Records of Blaine County, Idaho;
- 6) In interpreting the Declaration, Plat or Plats, and/or boundaries of the Unit as originally constructed, or be conclusively presumed to be its boundaries rather than expressed or depicted in the Declaration, Plat or Plats, settling or lateral movement of the building and re boundaries shown in the Declaration, Plat or Plats,
- 7) The Subject Properties are within the City of Orland, Idaho (SCI). Please refer to the City of Hailey Code of Ordinances for this zone including building setbacks and/or other
- 8) Consult the Condominium Declarations for the definition of Common Areas, and for Parking and Garage Assignments.
- 9) All area outside of Units that is not designated as Common Area is to be used for parking and/or other purposes.
- 10) Building Ties are to the exterior corners of the building.
- 11) Any owner seeking to construct an Accessory Dwelling Unit (ADU) within a condominium unit is required to notify the City of Hailey of the ADU application. No construction of Accessory Dwelling Unit shall commence until after approval and any required building

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

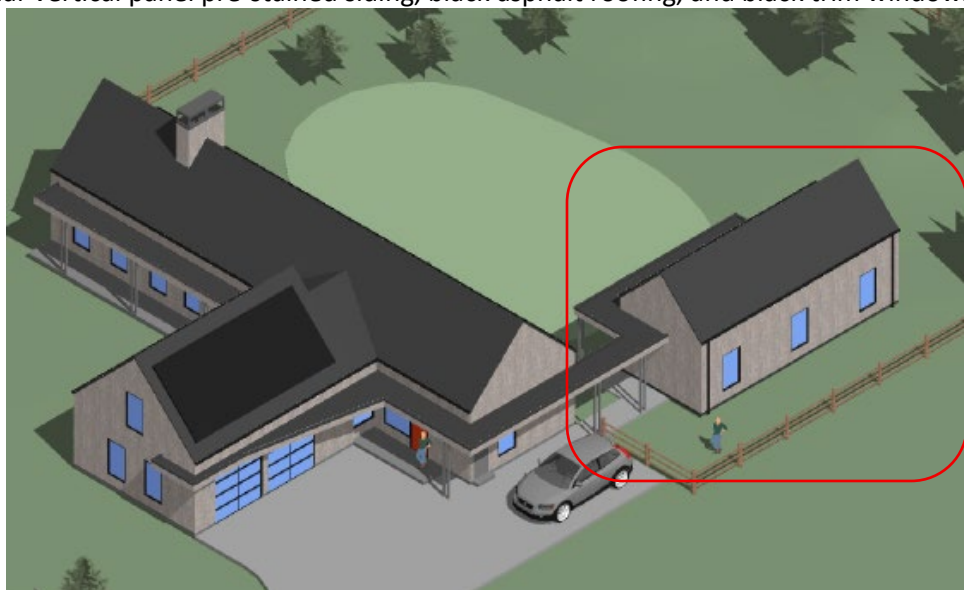
On February 2, 2026, the Planning and Zoning Chair and Administrator considered an Accessory Dwelling Unit (ADU) Application by Elizabeth Greer for the construction of a 482 square foot detached ADU. This project is located at 200 Sunbeam Street (Lot 19, Block 2, Sunbeam Subdivision Phase 1), within the Limited Residential (LR-1) Zoning District.

FINDINGS OF FACT

Notice: Notice for the ADU Application was mailed to property owners within 300 feet on January 14, 2026. The Public Comment period was open from January 14, 2026, to January 26, 2026. During this time no public comment was received.

Application: The Applicant is proposing to construct a 482 square foot detached ADU, located toward the southeastern side of the property. The Applicant intends to use the ADU for long-term occupancy and reside in the existing primary residence. Access to the proposed ADU will be located off the primary public street, Sunbeam Street.

Design Elements and Exterior Materials: The detached, single story ADU's exterior finish is proposed to include cedar vertical panel pre-stained siding, black asphalt roofing, and black trim windows and doors.



Procedural History: The Accessory Dwelling Unit Application was submitted on December 30, 2025, and certified complete on January 12, 2026.

Standards of Evaluation: Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

17.06.010. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval or exemption, pursuant to this chapter, as outlined in the matrix below:

Type of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
New construction:			
All zones: Nonresidential buildings			X
All zones: Residential of 3 or more units			X
All zones other than Townsite Overlay District: Accessory Dwelling Units	X		
Townsite Overlay District: New single-family or duplex			X
Townsite Overlay District: Accessory structures (including Accessory Dwelling Units)			X

The proposed Application is to construct a new ADU onsite to be located at 200 Sunbeam Street (Lot 19, Block 2, Sunbeam Subdivision Phase 1 within the Limited Residential (LR-1) Zoning District.

General Requirements for Accessory Dwelling Units				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	Applicability. A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	General Provisions. A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	The 482 square foot detached, single story ADU is proposed to be constructed onsite. The proposed new asphalt driveway will service both the primary residence, as well as the ADU. Parking for the primary residence and the ADU are provided via the new driveway located off Sunbeam Street. Regarding setbacks, this parcel is located within the Limited Residential (LR-1) Zoning District. In said district, the required minimum setbacks are as follows: - Front: 25' - Sides: 10' is the base setback plus an additional one (1) foot of setback for every two (2) feet of building height that exceeds 20' in height (building height based on ADU). In

addition, the side yard setback along the street of a normal corner lot (not reverse corner lot) shall be not less than two-thirds ($2/3$) the front yard setback requirement.

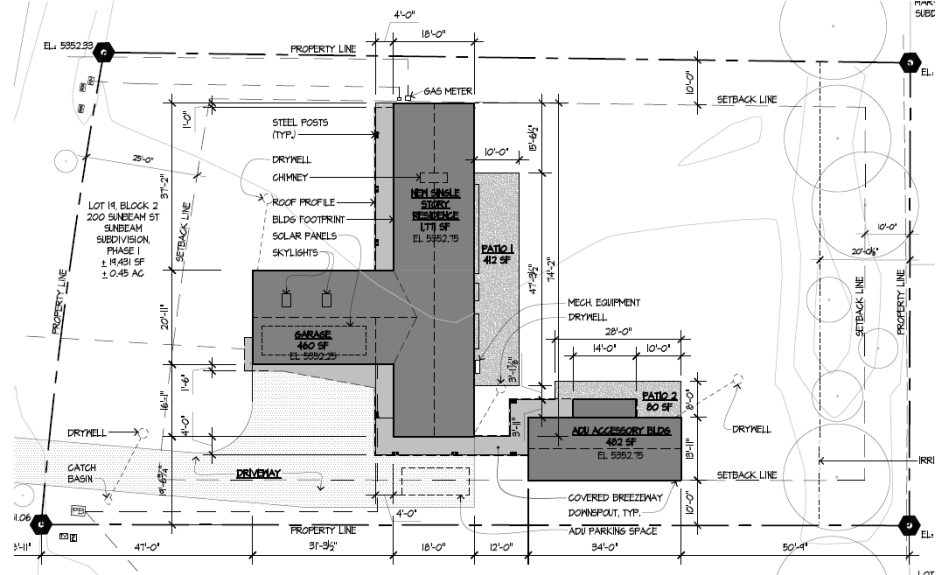
- **Rear:** 10’.
- **Building Height:** 30’
- **Lot Coverage:** 40%

The proposed setbacks for the ADU are as follows:

- **Front:** 47’; **Side (N):** 10’ **Side (S):** 10’; **Rear:** 30’
- **Height:** 24.6’
- **Lot Coverage:** 40%

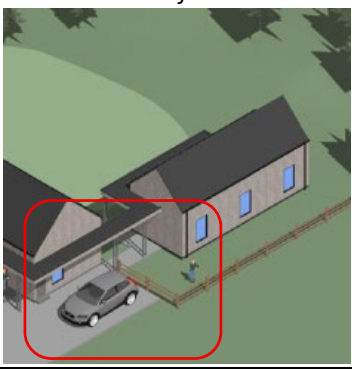
The proposed ADU is a reflection of other ADU building types in Hailey, where a detached ADU unit creates a secondary dwelling with onsite parking. The ADU is positioned towards the northwestern side of the single-family lot and appears subordinate in scale and size to the primary dwelling building portion. Additionally, all bulk requirements with respect to setbacks, lot coverage, building height, and density comply with Hailey’s Municipal Code.

Based on the above, the Chair and Administrator found that this standard has been met.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. Only one (1) Accessory Dwelling Unit is permitted on a lot.
			<p>Staff Comments</p> <p>Only one (1) ADU is proposed onsite. Based on the above, the Chair and Administrator found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</p> <p>Staff Comments</p> <p>The proposed ADU is in conjunction with an existing single-family residence, and both are located within the Limited Residential (LR-1) Zone District. Based on the above, the Chair and Administrator found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</p>

			Staff Comments	<i>The proposed ADU is not located within the Special Flood Hazard Area, this standard does not apply. Based on the above, the Chair and Administrator found that this standard is not applicable.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.040: Registration of Accessory Dwelling Units Required	A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.												
			Staff Comments	<i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued. Based on the above, the Chair and Administrator found that this standard has been met.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.050: Occupancy Restrictions - Short Term Occupancy	A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;												
			Staff Comments	<i>At this time, the Applicant intends to utilize the ADU as a long-term rental for first responders, while occupying the primary living space. This standard shall be met and has been made a Condition of Approval. Based on the above, the Chair and Administrator found that this standard has been met.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.												
			Staff Comments	<i>At this time, the Applicant intends to utilize the ADU as a long-term rental for first responders, while occupying the primary living space. This standard shall be met and has been made a Condition of Approval. Based on the above, the Chair and Administrator found that this standard has been met.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.060: Subordinate Scale and Size	A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.												
			Staff Comments	<p><i>Pursuant Hailey's Municipal Code, Gross Floor Area is defined as:</i></p> <ul style="list-style-type: none"> - <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> - <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i> - <i>The basement of any other building is included as floor area.</i> <p><i>The gross floor area, excluding the garage for the principal building, is approximately 1,771 square feet in size, and sixty-six percent of this would be 1,168 square feet. The lot size is 19,400 square feet, which would allow for a maximum gross floor area of 1,000 square feet. That said, the Applicant is proposing a 482 square foot ADU which complies with this standard. Based on the above, the Chair and Administrator found that this standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>B. Maximum Floor Area:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Lot Size (square feet)</th> <th style="text-align: left;">Minimum Gross Floor Area (square feet)¹</th> <th style="text-align: left;">Maximum Gross Floor Area (square feet)¹</th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td>300</td> <td>900</td> </tr> <tr> <td>7,001 – 8,000</td> <td>300</td> <td>950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td>300</td> <td>1,000</td> </tr> </tbody> </table>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														

				Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.
			<i>Staff Comments</i>	<i>Please refer to Section 17.08D.060A, noted above, for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.
			<i>Staff Comments</i>	<i>The proposed ADU has two (2) bedrooms. Based on the above, the Chair and Administrator found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.070: Livability	A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.
			<i>Staff Comments</i>	<i>The Applicant is proposing 80 square feet of outdoor space to include a separate patio for the ADU unit. The ADU's outdoor space shall be clearly separated from the primary residence. This has been made a Condition of Approval. Based on the above, the Chair and Administrator found that this standard has been met.</i>
Chapter 17.09: Parking and Loading				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09 020.05.B	Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.
			<i>Staff Comments</i>	<i>Access for the primary residence and the ADU is provided via the proposed new driveway. The new primary residence provides parking in the two car garage, as well as several onsite parking spaces within the driveway. The one (1) parking space required for the ADU is located on the southeastern side of the driveway along the side of the primary residence. Based on the above, the Chair and Administrator found that this standard has been met</i>
				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.
			<i>Staff Comments</i>	<i>The proposed onsite parking for the ADU is located within the existing driveway. There is a covered breezeway which will lead to the ADU unit. Based on the above, the Chair and Administrator found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.

			Staff Comments	<p><i>The one (1) parking space required for the ADU is located on the south side of the existing driveway/parking area in front of the primary residence.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
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CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Planning and Zoning Chair and Administrator make the following Conclusions of Law:

1. Adequate notice, pursuant to the Hailey Municipal Code, Title 17, Chapter 17.06, Design Review, 17.06.020(B), was given.
2. The project is in general conformance with the Hailey Municipal Code, Title 17, and the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given the nature of this project, this constitutes a minor project, will not conflict with the Design Review Standards of this Chapter, and will not adversely impact any adjacent properties.
5. The proposed project is documented in the project file.

Conditions of Approval. The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey’s Municipal Code at the time of the new use.
- c) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- d) The lot contains a primary dwelling and an Accessory Dwelling Unit. Only one (1) dwelling unit shall be utilized for short-term occupancy. If one (1) dwelling unit is utilized for short-term occupancy, the other unit shall be owner-occupied or utilized as a long-term rental (31 days or longer).
- e) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) The Applicant shall provide a clear separation of the required outdoor space for the ADU (e.g., install a fence or landscaping to separate the outdoor space from the primary residence).

Signed this _____ day of _____, 2026.

 Janet Fugate, Chair

 Robyn Davis, Community Development Director

LOT 20, BLOCK 2
210 SUNBEAM ST
SUNBEAM SUBDIVISION,
PHASE I

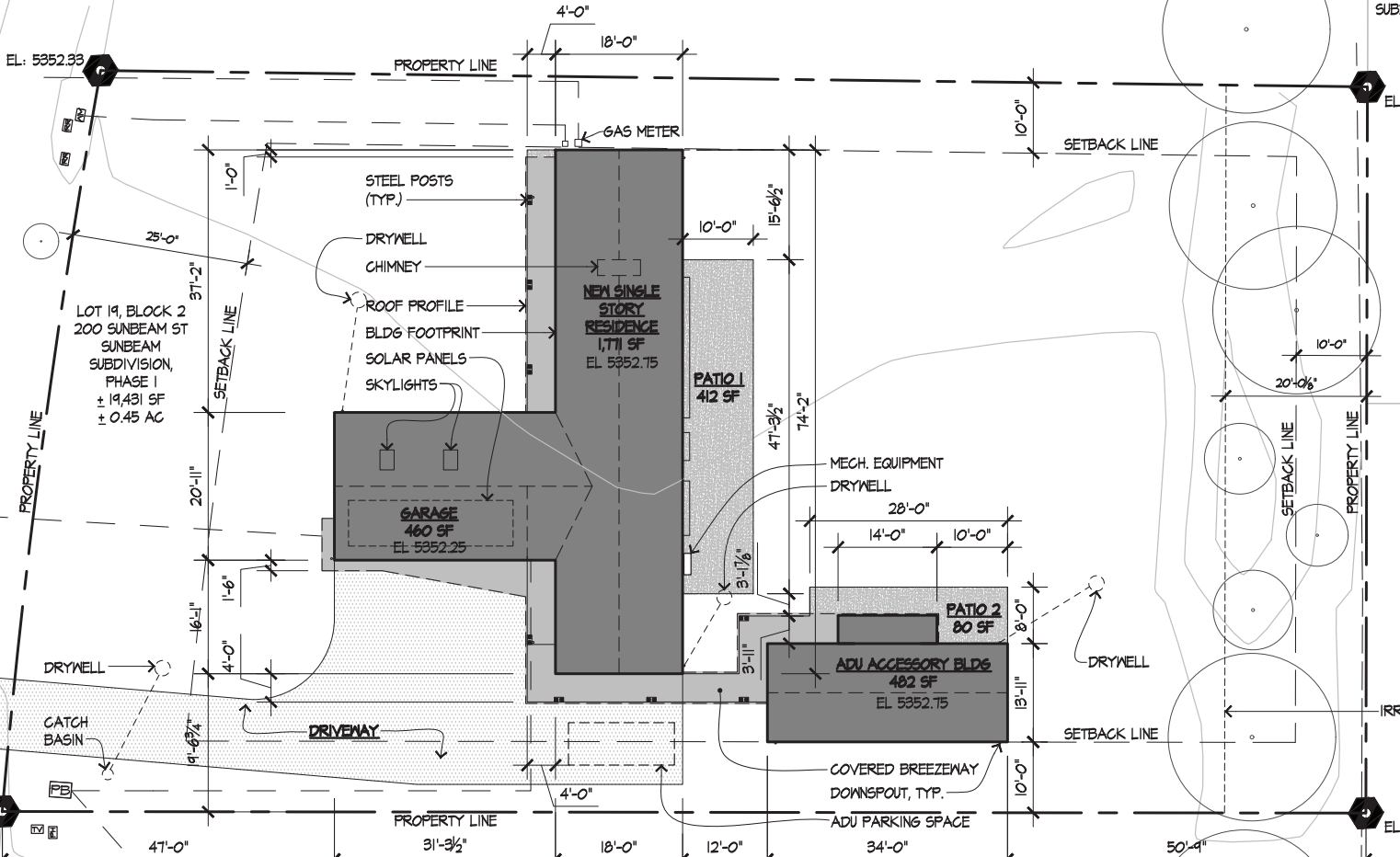
LOT 9, BLOCK 1
7 QUIGLEY LN
MARVIN GARDENS
SUBDIVISION NO. 1

LOT 19, BLOCK 2
200 SUNBEAM ST
SUNBEAM
SUBDIVISION,
PHASE I
± 19,431 SF
± 0.45 AC

LOT 18, BLOCK 2
190 SUNBEAM ST
SUNBEAM SUBDIVISION,
PHASE I

LOT 8, BLOCK 1
5 QUIGLEY LN
MARVIN GARDENS
SUBDIVISION NO. 1

SUNBEAM ST.

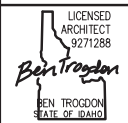


SITE PLAN

1/16" = 1'-0"

www.bentrogdonarchitects.com

BENTROGDON ARCHITECTS



Sunbeam Residence
200 Sunbeam St
Hailey, Idaho 83433

Project #: 2501

Date: 12.01.2025

BUILDING PERMIT

Revisions:
Number: Date:

Sheet Title:
ADU SITE PLAN

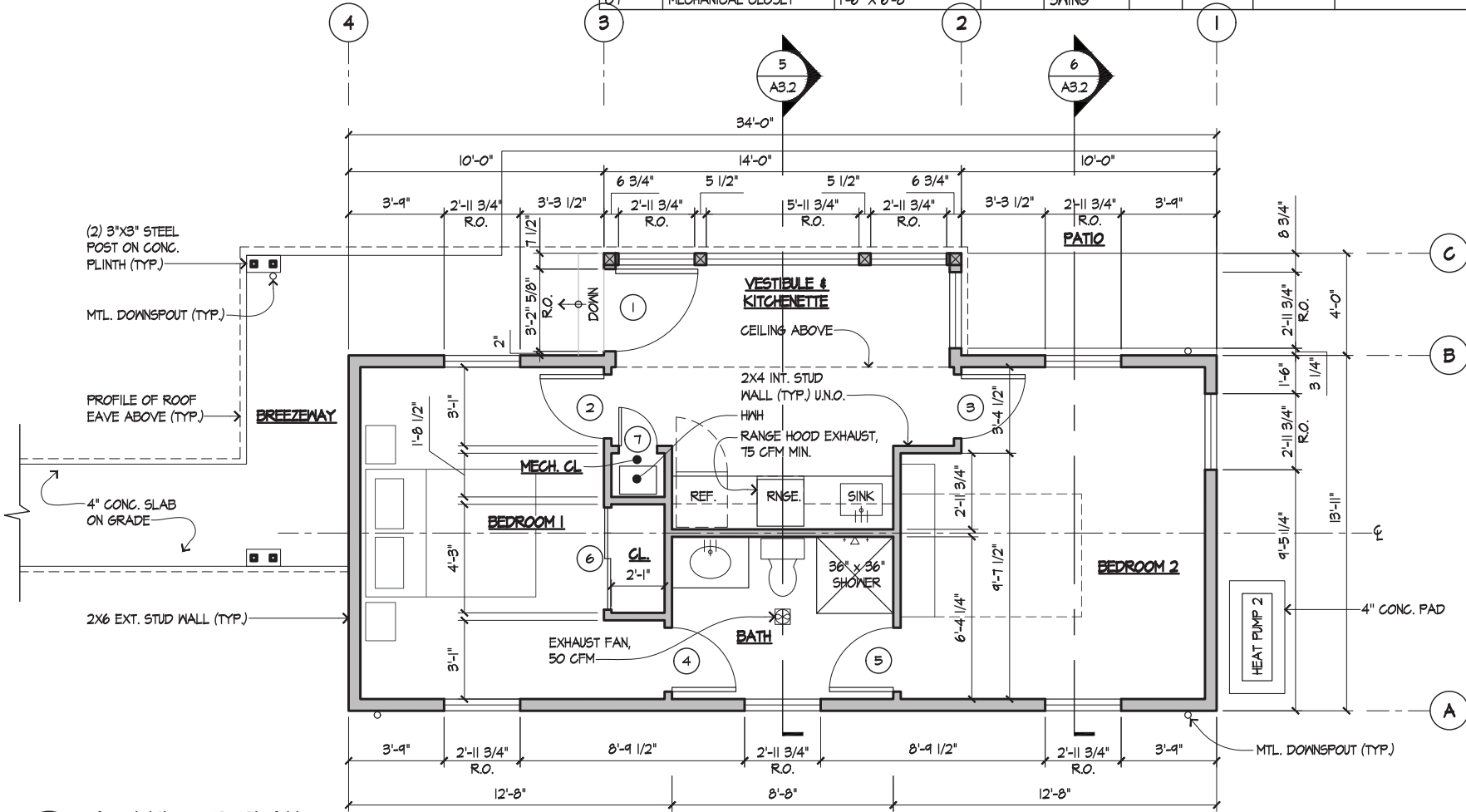
A1.0

DOOR SCHEDULE

GENERAL NOTES:

1. ALL DIMENSIONS TO BE FIELD VERIFIED
2. ALL GLAZING IN DOORS TO BE TEMPERED. PROVIDE SAFETY GLAZING PER IRC R308.
3. ALL EXTERIOR DOORS WITH 50% OR MORE GLAZING SHALL HAVE A 55 U-VALUE RATINGS PER 2020 IDAHO STATE RESIDENTIAL ENERGY CONSERVATION CODE (2018 IECC)
4. PROVIDE A DEAD LATCH OR DEAD BOLT WITH $\frac{1}{2}$ " THROW ON ALL EXTERIOR DOORS.
5. EXTERIOR DOORS W/ GLAZING TO BE MANUFACTURED BY FELLA OR APPROVED EQUAL.

TAG #	ROOM	DOOR SIZE (W X H)	AREA (SF)	TYPE	MODEL	GLAZING	MATERIAL	REMARKS
01	ENTRY	3'-2 5/8" X 6'-8"		SWING				
02	BEDROOM 1	2'-4" X 6'-8"		SWING				
03	BEDROOM 2	2'-4" X 6'-8"		SWING				
04	BATH	2'-4" X 6'-8"		SWING				
05	BATH	2'-4" X 6'-8"		SWING				
06	BEDROOM 1 CLOSET	(2) 2'-0" X 6'-8"		SLIDING				
07	MECHANICAL CLOSET	1'-6" X 6'-8"		SWING				



ADU FLOOR PLAN

1/4" = 1'-0"
NORTH ↑

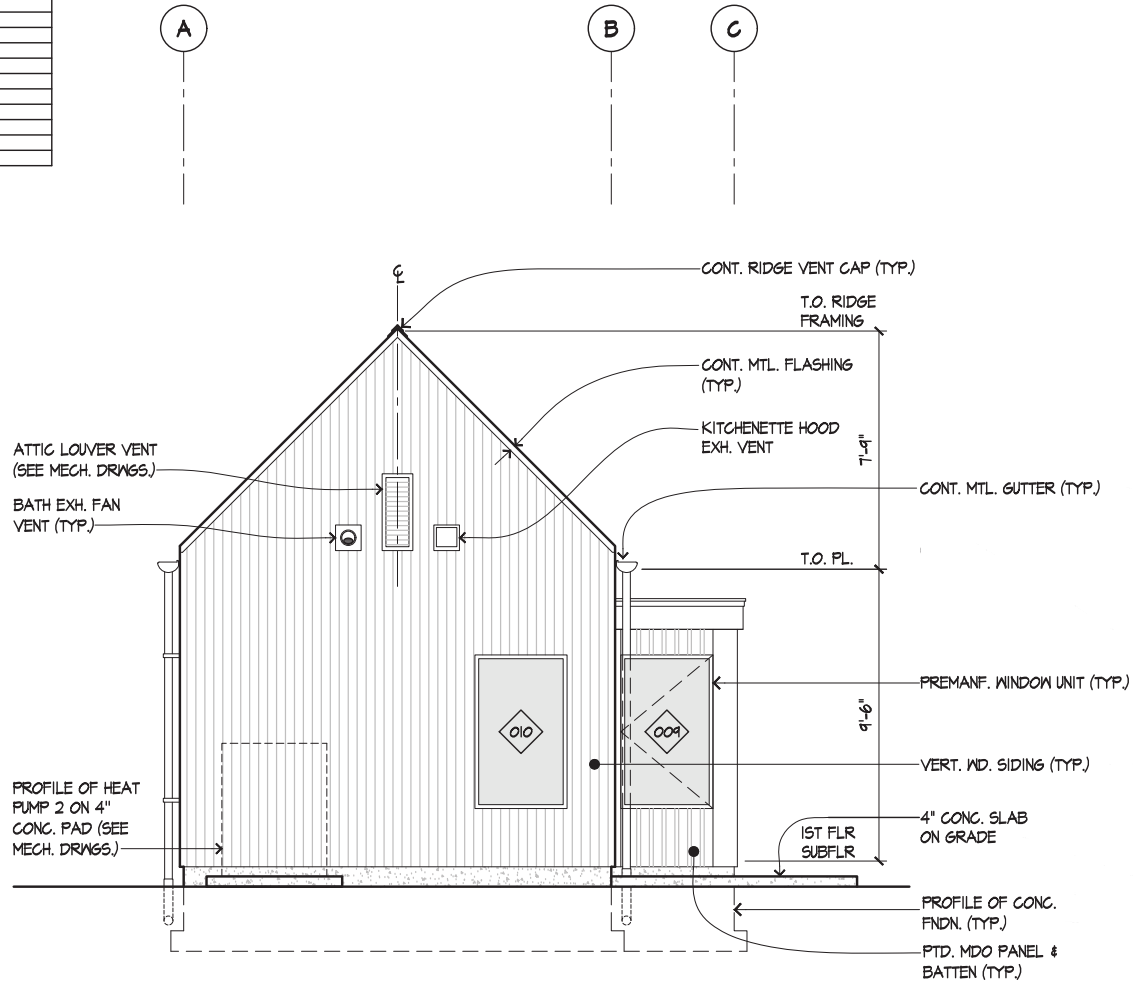
A2.6

WINDOW SCHEDULE - ADU

GENERAL NOTES:

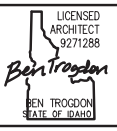
1. ALL DIMENSIONS TO BE FIELD VERIFIED.
2. MAX. U VALUE = .30 PER 2020 IDAHO STATE RESIDENTIAL ENERGY CONSERVATION CODE, CHAPTER 4 TABLE 402.1.I
3. ALL WINDOWS AS MANUFAC. BY PELLA "LIFESTYLE" OR APPROVED EQUAL IN COMPLIANCE W/ NFRC RATINGS.
4. ALL OPERABLE WINDOWS TO BE CAPABLE OF BEING LOCKED.

SYMBOL #	ROOM	ROUGH OPENING (W X H)	TYPE	MODEL	GLAZING	MATERIAL	REMARKS
001	BEDROOM 1	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
002	ENTRY	2'-11 3/4" X 4'-11 3/4"	PICTURE		CLEAR		
003	ENTRY	5'-11 3/4" X 4'-11 3/4"	PICTURE		CLEAR		
004	ENTRY	2'-11 3/4" X 4'-11 3/4"	PICTURE		CLEAR		
005	BEDROOM 2	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
006	BEDROOM 2	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
007	BATH	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
008	BEDROOM 1	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
009	ENTRY	2'-11 3/4" X 4'-11 3/4"	CASEMENT		CLEAR		
010	BEDROOM 1	2'-11 3/4" X 4'-11 3/4"	PICTURE		CLEAR		



1 ADU EAST EXTERIOR ELEVATION

1/4" = 1'-0"



Sunbeam Residence
 200 Sunbeam St
 Hailey, Idaho 83333

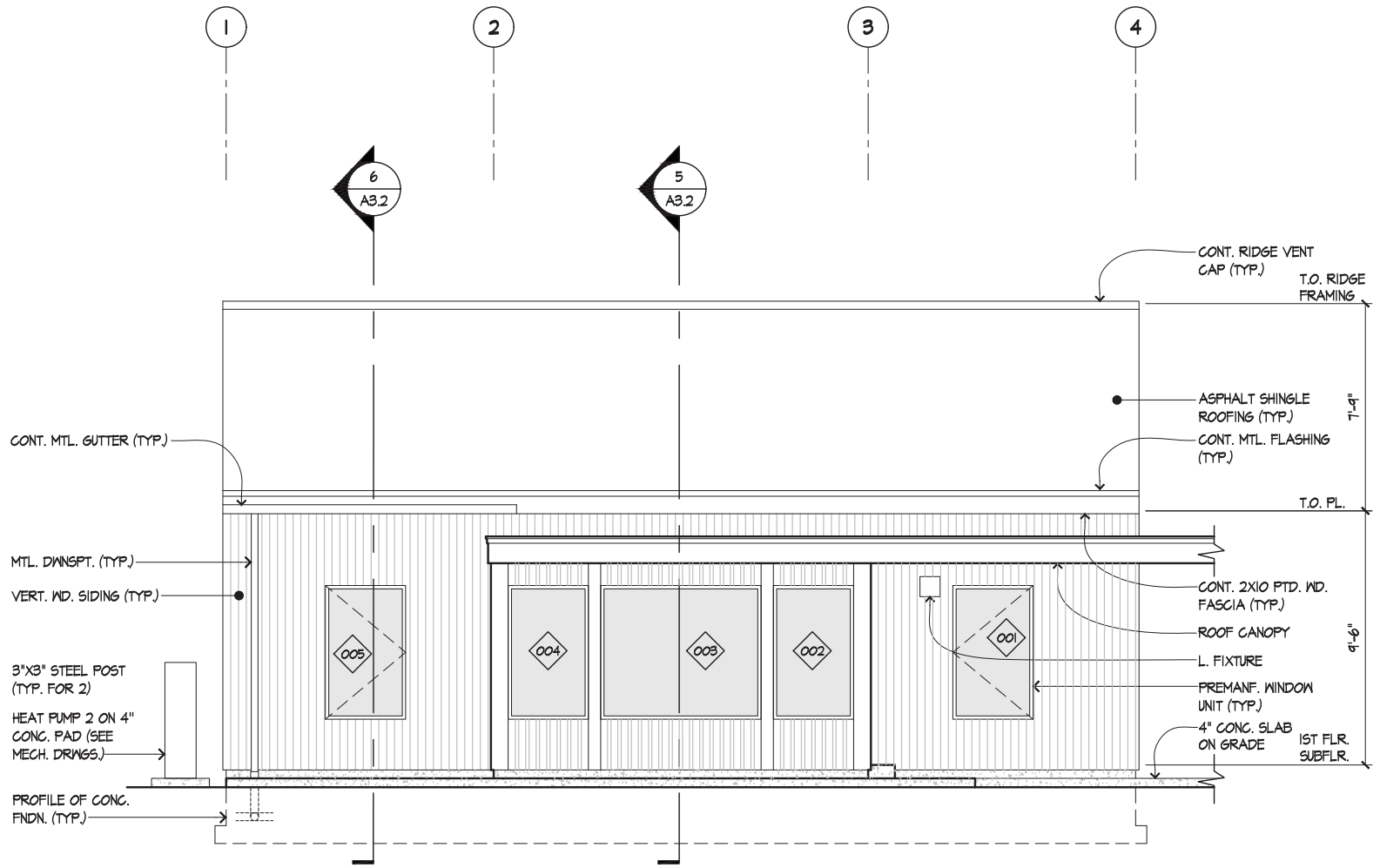
Project #: 2501

Date: 12.01.2025

BUILDING PERMIT

Revisions:
 Number: Date:

Sheet Title:
 ADU NORTH EXTERIOR ELEVATION

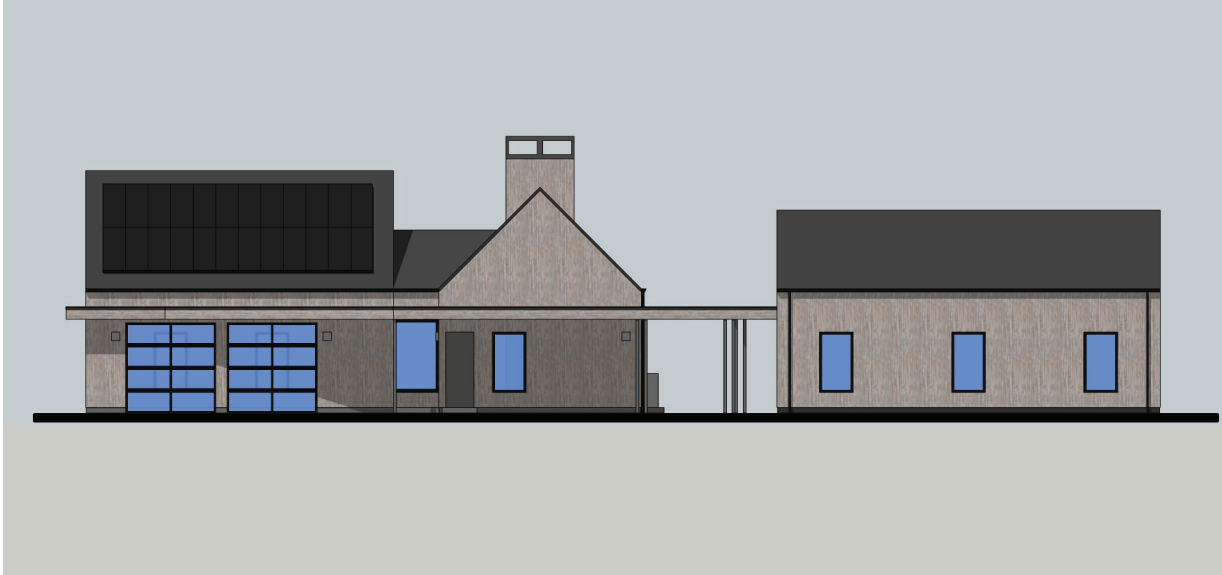


1 ADU NORTH EXTERIOR ELEVATION

1/4" = 1'-0"

A3.2

North Elevation



South Elevation



View From Above



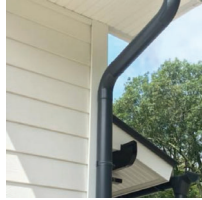
Vicinity Map



Color Board of Exterior Materials



12/12 Pitched Roofing
30-year 3-tab asphalt composition by gaf or equal



Round Downspouts
Heavy Gauge industrial painted stock



Exposed Canopy Roof Soffits
1/2" X 3-1/2" cedar T&G tight knot pre-stained



Patio Doors
Pella 'Impervia' fiberglass (exterior sliding) black doors



Exterior Door Hardware
Lever type per manufacturer standard



Canopy (Flat) Roofing
Single Membrane 'Everguard Extreme' 50mil TPO or equal



Skylights
Standard venting self-flashing by Velux



Foundation
Exposed (grey) Concrete



Back Doors
Pella fiberglass (exterior swing) black doors



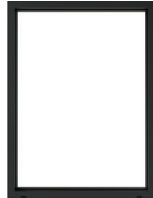
Garage Doors
8 X 8 AVANTE by Clopay black doors



Metal Flashing & Coping
22-gauge, factory painted Kynar, Pieces match roof finish/color



Siding
1/2" X 5-1/2" cedar vertical panel pre-stained by Montana Timber Products or equal



Windows
Pella 'Impervia' fiberglass (fixed sash & roto casement) black frame windows



All Glass
Air Insulated double glazed/Low-E



Wall Mounted Light (Exterior)
Visual Comfort 700WBX-S-930-H-120



Roof Soffit Recessed Light (Exterior)
WAC Lighting HR-8402E/HR-D417



Path Light
Pampa 'Aspen Brass Path' PL-AS-BB-0



Wall Mounted Light (Exterior)
LUTEC P6221 B Dual Head Flood

Return to Agenda